



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
August 5, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. June 17, 2024 Planning Commission regular meeting * **Discussion/Action**
2. July 1, 2024 Planning Commission regular meeting * **Discussion/Action**

PRELIMINARY CONSULTATIONS

1. **PC-24-004 – Black Rock Remaining Lands** - Misty Wagner-Grillo * **Information/Discussion**
Preliminary consultation for the remaining lands at Black Rock to be developed using the clustering provision;
Location: North side of Mt. Aetna Road, east of Robinwood Drive; Zoning: RT (Residential, Transition)

SITE PLAN

1. **Oliver Drive Retail Building [SP-23-047]** - Misty Wagner-Grillo * **Discussion/Action**
Proposed retail building on a vacant lot between CRS and Burger King; Location: East side of Oliver Drive; Zoning: HI/AP (Highway Interchange with Airport Overlay)
2. **CM Investments [SP-23-029]** – Scott Stotelmyer * **Discussion/Action**
Proposed site plan for two 7,800 sq. ft. flex buildings; Location: 134 Old National Pike; Zoning: BG (Business, General)
3. **Take 5 Oil [SP-23-031]** - Scott Stotelmyer * **Discussion/Action**
Proposed site plan for a 1,336 sq. ft. oil change facility on previously developed property; Location: 10306 Sharpsburg Pike; Zoning: HI (Highway Interchange)

OTHER BUSINESS

1. **Update of Projects Initialized** – Jennifer Kinzer * **Information/Discussion**
2. **Proposed Text Amendment – Cannabis Facilities** – Kyla Shingleton * **Information/Discussion**
3. **Comp Plan Update** - Jill Baker **Information/Discussion**

ELECTION OF OFFICERS

CLOSED SESSION

To discuss the appointment, employment, assignment, promotion, discipline, demotion, compensation, removal, resignation, or performance evaluation of appointees, employees, or officials over whom this public body has jurisdiction; or any other personnel matter that affects one or more specific individuals.

ADJOURNMENT

UPCOMING MEETINGS

1. September 9, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

WWW.WASHCO-MD.NET

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

**PRELIMINARY CONSULTATION
PC-24-004 – BLACK ROCK REMAINING LANDS**

A preliminary consultation was held on June 25, 2024 at 1:30 p.m. at the Washington County Administrative Annex, 747 Northern Avenue, Room 124, Hagerstown, MD. A concept plan was presented for the remaining lands (219 acres) at Black Rock to be developed per the RT (Residential, Transition) zoning district using the clustering provision. The property is located along the north side of Mt. Aetna Road, east of Robinwood Drive.

The following were in attendance: Washington County Department of Planning & Zoning: Misty Wagner-Grillo, Planner; Jill Baker, Director; Adam Tressler, GIS Technician; Meghan Jenkins, GIS Coordinator and staff representative to the Historic District Commission; and Debra Eckard, Administrative Assistant; Washington County Division of Engineering: Rebecca Calimer, Chief of Plan Review; Matt Monahan, Matt Stare, and Matthew Powell, DRB Homes; and Gordon Poffenberger, Fox & Associates, Inc.

Department of Planning & Zoning

Ms. Wagner-Grillo noted that permission was granted by the Planning Commission at its regular meeting in May for the developer to pursue the clustering concept on the remaining lands of Black Rock. The clustering concept cannot move forward until the PUD (Planned Unit Development) overlay is removed. The developer is proposing 648 lots, which does not exceed the number of lots permitted in the RT zone.

Mr. Powell asked if the preliminary plat could be submitted prior to removal of the PUD overlay. Ms. Baker stated that the clustering plan could be submitted; however, no plans will be approved until the PUD overlay has been removed. Mr. Powell asked if plan approvals could be contingent upon removal of the PUD overlay and what is the process to remove the overlay. Ms. Baker stated that the Planning Commission could decide to approve the clustering plan contingent upon removal of the PUD; however, no plans will have final signatures until the overlay has been officially removed. Ms. Baker stated that removal of the PUD overlay would require a public hearing process.

Ms. Wagner-Grillo asked if the developer intends to provide any amenities such as walking trails, tot lots, etc. Mr. Powell stated there would be amenities.

Washington County Health Department

Ms. Kimmy Armstrong was not present at the meeting; however, she provided the following written comments: 1) wastewater and water allocation forms must be completed and submitted to the Health Department prior to final approval; and 2) if the property will be served by either public water and/or public sewer services, the priority designation will need to be W-1/S-1 prior to approval.

Ms. Wagner-Grillo explained that the property currently has a service designation of W-3 and S-3; therefore, an administrative amendment to the County's Water and Sewerage Plan will be required.

Washington County Division of Engineering

Ms. Calimer was present at the meeting and provided the following comments. She stated there should be another major roadway connection, or at a minimum, an emergency access at Bovey Lane. Staff recommends seeking comment on this issue from Emergency Services. A stub should

be provided that would connect to Parcel 308 in the future. A storm water management concept plan will be required and may be submitted either before or concurrently with the clustering plan.

Addressing

Mr. Tresler was present at the meeting and provided the following comments. Twenty road names will be required; seven which have already been approved. Addresses will be assigned during the site plan process. Sasha Boulevard will go to the second intersection; from that point going south and looping to the northeast the road will have a separate street name. Mr. Powell stated that he intends to re-brand and re-name the entire community and all road names will be consistent with that re-branding process. Ms. Jenkins stated there is a list of approved road names as well as a list of prohibited words. Staff recommends having two additional road names for each segment of roadway. A total of 38 suggested road names should be submitted to Addressing.

Historic Resources

Ms. Jenkins was present at the meeting and provided the following comments. There are some ruins present on the property which were previously surveyed and are listed in the Maryland Inventory of Historic Properties (I-63 and I-75). A Phase I archeological study is recommended, but not required. If State or Federal funding is used for any portion of this project, an additional review of the ruins may be required. Ms. Jenkins believes the only portion of the structures that remain are the foundations. When removing the ruins, a demolition permitted would most likely be required.

Forest Conservation

Mr. Travis Allen was not present at the meeting; however, he provided the following written comments. The western end of the property contains ample existing forest that should be targeted for retention in forest conservation easements. This would preserve the highest value forest on the property while maintaining a buffer between the new residential community and the Youngstown Apartments. If possible, provide a contiguous connection (behind SF 143) from new forest conservation easements to existing easement in Black Rock. This would provide maximum benefit to wildlife vs. a design with scattered smaller easements. A linear forested connection would buffer new residential lots from the PE substation in the area. Because the cluster design offers additional space to provide open space for the community, forest conservation areas should be intended primarily for environmental protection vs. a place to provide recreational amenities. Some forest conservation areas could include limited amenities; however, easements are intended to preserve natural processes rather than recreational space for residents of the community. To the south, there is another area of existing forest that should be targeted for retention in a forest easement, particularly if no access to Bovey Lane is provided. This area would buffer the Black Rock community from the Woodbridge development.

Washington County Soil Conservation District

Ms. Dee Price was not present at the meeting; however, she provided the following written comments. An evaluation of any streams and/or drainage ways, sinkholes, steep slopes, etc. as well as any and all required documentation must be provided. If buffers are required, please incorporate them into the design and include them in the next submission. Required buffers must be shown on the Soil Erosion and Sediment Control Plan particularly if affected by the proposed project and/or within proximity to the project area.

Washington County Public Schools

Mr. Chad Criswell was not present at the meeting; however he provided a detailed letter, a copy of which will be provided to the developer. There was a brief discussion regarding the donation of land (15 to 18 acres) for a new school site; however, this issue will need to be researched and discussed further.

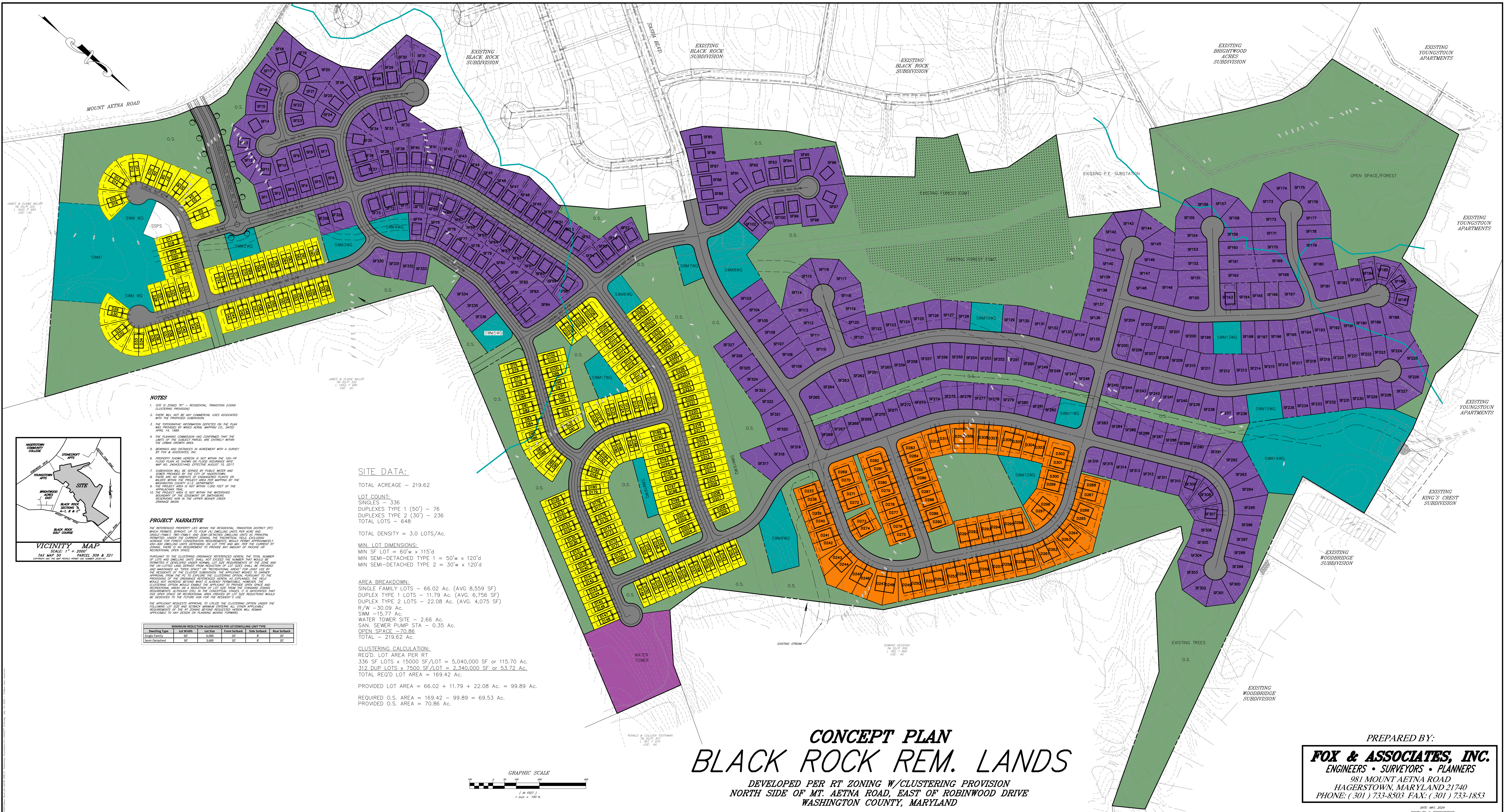
Closing Comments

All reviewing agencies will receive a copy of the written summary. If there are any discrepancies in the written summary, the Department of Planning & Zoning should be notified immediately. The summary will also be submitted to the Planning Commission for its review and comment. Planning Commission comments will be made a part of the record and should be addressed by the developer as the plan moves through the approval process.

Respectfully submitted,

Misty Wagner-Grillo
Washington County Department of Planning &
Zoning

MAWG/dse



- NOTES**
1. SITE IS ZONED "RT" - RESIDENTIAL TRANSITION (USING CLUSTERING PROVISION)
 2. THERE WILL NOT BE ANY COMMERCIAL USES ASSOCIATED WITH THE PROPOSED SUBDIVISION
 3. THE TOPOGRAPHIC INFORMATION DEPICTED ON THE PLAN WAS PROVIDED BY WINDS AERIAL MAPPING CO., DATED APRIL 14, 2008.
 4. THE PLANNING COMMISSION HAS CONFIRMED THAT THE LOTS OF THE SUBJECT PARCELS ARE ENTIRELY WITHIN THE URBAN GROWTH AREA.
 5. BARRIERS AND DISTANCES IN AGREEMENT WITH A SURVEY BY FOX & ASSOCIATES, INC.
 6. PROPERTY SHOWN HEREON IS NOT WITHIN THE 100-YR FLOOD PLAIN AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 24040301400, EFFECTIVE AUGUST 15, 2017.
 7. SUBDIVISION WILL BE SERVED BY PUBLIC WATER AND SEWER PROVIDED BY THE CITY OF HAGERSTOWN.
 8. THERE ARE NO HABITATS OF ENDANGERED PLANTS OR ANIMALS WITHIN THE PROJECT AREA AS MAPPING BY THE HAGERSTOWN COUNTY OFFICE.
 9. THE PROJECT AREA IS NOT WITHIN 1,000 FEET OF THE APPLICABLE TREE.
 10. THE PROJECT AREA IS NOT WITHIN THE WATERSHED BOUNDARY OF THE ESCRAMENT OR QUANTICO RECREATION AREAS IN THE UPPER BEAVER CREEK DRAINAGE BASIN.

PROJECT NARRATIVE

THE REFERENCED PROPERTY LIES WITHIN THE RESIDENTIAL TRANSITION DISTRICT (RT) WHICH PERMITS BARRIERS UP TO FOUR (4) DWELLING UNITS PER ACRE AND SINGLE-FAMILY, TWO-FAMILY, AND SEMI-DETACHED DWELLING UNITS AS PROVIDED FOR IN THE ZONING ORDINANCE. THE PROPOSED DEVELOPMENT WILL BE LIMITED TO 648 DWELLING UNITS DEPENDING ON LOT TYPE AND MIX FOR THE CURRENT RT ZONING. THERE IS NO REQUIREMENT TO PROVIDE ANY AMOUNT OF PASSIVE OR RECREATIONAL OPEN SPACE.

IN ACCORDANCE WITH THE CLUSTERING ORDINANCE REFERENCED HEREIN, THE TOTAL NUMBER OF LOTS AND DWELLING UNITS SHALL NOT EXCEED THE NUMBER THAT WOULD BE PERMITTED UNDER THE CURRENT ZONING. THE PROPOSED DEVELOPMENT WILL BE LIMITED TO 648 DWELLING UNITS DEPENDING ON LOT TYPE AND MIX FOR THE CURRENT RT ZONING. THERE IS NO REQUIREMENT TO PROVIDE ANY AMOUNT OF PASSIVE OR RECREATIONAL OPEN SPACE.

THE APPLICANT REQUESTS APPROVAL TO UTILIZE THE CLUSTERING OPTION UNDER THE FOLLOWING LOT SIZE AND SETBACK REQUIREMENTS. ALL OTHER APPLICABLE REQUIREMENTS OF THE RT ZONING ORDINANCE REFERENCED HEREIN WILL REMAIN APPLICABLE TO ANY DESIGN OR PLANNING MOVING FORWARD.

| Dwelling Type | MINIMUM REDUCTION ALLOWANCES PER LOT/DWELLING UNIT TYPE | | | | |
|---------------|---|----------|---------------|--------------|--------------|
| | Lot Width | Lot Size | Front Setback | Side Setback | Rear Setback |
| Single Family | 60' | 6,000 | 20' | 5' | 20' |
| Semi-Detached | 30' | 3,000 | 10' | 5' | 20' |

SITE DATA:

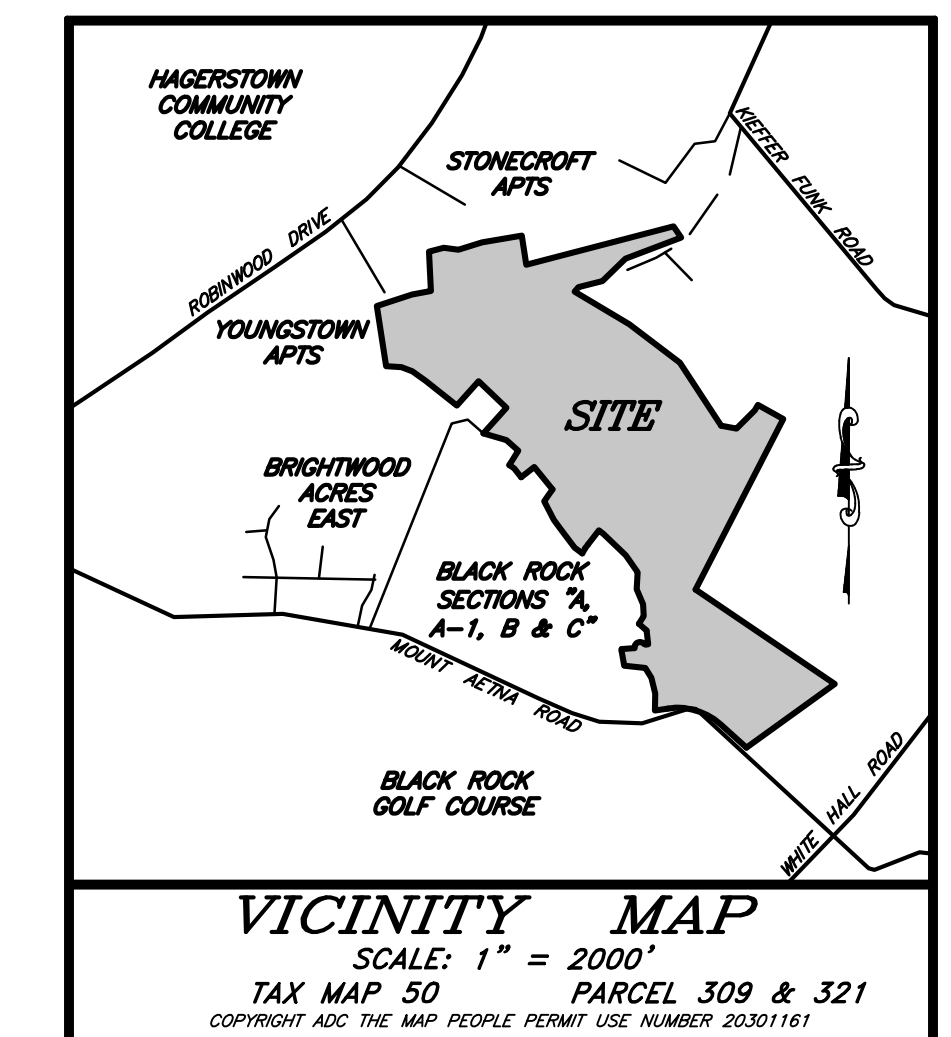
TOTAL ACREAGE - 219.62
 LOT COUNT:
 SINGLES - 336
 DUPLEXES TYPE 1 (50') - 76
 DUPLEXES TYPE 2 (30') - 236
 TOTAL LOTS - 648
 TOTAL DENSITY = 3.0 LOTS/AC.

MIN. LOT DIMENSIONS:
 MIN SF LOT = 60'w x 115'd
 MIN SEMI-DETACHED TYPE 1 = 50'w x 120'd
 MIN SEMI-DETACHED TYPE 2 = 30'w x 120'd

AREA BREAKDOWN:
 SINGLE FAMILY LOTS - 66.02 AC. (AVG 8,559 SF)
 DUPLEX TYPE 1 LOTS - 11.79 AC. (AVG. 6,756 SF)
 DUPLEX TYPE 2 LOTS - 22.08 AC. (AVG. 4,075 SF)
 R/W - 30.09 AC.
 WATER TOWER SITE - 2.66 AC.
 SAN SEWER PUMP STA - 0.35 AC.
 OPEN SPACE - 70.86 AC.
 TOTAL - 219.62 AC.

CLUSTERING CALCULATION:
 REQ'D LOT AREA PER RT:
 336 SF LOTS x 15,000 SF/LOT = 5,040,000 SF or 115.70 Ac.
 312 DUP LOTS x 7,500 SF/LOT = 2,340,000 SF or 53.72 Ac.
 TOTAL REQ'D LOT AREA = 169.42 Ac.

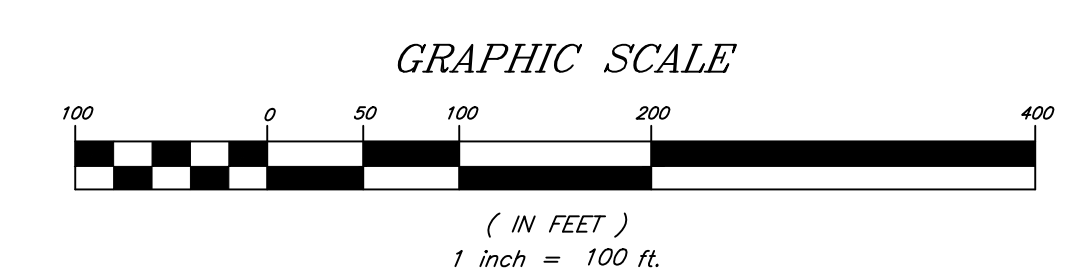
PROVIDED LOT AREA = 66.02 + 11.79 + 22.08 Ac. = 99.89 Ac.
 REQUIRED O.S. AREA = 169.42 - 99.89 = 69.53 Ac.
 PROVIDED O.S. AREA = 70.86 Ac.



CONCEPT PLAN BLACK ROCK REM. LANDS

DEVELOPED PER RT ZONING W/CLUSTERING PROVISION
 NORTH SIDE OF MT. AETNA ROAD, EAST OF ROBINWOOD DRIVE
 WASHINGTON COUNTY, MARYLAND

PREPARED BY:
FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 981 MOUNT AETNA ROAD
 HAGERSTOWN, MARYLAND 21740
 PHONE: (301) 733-8503 FAX: (301) 733-1853



DATE: 09/15/2024
 DRAWN BY: G. POTTREBERGER



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Oliver Drive Retail Bldg
NUMBER.....: SP-23-047

OWNER.....: GHATTAS ENTERPRISES MAUGANS AVE LTD PARTNERSHIP
LOCATION.....: 13721 OLIVER Drive
HAGERSTOWN, MD 21740

DESCRIPTION.....: Retail Bldg on vacant lot between CRS and Burger King, east side of Oliver Dr

ZONING.....: Highway Interchange Airport Airport Overlay
COMP PLAN LU.....: Commercial
PARCEL.....: 13029148
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 13

TYPE.....: Commercial
GROSS ACRES.....: 1.97
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: December 13, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Conococheague Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



| <i>SITE DESIGN</i> | | |
|--|--|--|
| Impervious Area Plan 61.9 | Impervious Maximum Allowed | Open Space Area Planned |
| Open Space Minimum Required | Residential Amenity Plans | Solid Waste Disposal Plans Dumpster/Private Hauler |
| Materials Stored on Site | Buffer Design Meets Requirements Yes | Landscaping Meets Requirements Yes |
| Lighting Plan Meets Requirements Yes | Pedestrian Access is Adequate | Bus Stop is Within Walking Distance |
| Loading Area Meets Requirements | | Not Fast Track |
| Parking Spaces - Total Planned 68 | Parking Spaces - Per Dwelling Unit | |
| Parking Spaces - Minimum Required 50 | Recreational Parking Provided No | |

NUMBER OF ACCESS POINTS: 1

| | <i>SCHOOL INFORMATION</i> | | |
|---------------------------|---------------------------|-----------------|------------------|
| | ELEMENTARY | MIDDLE | HIGH |
| SCHOOL DISTRICT | Maugansville | Western Heights | North Hagerstown |
| PUPIL YIELD | | | |
| CURRENT ENROLLMENT | | | |
| MAXIMUM CAPACITY | | | |

| <i>PUBLIC FACILITIES INFORMATION</i> | |
|--------------------------------------|--------------|
| FIRE DISTRICT.....: | Maugnasville |
| AMBULANCE DISTRICT.....: | Maugansville |

| | <i>WATER & SEWER INFORMATION</i> | |
|-----------------------------------|--------------------------------------|------------------------------|
| | WATER | SEWER |
| METHOD.....: | City | County Line - City Treatment |
| SERVICE AREA.....: | City | County Line - City Treatment |
| PRIORITY.....: | 1-Existing Service | 1-Existing Service |
| NEW HYDRANTS.....: | | |
| GALLONS PER DAY SEWAGE...: | | |
| PLANT INFO.....: | | Hagerstown (City) |

GENERAL NOTES:

- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1.800.257.7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT(S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- FOX & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANYTHING TO DO WITH CONSTRUCTION UNLESS CONTRACTED BY THE OWNER OR CONTRACTOR TO PERFORM A SPECIFIC SERVICE.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED(S) OF RECORD AND NOT FIELD VERIFIED.
- SITE CONTRACTOR MAY HAVE TO MODIFY FINISH GRADES SHOWN NEXT TO BUILDINGS DUE TO TYPE OF WALL CONSTRUCTION PROVIDED. GENERALLY A MINIMUM FINISH GRADE 6 INCHES BELOW FINISH FLOOR FOR MASONRY CONSTRUCTION AND 12 INCHES BELOW FINISH FLOOR FOR WOOD SIDING CONSTRUCTION SHOULD BE MAINTAINED. CONTRACTOR MUST PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL UNITS.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240.313.2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.

A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301.797.6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT OR DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON A FINAL PLAT OR EASEMENT PLAT.
- ALL GRADING ON LOT/PARCEL, EITHER BEFORE OR AFTER THE CONSTRUCTION OF A DWELLING, OR APPURTENANCES, SHALL BE THE FULL RESPONSIBILITY OF THE LOT/PARCEL OWNER.
- ANY MODIFICATIONS OF THE APPROVED GRADING PLAN SHALL BE REVIEWED AND APPROVED BY THE WASHINGTON COUNTY DIVISION OF ENGINEERING PRIOR TO CONSTRUCTION OF ANY SUCH MODIFICATION.
- THE LOT OWNER SHALL ROUTINELY MAINTAIN AND TRIM VEGETATION ALONG THE FRONTAGE OF THE LOT TO ENSURE THE MAXIMUM SIGHT DISTANCE IS ACHIEVED AT ALL TIMES.
- MARYLAND MDE WATERSHED CODE: 02140504 (CONOCOHEAGUE CREEK).
- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- A "REPORT OF GEOTECHNICAL EXPLORATION" WAS COMPLETED FOR THIS PROJECT BY TRIAD ENGINEERING, INC. DATE OF REPORT IS DECEMBER 14, 2023. ANY QUESTIONS REGARDING THE REPORT SHOULD BE DIRECTED TO STEPHEN GYURISIN, P.E. AT 1075-D SHERMAN AVENUE, HAGERSTOWN, MARYLAND, OR PHONE (301) 797-6400. (TRIAD PROJECT NUMBER 03-23-0986)

AGENCY & UTILITY CONTACTS

| | | |
|----------------|---------------------|----------------|
| CITY WATER | SCOTT HOBBS | (240) 313-2407 |
| COUNTY SEWER | NANCY HAUSRAH | (301) 790-3200 |
| WASH. CO. SCD | MARK BRADSHAW | (240) 313-2600 |
| AMTIZAM CABLE | DENISE PRICE | (301) 797-6821 |
| VERIZON | ----- | (240) 420-2066 |
| POTOMAC EDISON | JULIE LUDWIG | (301) 790-7135 |
| | BRANDON WARRENFELTZ | (301) 694-4420 |

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777."

SWM DESIGN NARRATIVE

THE SUBJECT SITE IS LOCATED AT 13721 OLIVER DRIVE IN THE MAUGANSVILLE AREA CONTAINING 1.97 ACRES. THE PROPERTY IS CURRENTLY VACANT IN A MEADOW CONDITION. THE WORK PROPOSED BY THIS PLAN INCLUDES CONSTRUCTION OF A RETAIL BUILDING WITH THE ASSOCIATED UTILITIES, PARKING, ETC. THE TOTAL PROPOSED IMPERVIOUS AREA WILL BE 1.18 ACRES. WATER QUALITY WILL BE PROVIDED BY TWO FILTERRA STRUCTURES AND BOTH WATER QUANTITY AND QUALITY WILL BE PROVIDED AN UNDERGROUND A.D.S. STORMTECH MC-3500 CHAMBER SYSTEM.

| ESD PRACTICES SUMMARY TABLE | | | | | | | |
|---|-------|----------------------|---------------------------------|-------------|--------------|-------------------|--|
| CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION) | | | | | | | |
| ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL) | | | | | | | |
| TYPE | NO. | DA TO STRUCTURE (AC) | IMPERVIOUS DA TO STRUCTURE (AC) | WQv (AC-FT) | ESDv (AC-FT) | PE ADDRESSED (IN) | |
| FILTERRA #1 | FIL-1 | 0.33 | 0.14 | | 0.02 | 1.80 | |
| FILTERRA #2 | FIL-2 | 0.33 | 0.14 | | 0.02 | 1.80 | |
| NON-ESD PRACTICES (CHAPTER 3 - STRUCTURAL PRACTICES) | | | | | | | |
| TYPE | NO. | DA TO STRUCTURE (AC) | IMPERVIOUS DA TO STRUCTURE (AC) | WQv (AC-FT) | ESDv (AC-FT) | PE ADDRESSED (IN) | |
| A.D.S. STORMTECH MC-3500 | 1 | 3.08 | 1.00 | 0.1610 | 0.161 | 1.81 | |

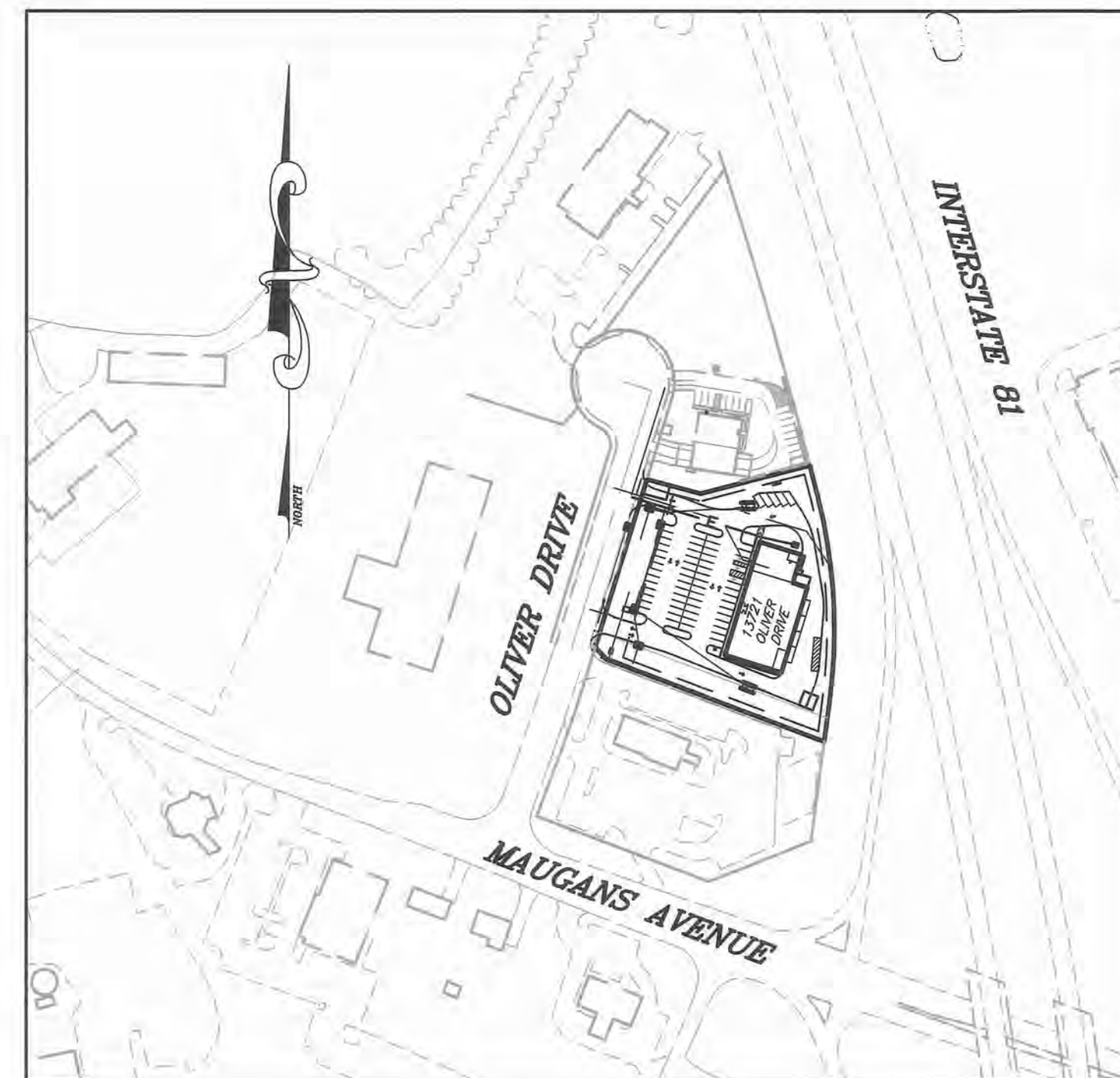
SHEET INDEX

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SITE PLAN

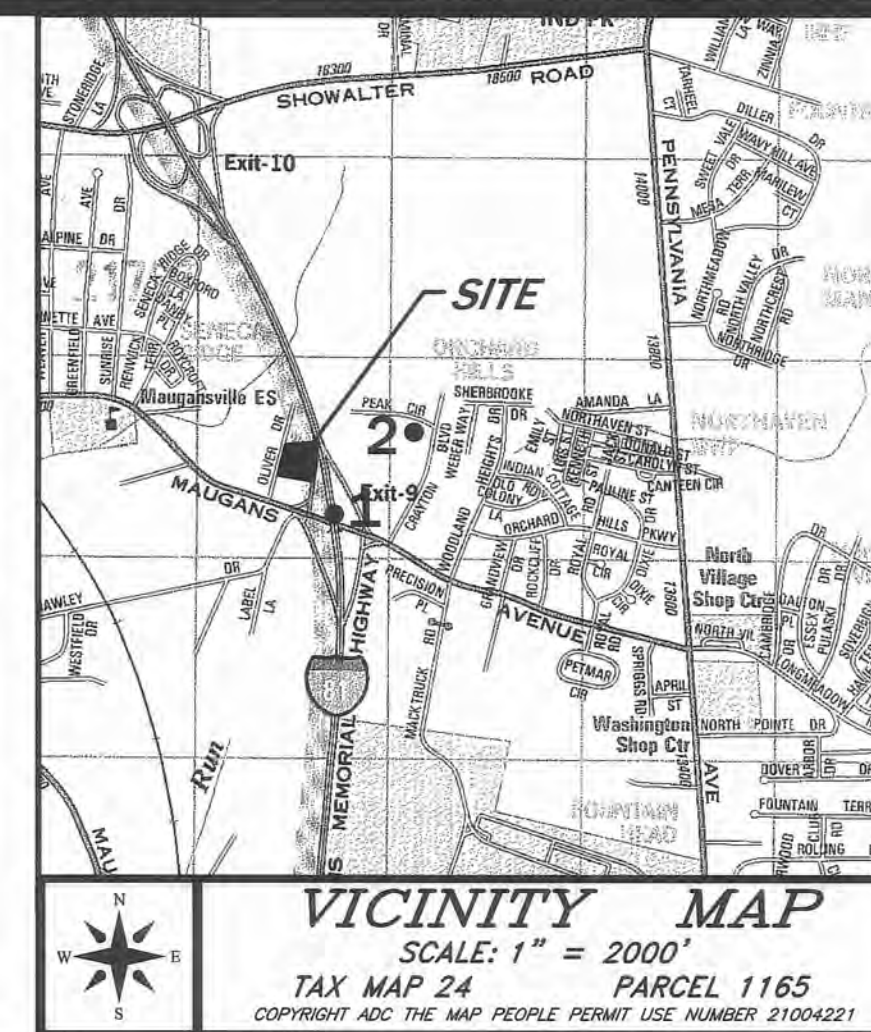
PROPOSED RETAIL BUILDING

13721 OLIVER DRIVE
HAGERSTOWN, MARYLAND 21742
TM.24, P.1165, LOT 1
L. 1740, F.987, PLAT 10508



LOCATION MAP
SCALE: 1" = 200'

| WASHINGTON COUNTY GEODETIC MARKER | NAME | NORTHING | EASTING | ELEVATION |
|-----------------------------------|-----------|--------------|----------------|-----------|
| 1. | ANYSVILLE | 737,192.5201 | 1,105,900.2140 | 674.979 |
| 2. | PEAK | 738,296.5088 | 1,106,840.9392 | 681.12 |



ADC MAP 10
GRID B9

VICINITY MAP
SCALE: 1" = 2000'
TAX MAP 24
PARCEL 1165
COPYRIGHT ADC THE MAP PEOPLE PERMIT USE NUMBER 21004221



ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

NAME: GORDON S. POFFENBERGER
LICENSE No.: 27053
EXPIRATION DATE: 1/25/26

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 6/27/24 REG. NO.: 17053 SIGNATURE: [Signature]

OWNER/DEVELOPER CERTIFICATION - DPW

I/WE HEREBY CERTIFY THAT ALL CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY AND THE POLICY ON CONSTRUCTION OF SUBDIVISION INFRASTRUCTURE FOR ACCEPTANCE AND OWNERSHIP BY WASHINGTON COUNTY (S-3).

DATE: 6/27/24 PRINTED NAME: DAVID J. GOCHENAIVE SIGNATURE: [Signature]

OWNER/DEVELOPER CERTIFICATION - SCD

I/WE CERTIFY ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL: BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE: 6/27/24 PRINTED NAME: DAVID J. GOCHENAIVE SIGNATURE: [Signature]

WASHINGTON COUNTY DIVISION OF ENGINEERING

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF 180 DAYS.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 1.98 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 2,220 C.Y. OF EXCAVATION AND 2,275 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.
** EARTHWORK QUANTITIES HAVE BEEN COMPUTED FROM PROPOSED SURFACE TO EXISTING SURFACE AND DOES NOT TAKE INTO ACCOUNT TOPSOIL STRIP OR PAVING DEPTHS.

ENGINEER'S STORMWATER MANAGEMENT AS-BUILT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORMWATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE BY THE CONSULTANT.

NAME: _____ DATE: _____

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

THIS APPROVAL IS FOR GENERAL CONFORMANCE WITH THE COUNTY'S REQUIREMENTS FOR DESIGN AND LAYOUT OF PROPOSED SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS. ALL SEWER AND/OR WATER SYSTEM IMPROVEMENTS OR EXTENSIONS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE COUNTY'S LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF SANITARY SEWERS AND/OR WATER LINES. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF SEWER AND/OR WATER SERVICE. SEWER AND/OR WATER SERVICE AVAILABILITY IS SUBJECT TO CONFORMANCE WITH ALL RULES, POLICIES, AND REGULATIONS ESTABLISHED BY THE COUNTY AND IN EFFECT AT THE TIME APPLICATION FOR SERVICE IS MADE, AND/OR THE AVAILABILITY OF ALLOCATION REMAINING IN OTHER JURISDICTIONS' FACILITIES THAT MAY BE GRANTED TO THE COUNTY. THIS APPROVAL SHALL BE VALID FOR A PERIOD OF 180 DAYS.

BY: [Signature] DATE: 7-3-2024

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

THIS APPROVAL IS FOR THE DESIGN AND LAYOUT OF THE PROPOSED WATER SYSTEM IMPROVEMENTS. ALL WATER SYSTEM IMPROVEMENTS SHALL BE CONSTRUCTED TO THE STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION. THIS APPROVAL DOES NOT GUARANTEE AVAILABILITY OF WATER SERVICE. WATER SERVICE IS AVAILABLE SUBJECT TO CONFORMANCE WITH ALL POLICIES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION FOR SERVICE. PAYMENT OF FEES AND APPROVAL OF THE WATER SERVICE APPLICATION. THE WATER DIVISION DOES NOT GUARANTEE A SPECIFIC WATER PRESSURE OR FLOW AT ANY METER OR FIRE HYDRANT. THIS APPROVAL IS VALID FOR A PERIOD OF ONE YEAR.

[Signature] DATE: 7-1-2024

SP-23-047

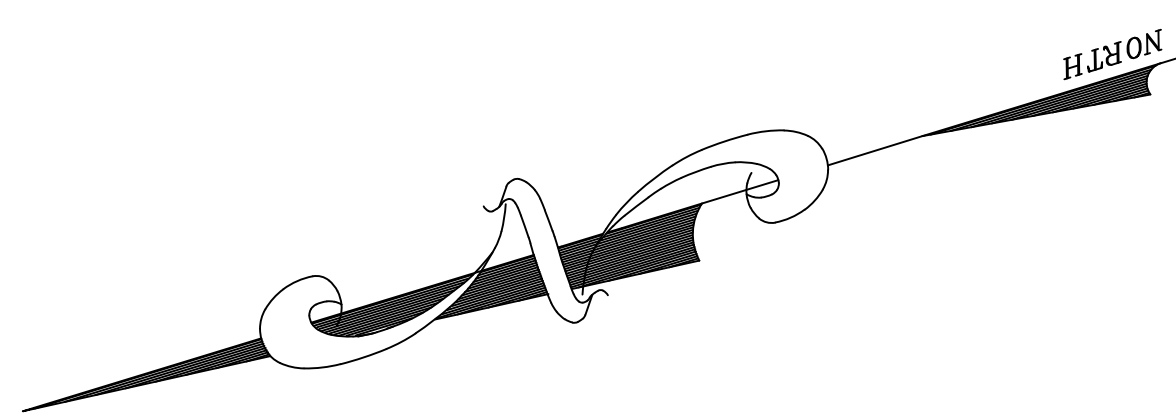
23-32023 D-9274 SHEET 1 OF 9

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE 10
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009





| SYMBOL | DESCRIPTION | K' FACTOR | HYDROLOGIC GROUP |
|-----------------|---|-----------|------------------|
| H _{0A} | HAGERSTOWN SILT LOAM 0 TO 3 PERCENT SLOPES ¹ | 0.37 | B |
| H _{0B} | HAGERSTOWN SILT LOAM 3 TO 8 PERCENT SLOPES ¹ | 0.37 | B |
| U _{0B} | URBAN LAND 0 TO 8 PERCENT SLOPES | - | D |

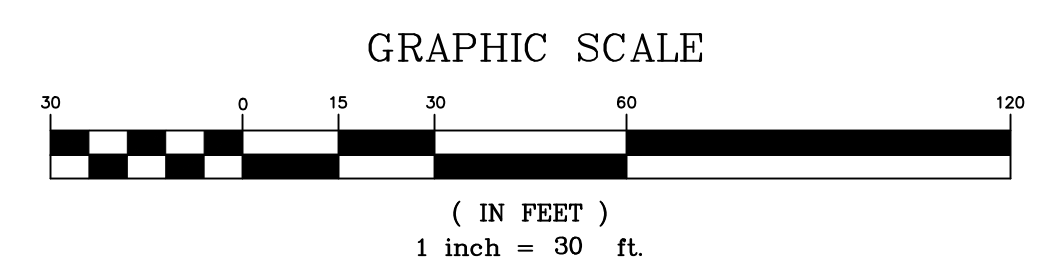
¹ PRIME FARMLAND SOIL
NOTE: THE U.S.D.A. SOIL SURVEY OF WASHINGTON COUNTY LISTS ALL OF THESE SOILS AS "KARST LANDSCAPE" SOILS.

SITE NOTES

- TOPOGRAPHY SHOWN ON THESE PLANS BY FIELD RUN SURVEY BY FOX & ASSOCIATES, INC. DATED SEPTEMBER, 2023. GRID TICKS ARE SHOWN BASED ON NAD83 HORIZONTAL DATUM. VERTICAL CONTROL FOR THIS PLAN IS BASED ON COUNTY CONTROL NAVD88.
- THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 314 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE.
- THERE IS NO 100 YEAR FLOODPLAIN ON THIS SUBJECT PROJECT AREA AS SHOWN ON FEMA PANEL NO. 24042C0128D DATED AUGUST 15, 2017.
- FOREST CONSERVATION REQUIREMENTS FOR THIS SITE HAVE BEEN MET BY PAYMENT-IN-LIEU PER WASHINGTON COUNTY PLAT 5563 (PIL-98-001).

LEGEND

| | |
|--|-------------------------------|
| | PROPERTY LINE |
| | EXISTING WATER LINE |
| | EXISTING SEWER LINE |
| | EXISTING STORM DRAIN |
| | EXISTING CURB |
| | EXIST. TREE LINE |
| | EXIST. FENCELINE |
| | SOIL LINE |
| | SOIL TYPE |
| | EXISTING INTERMEDIATE CONTOUR |
| | EXISTING INDEX CONTOUR |



| DATE | REVISION | DRAWN BY |
|------|----------|----------|
| | | |

EXISTING CONDITIONS PLAN
RETAIL BUILDING
SITUATE EAST SIDE OF OLIVER DRIVE
ELECTION DISTRICT 13
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/26
PROJECT NO. 23-32023
DRAWING NO. D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
CHECKED BY: GSP

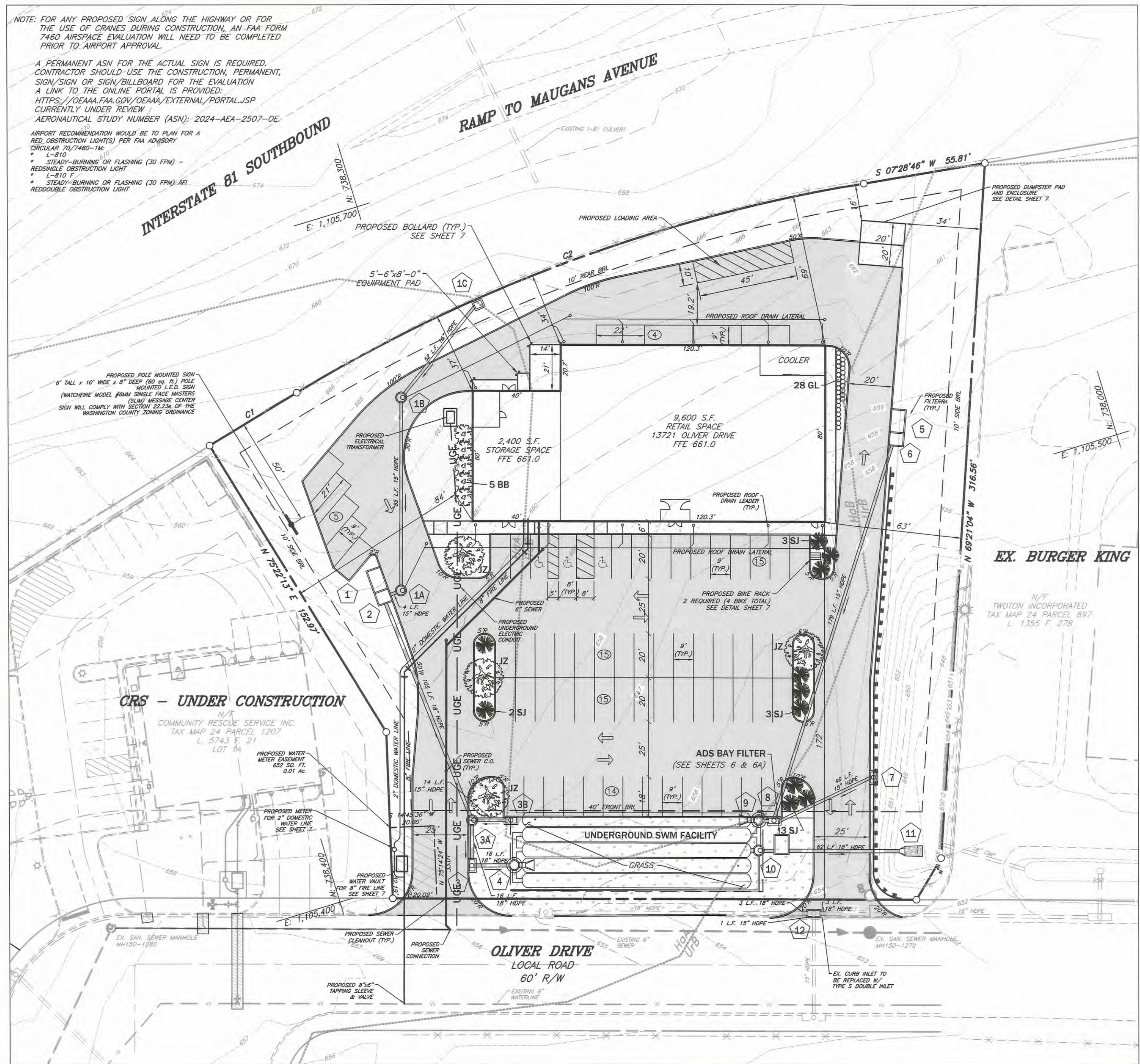
SITE DATA

| | |
|--|--|
| TAX MAP/PARCEL | 24/1165 LOT 1 |
| ELECTION DISTRICT | 13 |
| DEED BOOK/PAGE | 1740/987 |
| ZONING | HI (Highway Interchange) WITHIN AIRPORT OVERLAY ZONE |
| WATERSHED | CONOCOCHAGUE CREEK (02140504) |
| PARCEL ACREAGE | 1.97 AC. |
| EXISTING USAGE | UNDEVELOPED |
| PROPOSED USAGE | RETAIL BUILDING (ALCOHOL SALES) |
| MINIMUM BUILDING SETBACK LINES | FRONT 40 ft. SIDE 10 ft. REAR 10 ft. |
| PROPOSED IMPERVIOUS AREA | BUILDING AREA 12,000 Sq. Ft. = 0.275 Ac. ASPHALT PARKING/DRIVE AREA 39,690 Sq. Ft. = 0.911 Ac. CONCRETE PAVING/SIDEWALKS 1,500 Sq. Ft. = 0.034 Ac. 53,190 Sq. Ft. = 1.220 Ac. = 61.9% |
| PROPOSED BUILDING HEIGHT | 25'-0" TO ROOF PEAK |
| No. of EMPLOYEES | MAX. 8 / SHIFT |
| HOURS OF OPERATION | 10 AM TO 9 PM, 7 DAYS A WEEK |
| SITE USERS TRANSPORTATION | AUTOMOBILE/BOX TRUCK |
| ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE | BY OWNER |
| PARKING REQUIRED | RETAIL 9600 * 5 / 1000 + WAREHOUSE 2400 / 1500 = 48 + 2 = 50 |
| PARKING PROVIDED | 68 |
| ASPHALT PRKG. LANDSCAPE REQUIREMENT | 39,690 S.F. x 0.05 = 1,985 S.F. |
| ASPHALT PRKG. LANDSCAPE AREAS PROVIDED | 3,553 S.F. (0.08 Ac.) = 9.0% |
| HANDICAP PARKING REQUIRED & PROVIDED | 3 |
| DELIVERIES | DAILY |
| WATER | PUBLIC (CITY OF HAGERSTOWN) |
| SEWER | PUBLIC (WASHINGTON CO. DEPT OF WATER QUALITY) |
| PROPOSED WATER/SEWER USAGE | 400 GPD OR 2 EDU* |
| SOLID WASTE STORAGE & DISPOSAL | DUMPSTER ENCLOSURE SHOWN ON PLAN REMOVED FROM SITE BY LICENSED CONTRACT HAULER TO APPROVED DISPOSAL FACILITY |
| PROJECTED EMISSIONS | NONE |
| ADT | 6 TRIPS IN MORNING PEAK 144 TRIPS EVENING PEAK |

* BASED ON 9,600 S.F. OF RETAIL SPACE
NOTE: THE AIRPORT WILL NEED THE APPROVED FAA AIRSPACE EVALUATION REPORT FOR ANY VERTICAL WORK CURRENTLY UNDER REVIEW. AERONAUTICAL STUDY NUMBER (ASN): 2024-AEA-2507-OE.

LEGEND

- PROPERTY LINE
- UGE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED SEWER LATERAL
- PROPOSED STORM DRAIN
- PROPOSED CURB
- PROPOSED WATER LINE
- PROPOSED GUARD RAIL
- PROPOSED ASPHALT PAVING
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE AREA



Washington County
DIVISION OF ENGINEERING
747 Northern Avenue, Hagerstown, MD 21742
Phone: (240) 513-2460, TDD 711 711

INTERSECTION SIGHT DISTANCE WORKSHEET
Project: OLIVER DR RETAIL BLDG
Location: OLIVER DR

Distance Left: 300 ft ± (END OF STREET)
Distance Right: 390 ft ± (END OF STREET)

Posted Speed Limit: N/A MPH
Number of Travel Lanes: 2
Minor Approach Grade: %
Road Grade (Left to Right): %

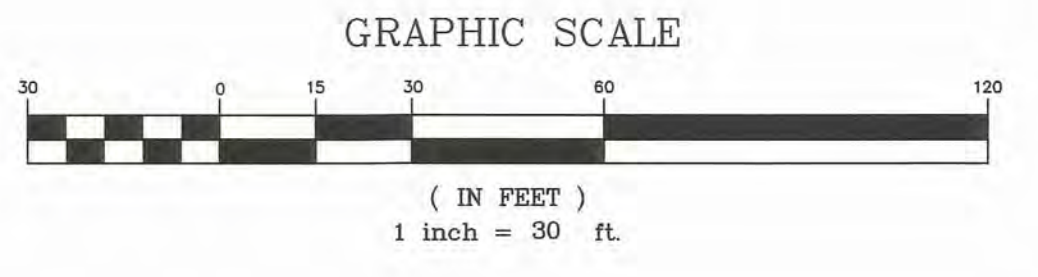
Remarks:

I am a Maryland licensed design professional qualified to certify these measurements are accurate and in accordance with A Policy for Determining Adequacy of Existing Highways as stated in Technical Memo 23 "Entrance Sight Distance Analysis Requirements" dated January 18, 2012, and/or the latest AASHTO guidelines.

Preparer Signature: [Signature]
Preparer Name: NEDON POPPANGSEGA
Preparer Company: FOX & ASSOC., INC.
Professional Type: [] PE [] PLS [] Other



| CURVE | ARC LENGTH | RADIUS | DELTA ANGLE | CHORD BEARING | CHORD LENGTH | TANGENT |
|-------|------------|----------|-------------|---------------|--------------|---------|
| C1 | 46.39' | 7489.44' | 0°21'18" | N 14°17'15" W | 46.39' | 23.20' |
| C2 | 276.63' | 731.51' | 21°40'00" | N 03°16'36" W | 274.98' | 139.98' |



LANDSCAPE SCHEDULE

| KEY | BOTANICAL NAME | COMMON NAME | QUAN. | SIZE | CONDITION |
|-----|----------------------------------|-------------------------|-------|------------------|-----------|
| | ZELKOVA SERRATA | JAPANESE ZELKOVA | 4 | 1-1/2" CAL. MIN. | B & B |
| | EUONYMUS ALATUS COMPACTUS | DWARF BURNING BUSH | 5 | 2 GALLON | CONTAINER |
| | JUNIPERUS CHINENSIS 'SARGENTI' | GREEN SERGEANT JUNIPER | 11 | 2 GALLON | CONTAINER |
| | LIRIOPE MUSCAY 'EVERGREEN GIANT' | EVERGREEN GIANT LIRIOPE | 28 | 2 GALLON | CONTAINER |

PROPOSED CONSTRUCTION IS WITHIN THE WILDLIFE ATTRACTANT ZONE OF THE HAGERSTOWN REGIONAL AIRPORT. LANDSCAPE PLANTS WERE CHOSEN TO MINIMIZE WILDLIFE ATTRACTION. ANY SUBSTITUTE PLANTINGS SHOULD BE GIVEN THE SAME CONSIDERATION.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT - WATER DIVISION

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[Signature] 7-1-2024
(SIGNATURE) (DATE)

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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BY: [Signature] DATE: 7-3-2024

THIS PLAN/PLAT HAS BEEN REVIEWED BY THE WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY FOR INCLUSION INTO THE COUNTY CAPACITY MANAGEMENT PLAN FOR THE SYSTEM THAT SERVES THIS PROJECT. ALLOCATION GRANTED FOR CONSTRUCTION SHOWN ON THIS PLAN/PLAT SHALL BE IN ACCORDANCE WITH THE CAPACITY MANAGEMENT PLAN DEVELOPED FOR THIS SYSTEM BASED ON AVAILABILITY OF ALLOCATION REMAINING IN THE FACILITY.

[Signature] 7/3/24
WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY DATE

| | | |
|------|----------|----------|
| DATE | REVISION | DRAWN BY |
| | | |

GRADING/SEC PLAN
RETAIL BUILDING
SITUATE EAST SIDE OF OLIVER DRIVE
ELECTION DISTRICT 13
WASHINGTON COUNTY, MARYLAND

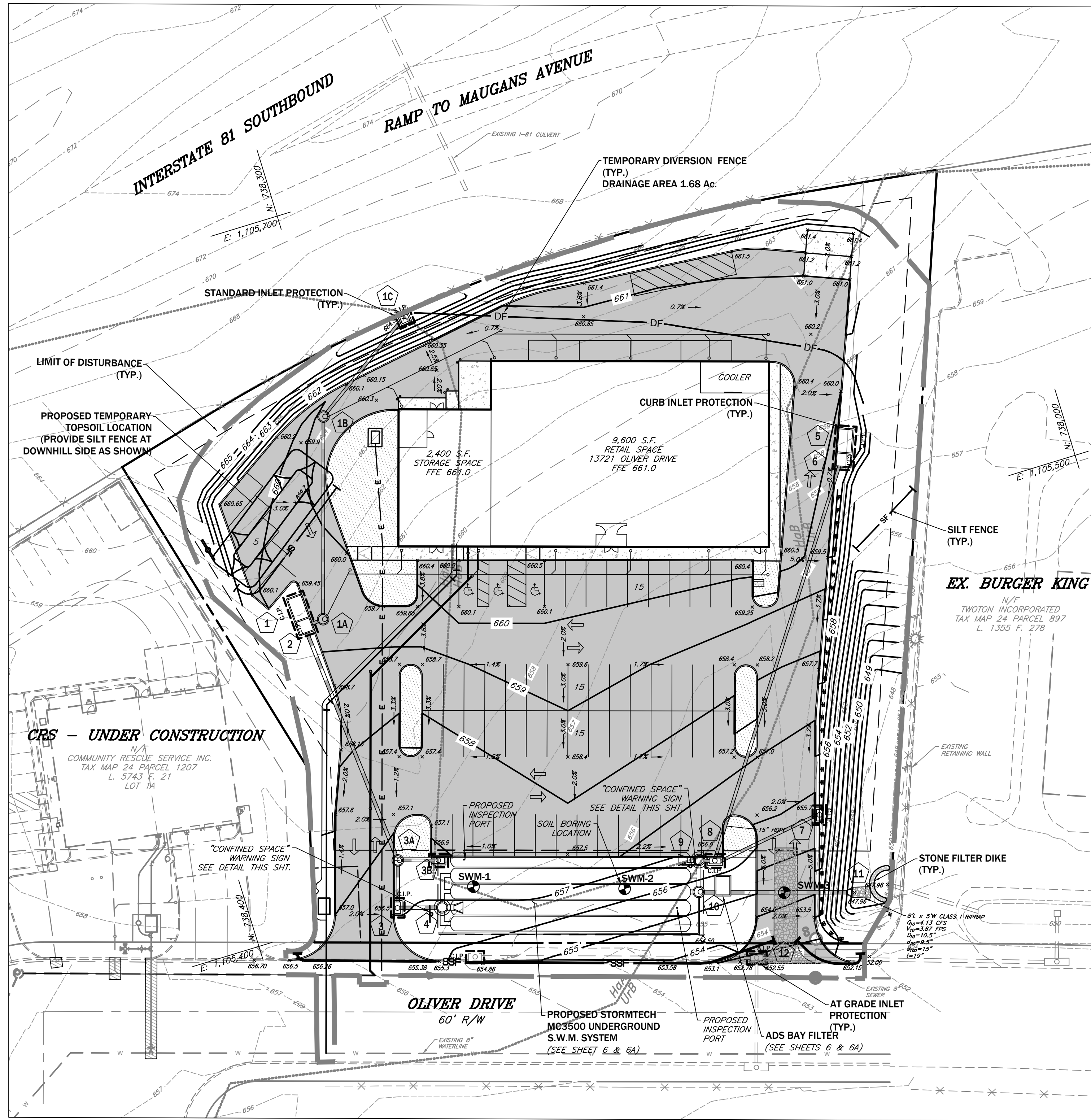
SCALE: 1"=30'



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LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 23-32023
DRAWING NO. D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
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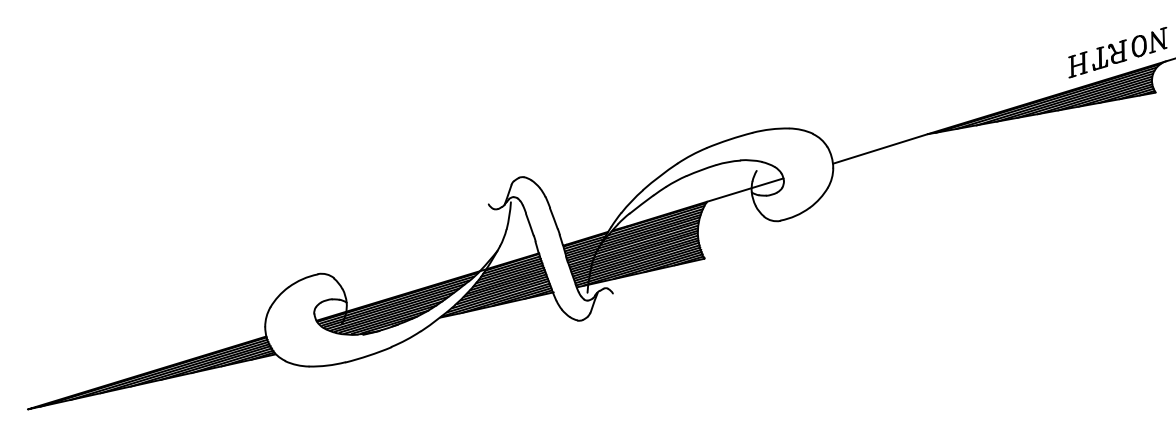
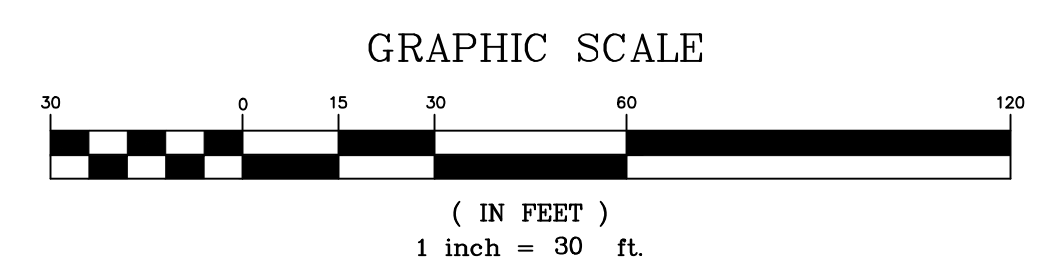
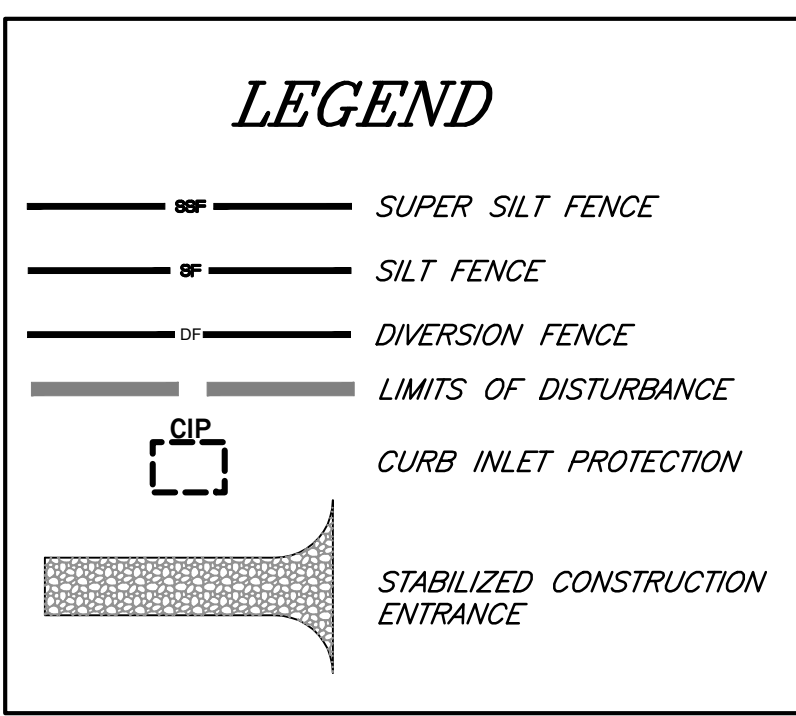
SHEET 4 OF 9

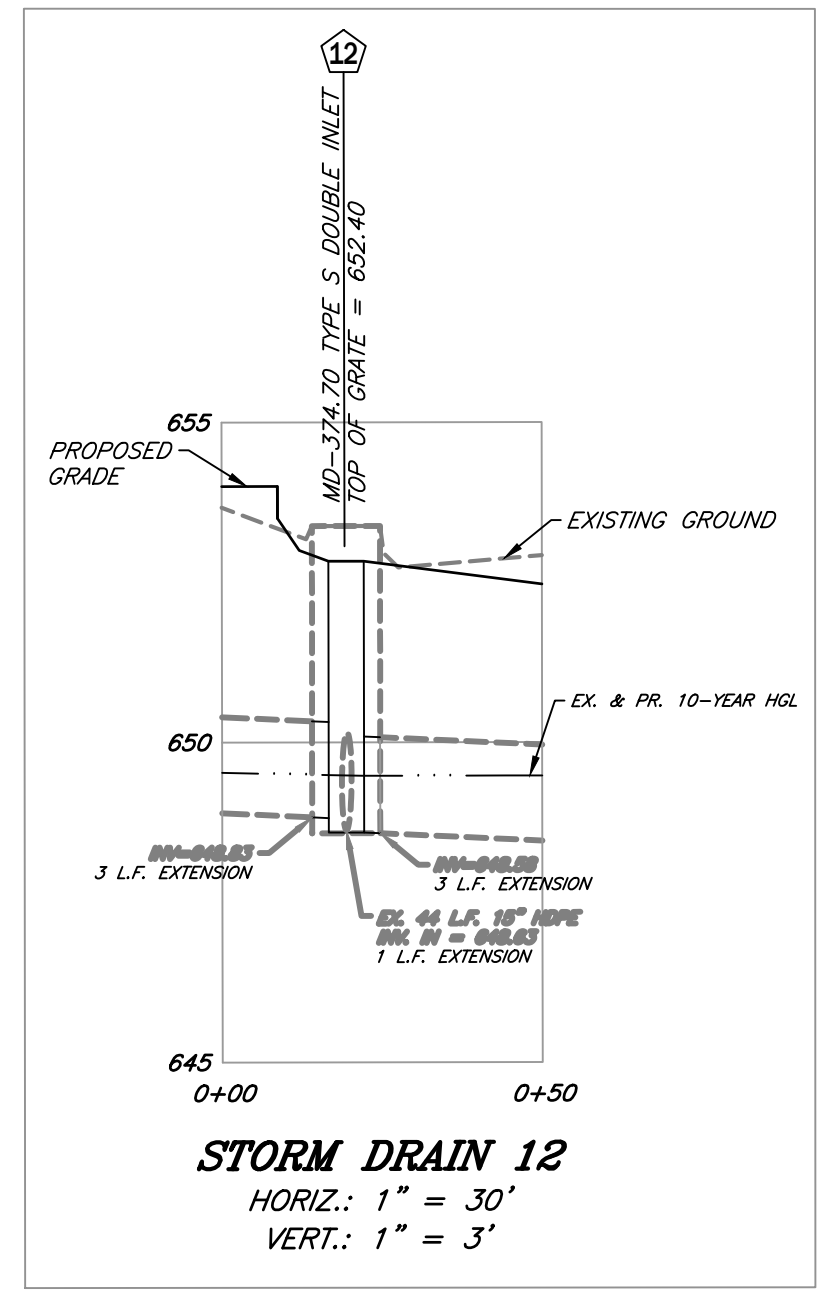
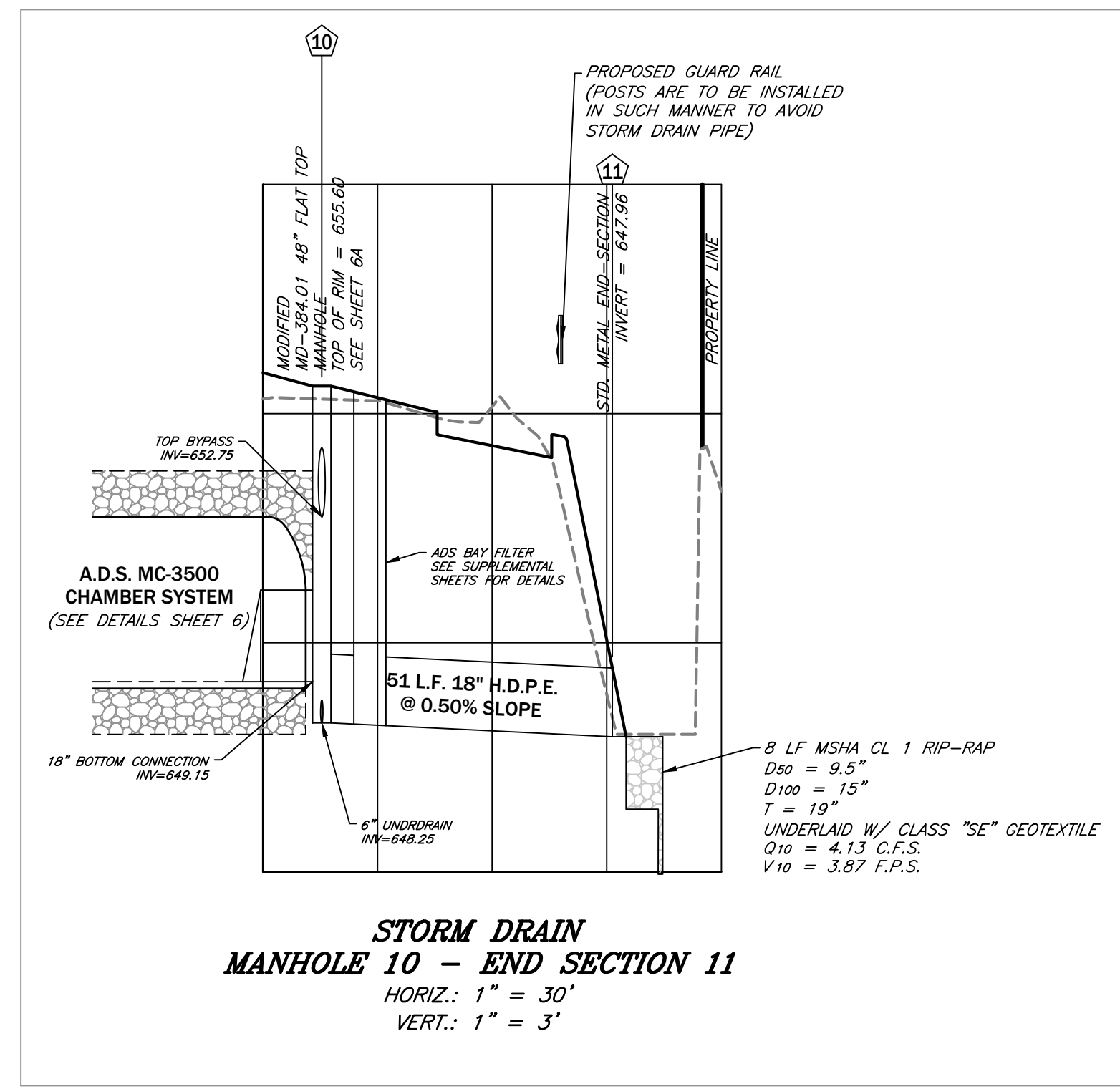
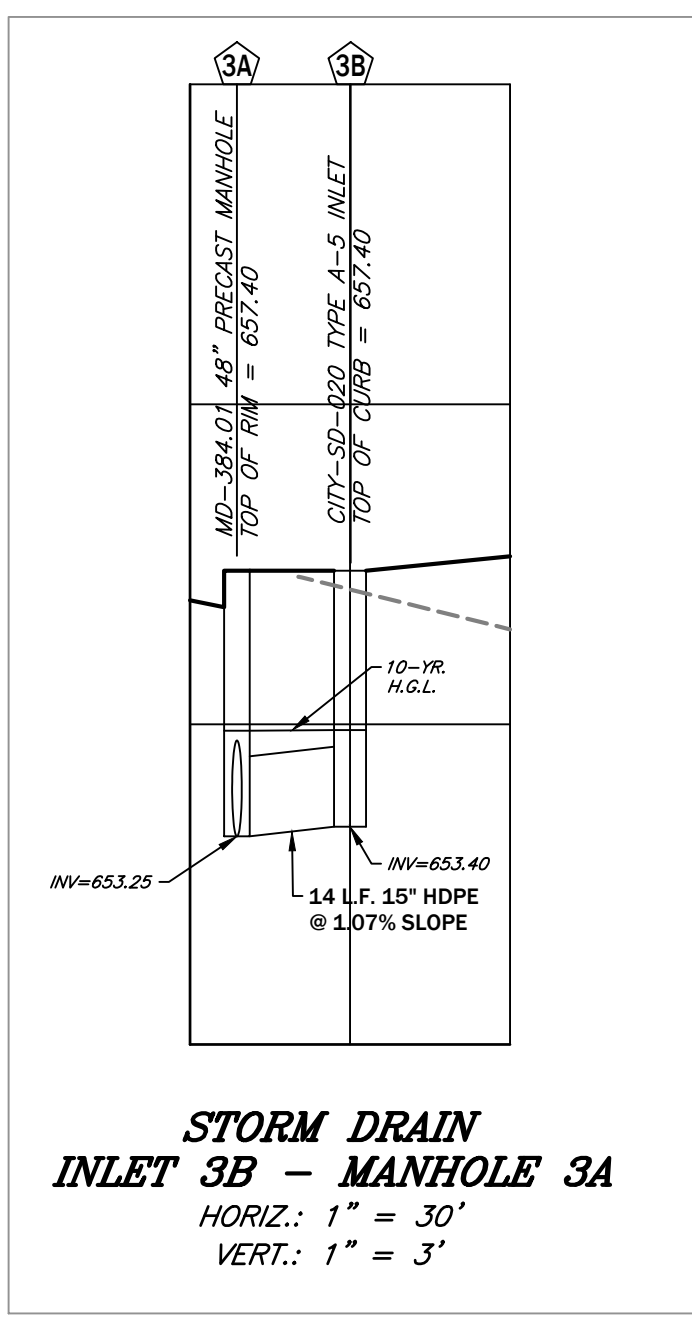
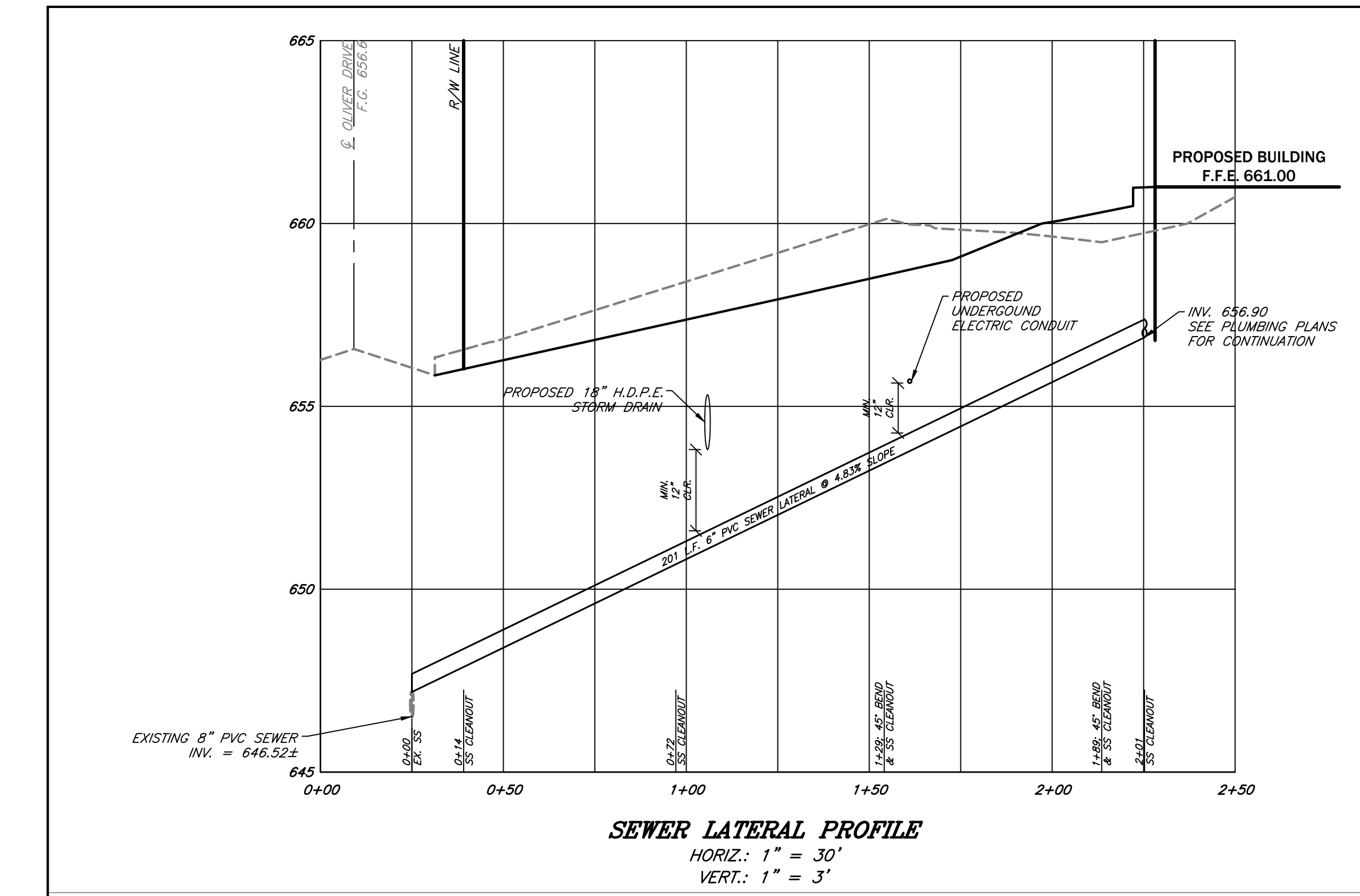
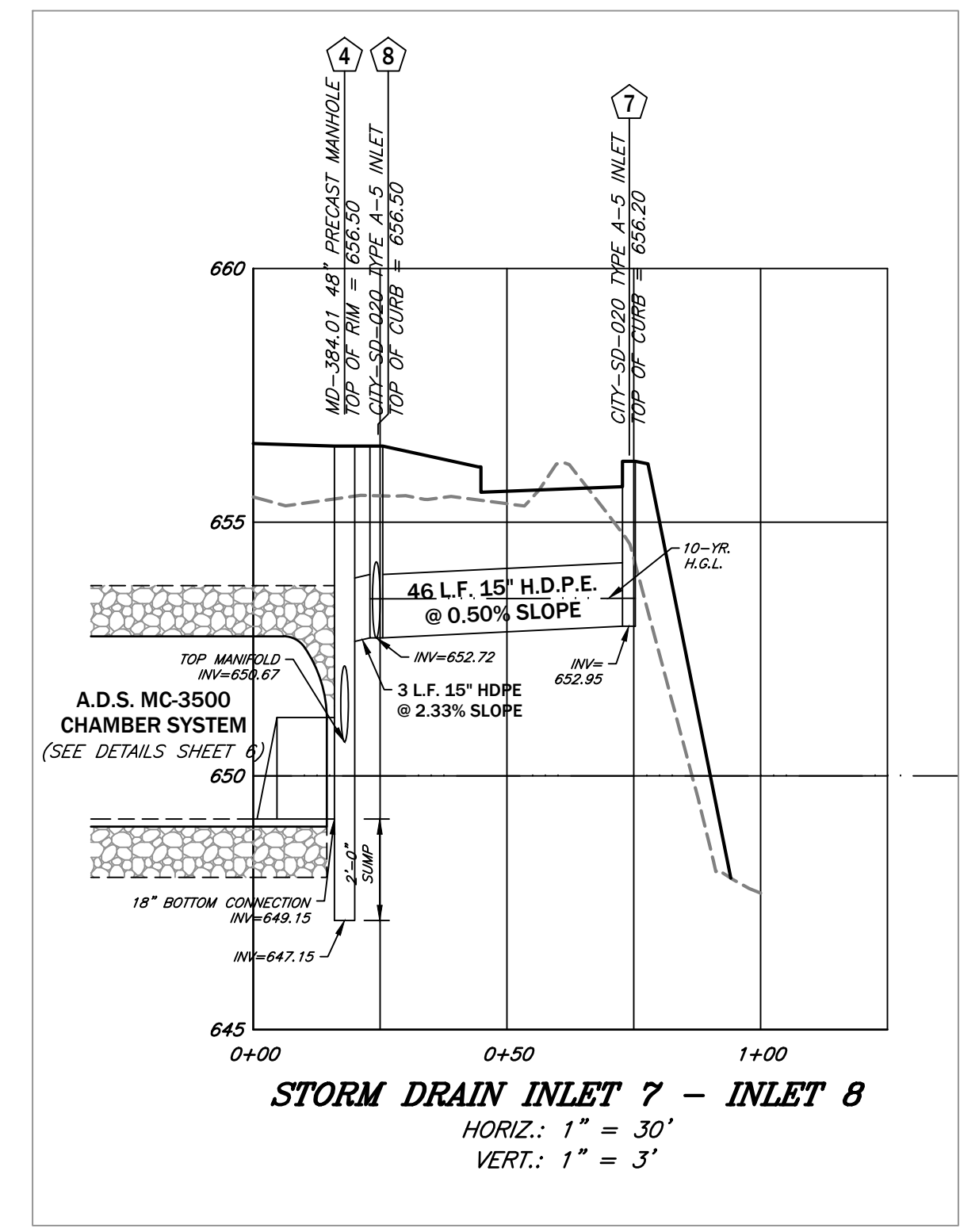
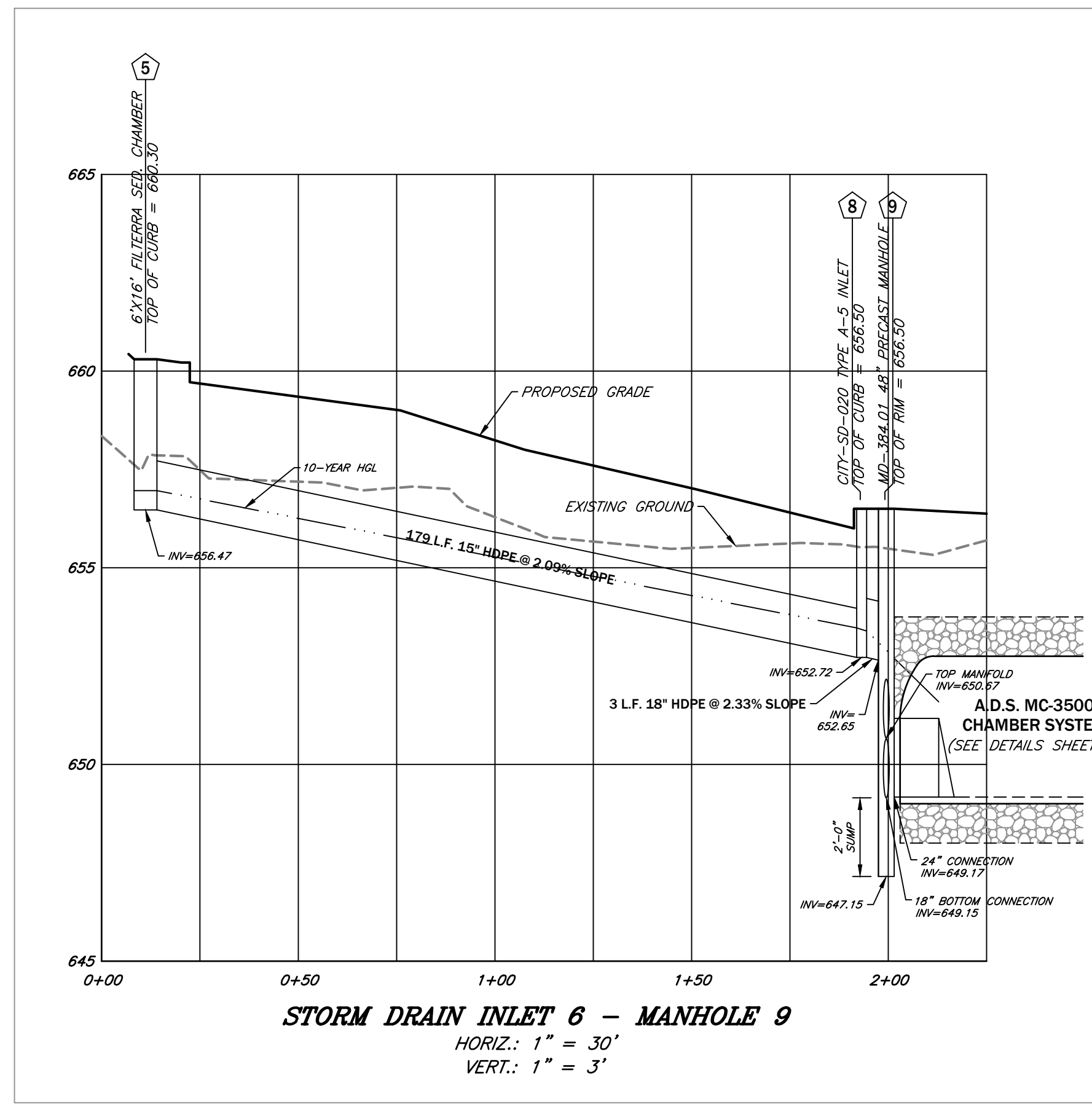
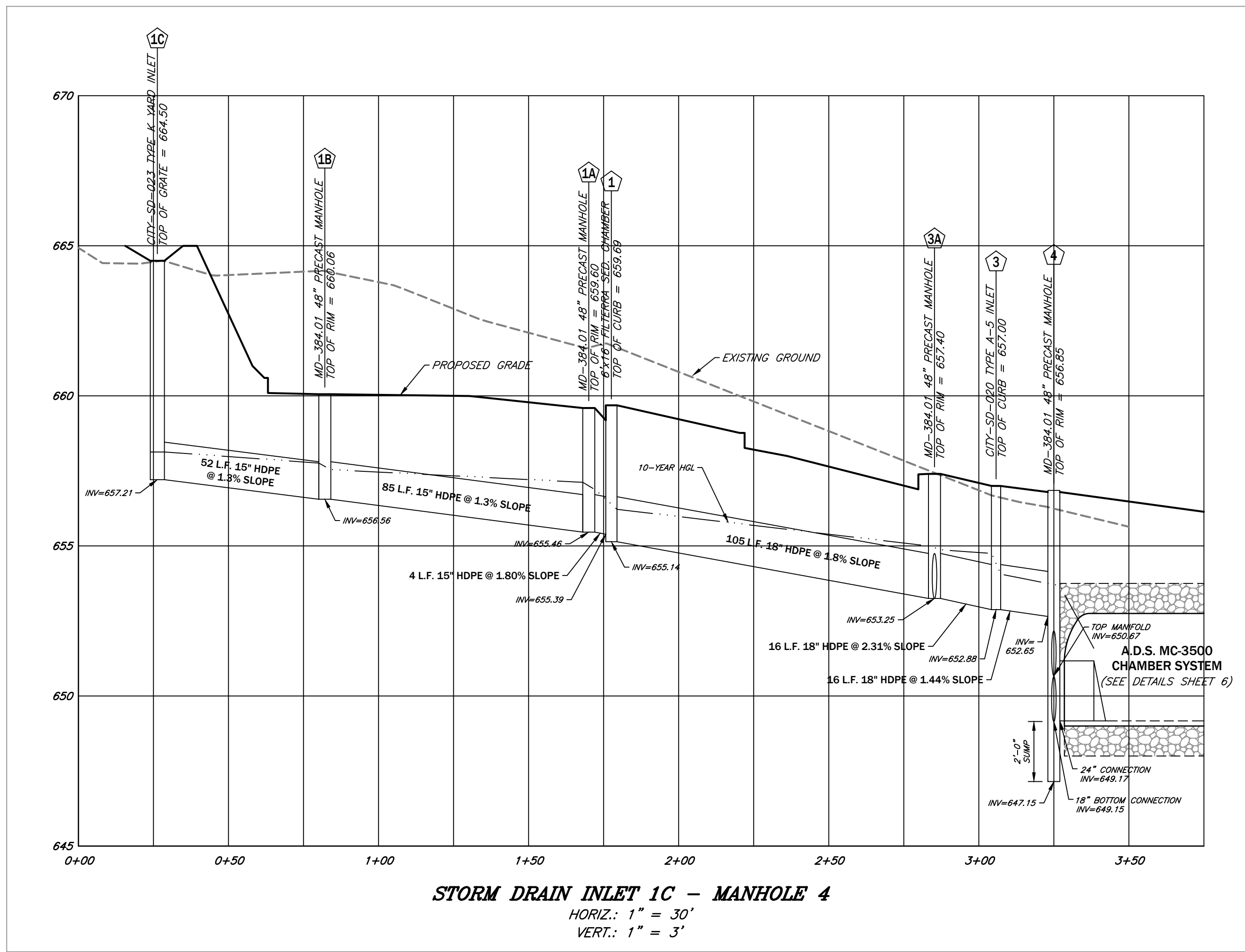


THE OWNER IS RESPONSIBLE FOR PERFORMING ALL MAINTENANCE AND INSPECTIONS FOR THIS UNDERGROUND STORMWATER MANAGEMENT FACILITY. A WRITTEN INSPECTION REPORT INCLUDING PHOTOGRAPHS SHALL BE SUBMITTED TO THE COUNTY BY, OR ON BEHALF OF, THE OWNER.

BASED ON ADS RECOMMENDATIONS, THE INSPECTION OF THE BAYFILTER SHALL BE PERFORMED EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATIONS, THEN BI-ANNUALLY THEREAFTER. INSPECTION OF THE STORAGE CHAMBERS SHALL BE PERFORMED EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATION THEN ADJUSTED BASED ON OBSERVED ACCUMULATED SEDIMENT AND HIGH WATER ELEVATIONS.

IT IS RECOMMENDED BY ADS THAT MAINTENANCE AND INSPECTIONS BE PERFORMED BY A QUALIFIED 3RD PARTY INSPECTOR.





WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY

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BY: _____ DATE: _____

FOX & ASSOCIATES, INC.
 ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
 SUITE 'C'
 FREDERICK, MD. 21701
 PHONE: (301)733-8503
 or (301)416-7250
 FAX: (301)733-1853
 www.foxassoc.com
 Email: foxassoc@foxassoc.com

| | |
|-------------|--|
| DESIGNED BY | |
| DRAWN BY | |
| REVISION | |
| DATE | |

STORM DRAIN PROFILES
RETAIL BUILDING

SITUATE EAST SIDE OF OLIVER DRIVE
 ELECTION DISTRICT 13
 WASHINGTON COUNTY, MARYLAND

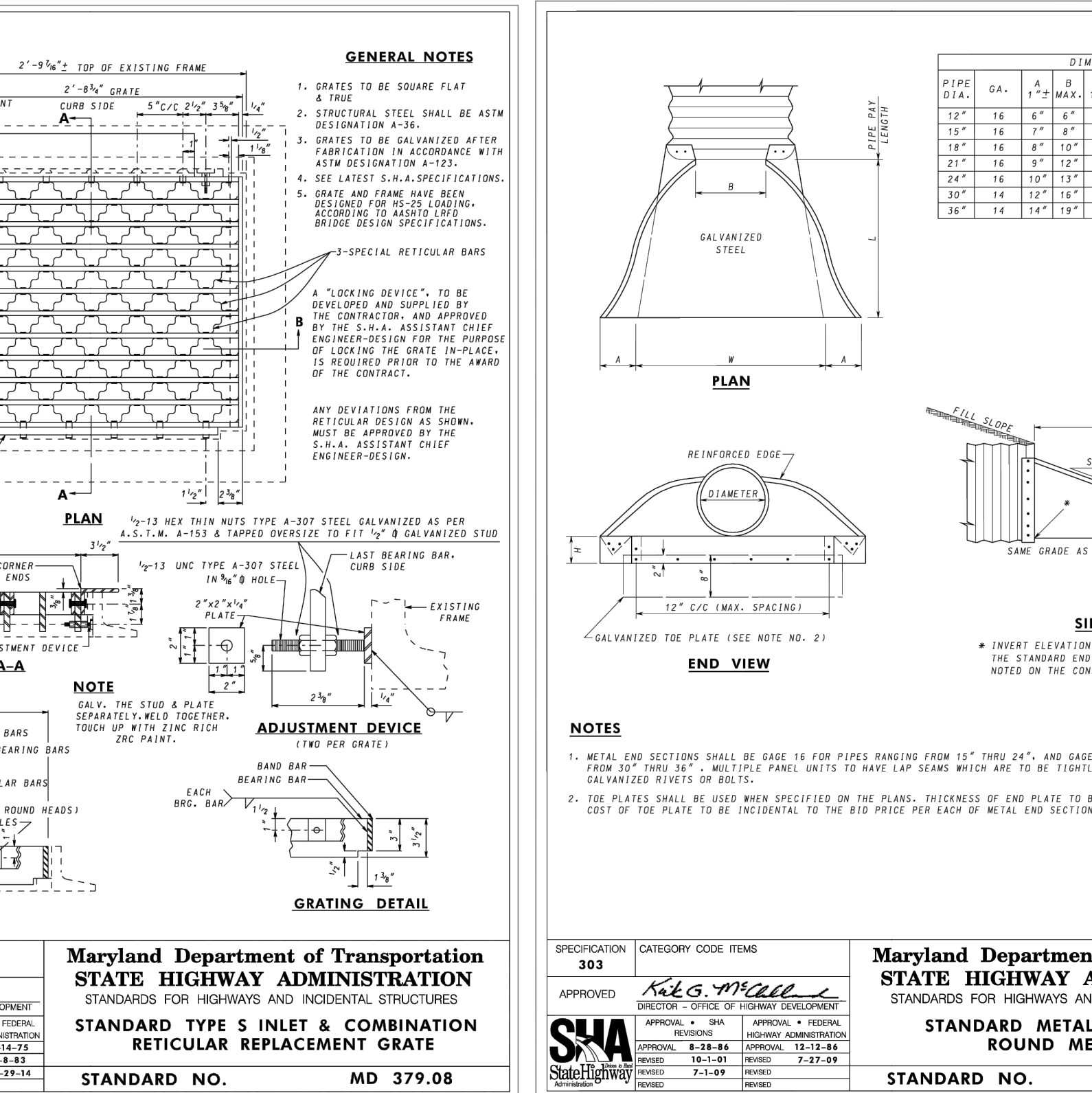
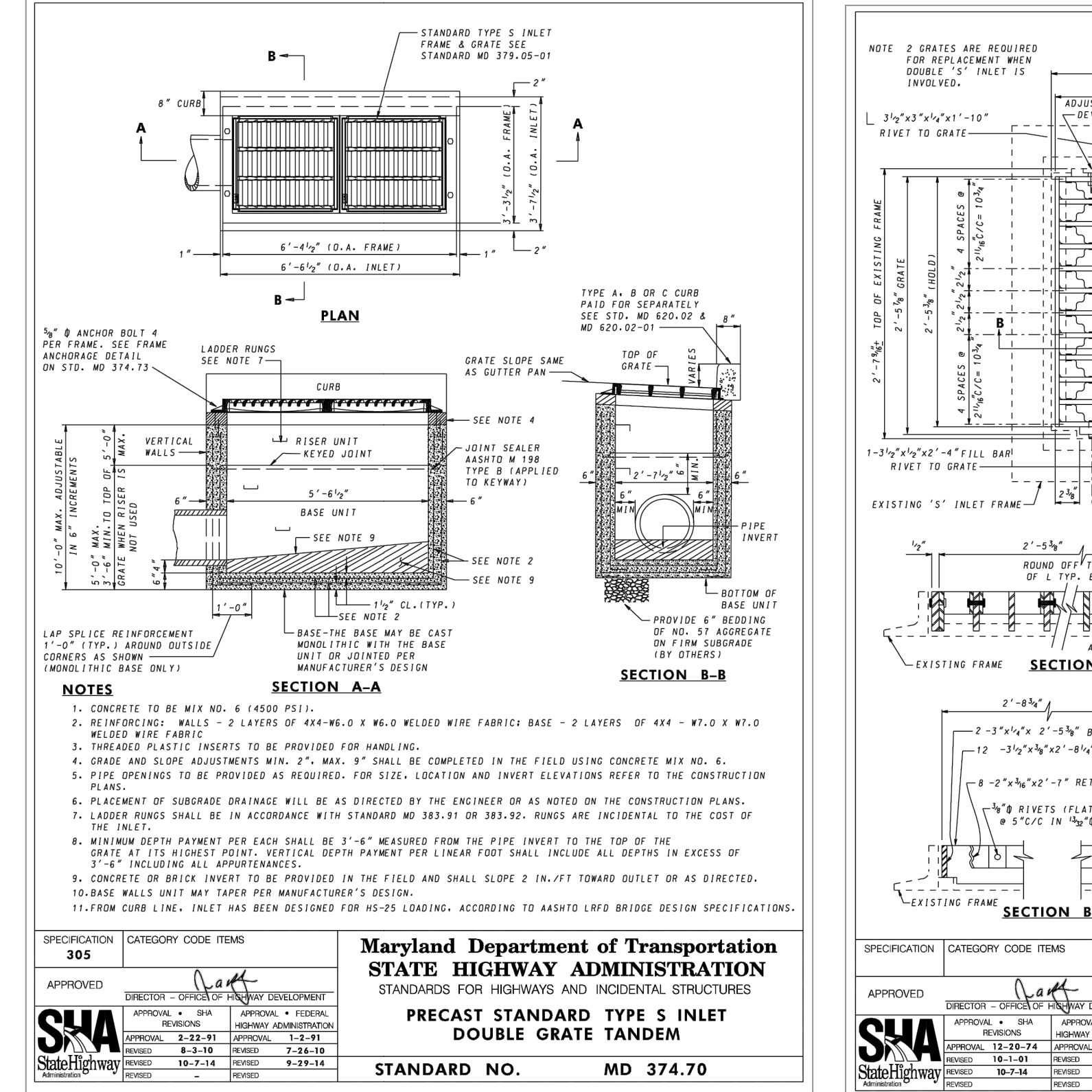
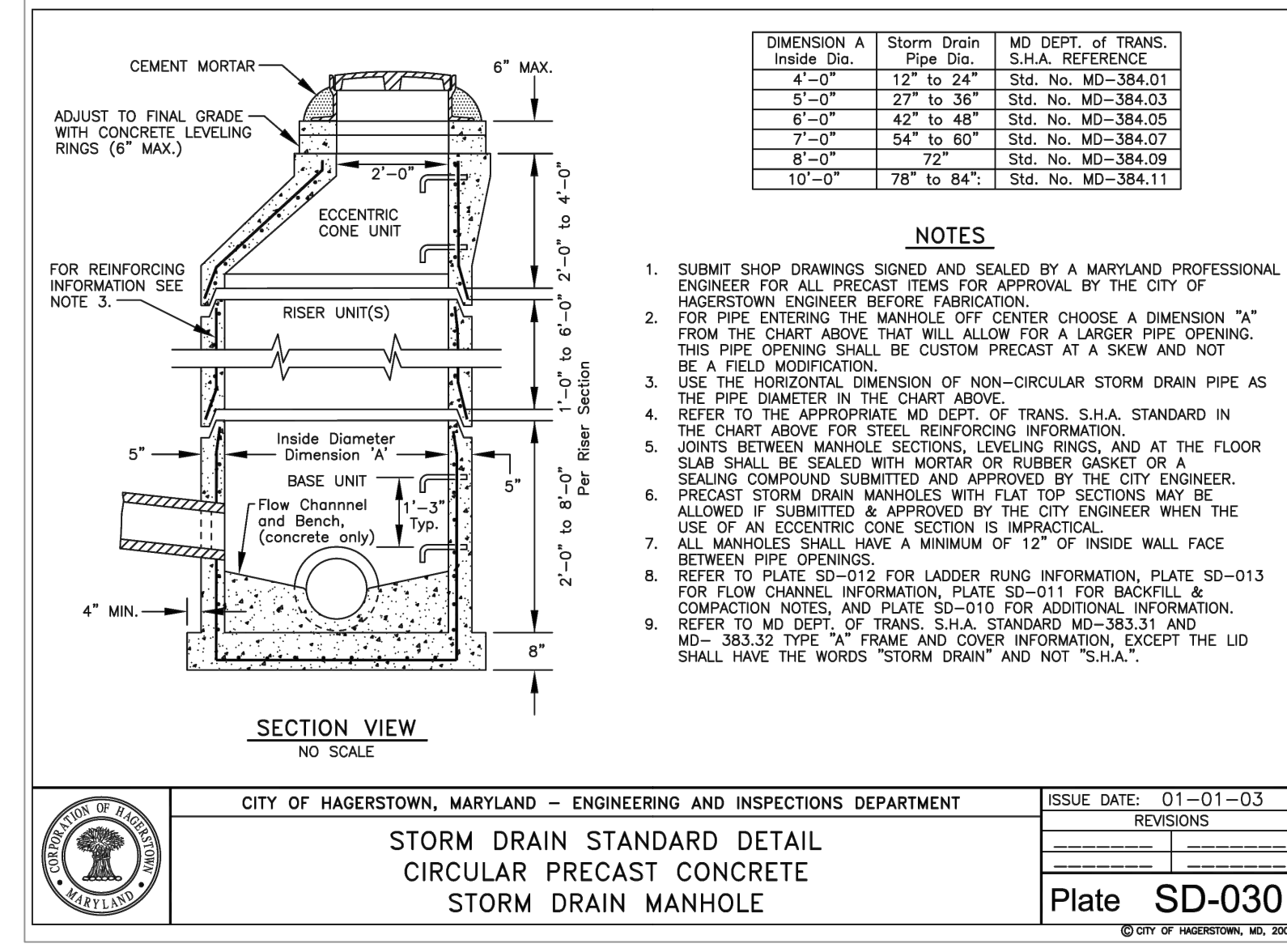
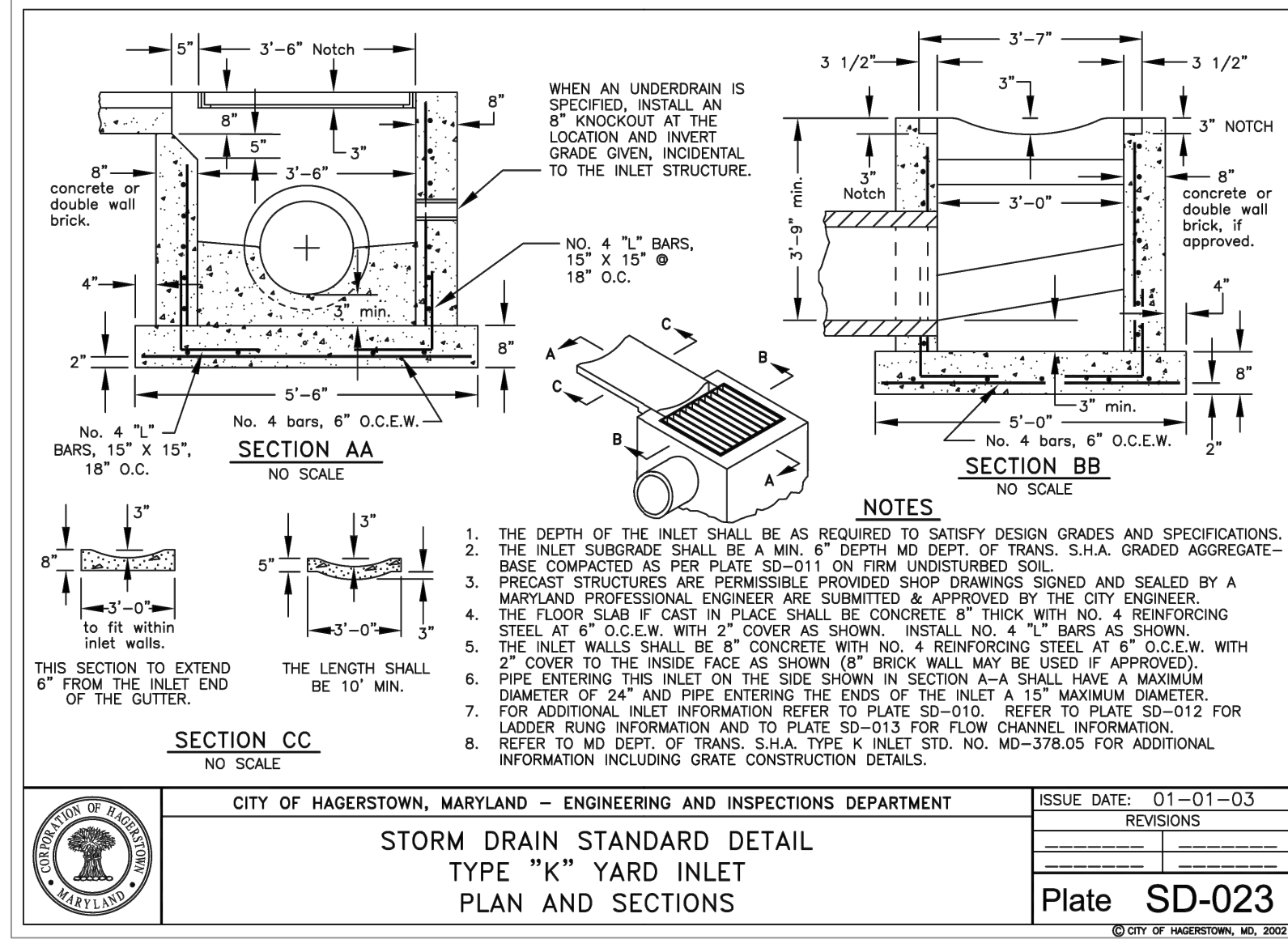
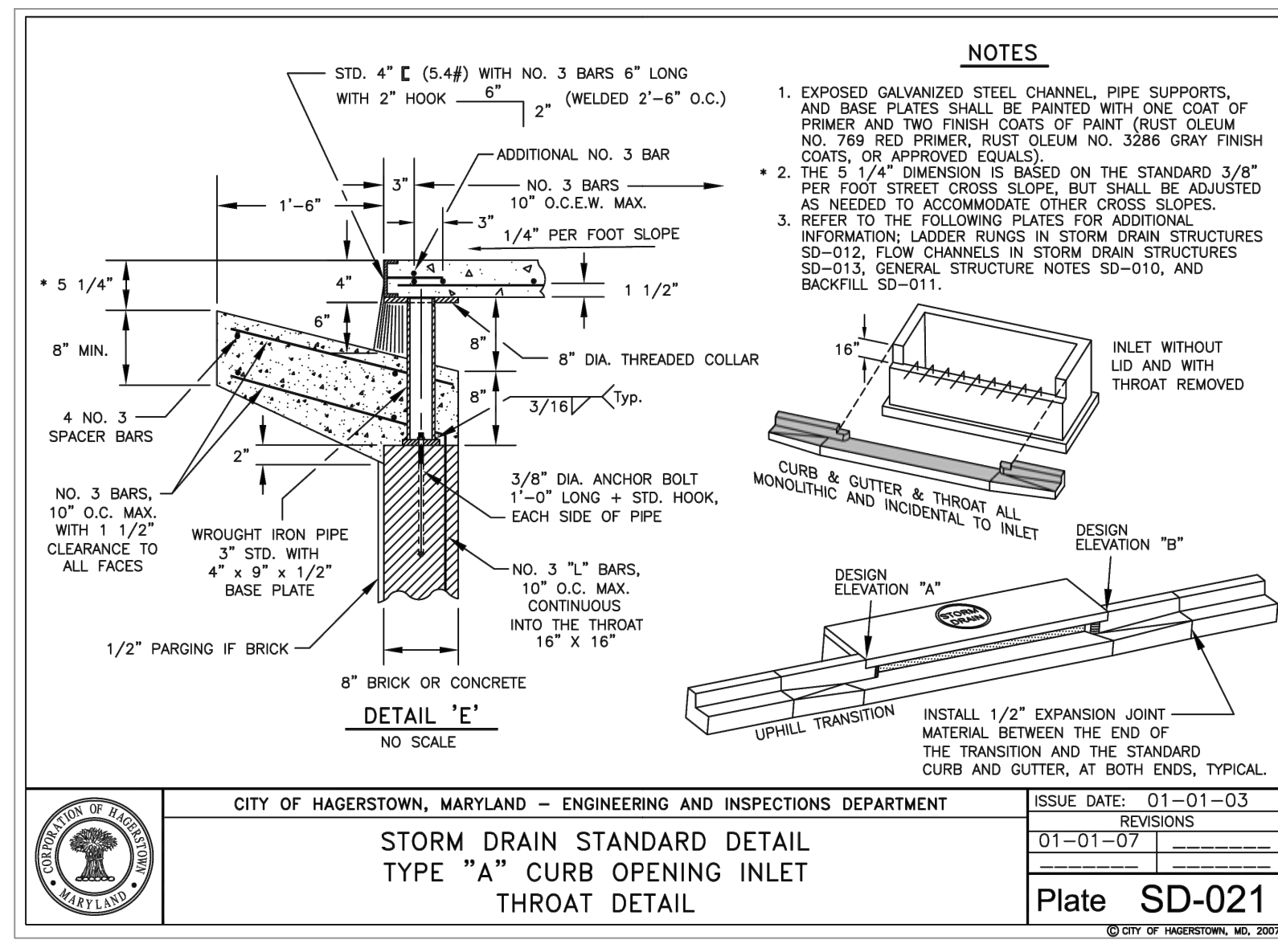
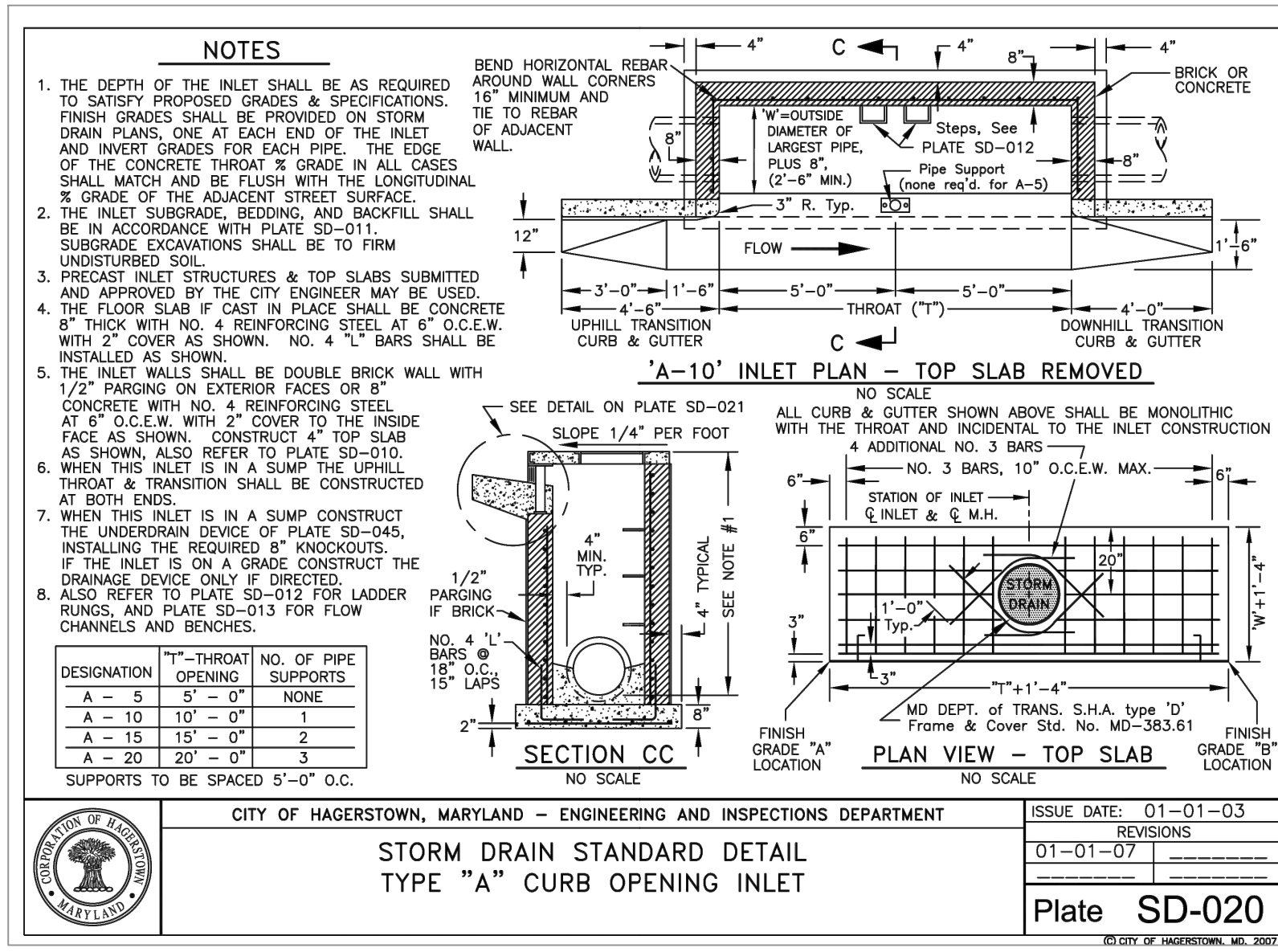
SCALE: AS SHOWN



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LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 23-32023
 DRAWING NO. D-9274
 DATE: OCTOBER, 2023
 DRAWN BY: GSP/ALP
 CHECKED BY: GSP



CONTECH ENGINEERED SOLUTIONS WQv-Based Sizing per MDE ESD Approval

Project Name: Proposed Retail Building
Site Designation: Liquor Store
County or Independent City: Washington
City: MD

Date: 5/7/24
Design Engineer: AJP

Site Characteristic Input

| | | |
|---|-------|----|
| Target Inlet Event, P (inches) | 0.50 | |
| Total Drainage Area | 0.000 | ac |
| Impervious Area | 0.160 | ac |
| Rim to Invert Out Depth (ft) | 3.83 | |
| Rim to Vault Floor Depth (ft) | 3.92 | OK |
| Percent of WQv to be Stored in Filtrera | 25% | |
| Internal Bypass (FTSCB)? | NO | |
| Open Top (FTVSCB)? | NO | |

Volume Computations

| | |
|-----------------------------------|--------|
| % Impervious, I | 48% |
| Volumetric Runoff Coefficient, Rv | 0.49 |
| Water Quality Volume, WQv (ac-ft) | 0.0120 |
| Water Quality Volume, WQv (cf) | 524 |

Filtrera Sizing (per MDE ESD Approval Letter)

| | | |
|---|--------------------------------|-----------------|
| Minimum Filtrera Planted Surface Area (sf) | 91,20,000 of the Drainage Area | 59 |
| Minimum WQv Required Storage (cf) | 25% of the WQv | 131 |
| Recommended Filtrera | FTSC Configuration | 6 x 10 (6 x 10) |
| Filtrera Planted Surface Area Provided (sf) | | 60 |
| WQv Storage Provided (cf) | | 154 |
| | | 102% |
| | | 117% |

Directions:

- Enter project information in Section 1
- Enter target rainfall and drainage area in Section 2. Select Rim to Invert Out Depth within the standard depth ranges noted. (Note if the project requires a non standard depth please contact your Contech Representative.)
- Select Vault Size (Below) from dropdown list, see guidance information.
- Media Bed Length will auto populate per width selected. Use dropdown list to overwrite length, if required. (Selecting from the dropdown list will overwrite calculation.)
- Check that the selected Vault Size and Media Bed Length answer all questions correctly and the provided planted surface area and storage volumes are larger than the minimums required. The standard is to provide the smallest acceptable vault size and media bed.

| Vault Size | Media Bed Length | Guidance - Required Media Bed |
|--------------|------------------|-------------------------------|
| 6x16 | 100' | < 30 sf - 4' wide vault |
| | | 30 sf - 70 sf - 6' wide vault |
| | | 70 sf - 8' wide vault |
| Surface Area | | 60 |
| Volume | | 154 |

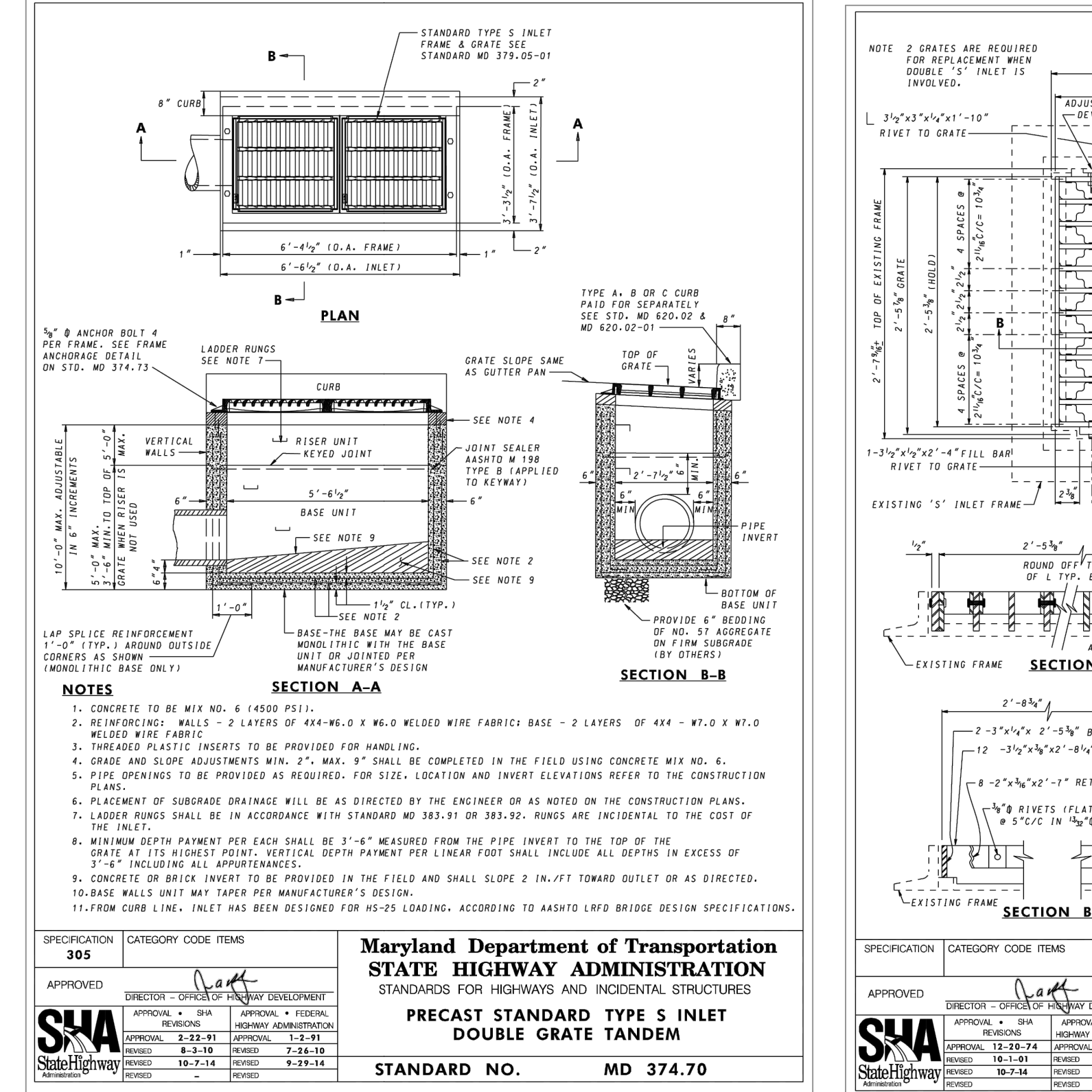
Is Vault Length longer than Media Bed? YES

Does Provided Surface Area Check? YES

Does Volume Check? YES

Will Curbing Open? YES

For question or help with sizing please contact your local Contech representative. <https://www.conteches.com/stormwater-management>



CONTECH ENGINEERED SOLUTIONS

| Unit Designation | 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 |
|------------------|------|---|----|------|----|-----|----|------|-------|--------|-----|-----|-----|-----|
| FTSC 6x10 (6x10) | 6x16 | 6 | 16 | 3.83 | 10 | 5.5 | 60 | 0.75 | 46.25 | 107.30 | 154 | 154 | 614 | 614 |

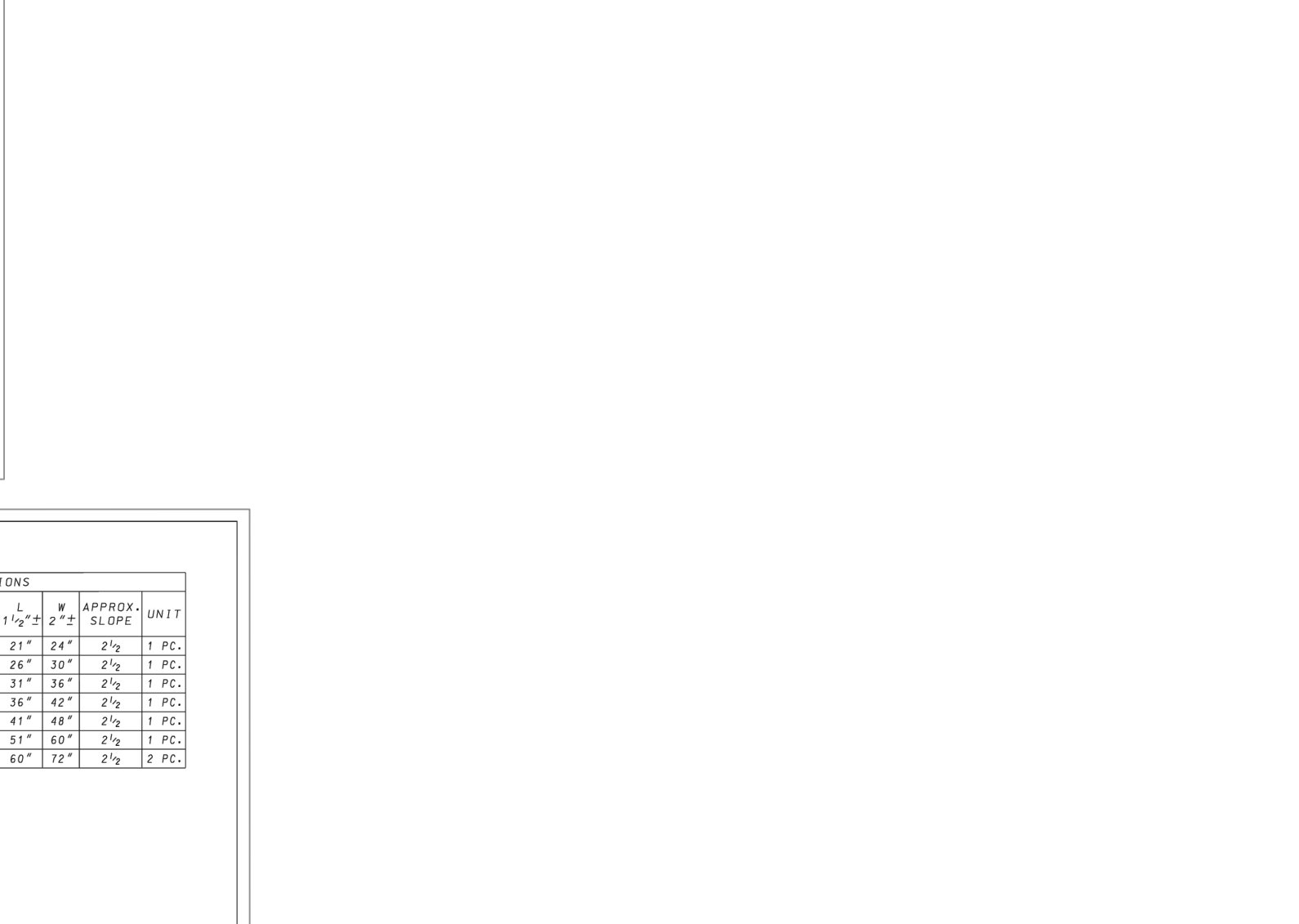
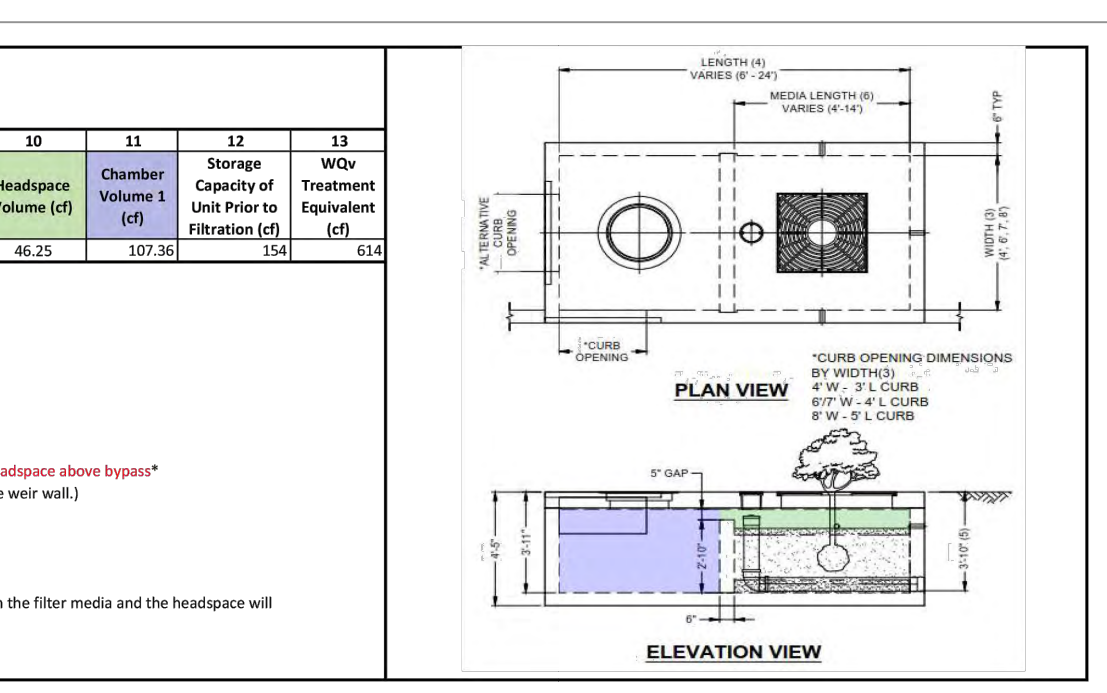
Notes:

- Contech Filtrera Sedimentation Chamber model designation, which is based on the filter media length and width.
- Overall internal vault dimensions.
- Internal vault width.
- Internal vault length.
- Rim to invert out depth.
- Length of chamber with filter media (see detail).
- Length of sedimentation chamber (see detail).
- Filter media surface area = inside vault width (ft) x filter media surface area length (ft).
- Headspace depth = Rim to Inv. Out (ft) - top slab - 2" media - 1" underdrain stone to pipe invert - 8" (FTSCB) or 3" (FTVSCB) headspace above bypass*
- Headspace volume = headspace depth (ft) x filter media surface area (ft²) x 0.75 (to account for volume gain above wet wall).
- Chamber volume 1 = (sedimentation chamber length (ft) x inside vault width (ft) x Rim to Invert Out (ft) x depth below outlet - 8" top slab).
- Storage Capacity of Unit Prior to Infiltration = headspace volume (ft³) x (ft³ to gal conversion factor) x 7.48 (top slab).
- WQv Treatment Equipment = Storage Capacity of Unit Prior to Infiltration x 4."

*Calculations shown are for standard depth of 3.83 rim to invert out. For shallow units (3.83 - 3.83) the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep units (3.83 - 5.00) the depth will be added to the headspace and the media depth will remain 21".

**The Treatment Volume for which the Storage Capacity of the Filtrera Unit (12) is 25%.

†See notes for internal vault units only.



DRAINAGE STRUCTURE SCHEDULE

| STRUCTURE NO. | STRUCTURE TYPE | RIM or T.G. ELEV. | INV. IN | INV. OUT | REMARKS | DRAINAGE AREA | I.P. TYPE |
|---------------|--|-------------------|----------------|----------|-------------------|---------------|-----------|
| 1A | CITY STD. 48" MANHOLE | 659.60 RIM | 655.46 | 655.46 | CITY STD. SD-030 | N/A | N/A |
| 1B | CITY STD. 48" MANHOLE | 660.06 RIM | 656.56 | 656.56 | CITY STD. SD-030 | N/A | N/A |
| 1C | CITY TYPE 'K' YARD INLET | 664.50 GRATE | N/A | 657.21 | CITY STD. SD-023 | 0.09 | TYPE A |
| 1 | 6'x16' FILTRERA SEDIMENTATION CHAMBER | 659.80 TOP | N/A | 656.3 | SEE DETAIL SHT. | 0.61 | C.I.P. |
| 2 | | NUMBER | NOT | USED | | | |
| 3 | CITY STD. A-5 INLET | 657.00 RIM | 652.88 | 652.88 | CITY STD. SD-020 | 0.29 | C.I.P. |
| 3A | CITY STD. 48" MANHOLE | 657.40 RIM | 653.25 | 653.25 | CITY STD. SD-030 | N/A | N/A |
| 3B | CITY STD. A-5 INLET | 657.40 RIM | N/A | 653.40 | CITY STD. SD-020 | ? | ? |
| 4 | CITY STD. 48" MANHOLE | 656.85 RIM | 652.65 | 649.17 | SEE SHEETS 6 & 6A | N/A | N/A |
| 5 | 6'x16' FILTRERA SEDIMENTATION CHAMBER | 660.35 TOP | N/A | 656.85 | SEE DETAIL SHT. | 0.06 | C.I.P. |
| 6 | | NUMBER | NOT | USED | | | |
| 7 | CITY STD. A-5 INLET | 656.20 RIM | N/A | 652.95 | CITY STD. SD-020 | 0.12 | C.I.P. |
| 8 | CITY STD. A-5 INLET | 656.50 RIM | 652.72 | 652.72 | CITY STD. SD-020 | 0.12 | C.I.P. |
| 9 | CITY STD. 48" MANHOLE | 656.50 RIM | 652.65 | 649.17 | SEE SHEETS 6 & 6A | N/A | N/A |
| 10 | MODIFIED FLAT TOP 48" MANHOLE | 655.60 RIM | 650.67 | 648.30 | SEE SHEETS 6 & 6A | N/A | N/A |
| 11 | 18" CMP END SECTION | N/A | N/A | 648.0 | SHA. STD. 370.01 | N/A | N/A |
| 12 | MDSHA TYPE S DOUBLE GRATE INLET W/ RETICULAR REPLACEMENT GRATE | 652.40 | 648.86, 648.63 | 648.58 | SHA. STD. 374.70 | 0.08 | A.I.P. |

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DRAWN BY: [Blank]
 REVISION: [Blank]
 DATE: [Blank]

STORM DRAIN NOTES & DETAILS
RETAIL BUILDING
 SITUATE EAST SIDE OF OLIVER DRIVE
 ELECTION DISTRICT 13
 WASHINGTON COUNTY, MARYLAND

SCALE: AS SHOWN

STATE OF MARYLAND
DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ADMINISTRATION
 PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND
 LICENSE NO. 27053, EXP. DATE: 1/25/26
 Jul 08, 2024

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

PROJECT NO. 23-32023
DRAWING NO. D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
CHECKED BY: GSP

| PROJECT INFORMATION | |
|-----------------------------|--|
| ENGINEERED PRODUCT MANAGER: | DANIEL COOLEY 667-216-0219 DANIEL.COOLEY@ADSPICE.COM |
| ENGINEER: | MIKE GREEN 304-240-0092 MICHAEL.GREEN@ADSPICE.COM |
| PROJECT NO.: | 539841 |



13721 OLIVER DRIVE - RETAIL BUILDING HAGERSTOWN, MD

MC-3500 STORMTECH CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45/78 DESIGNATION SS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSERVED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPERE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 40.1807T³. THE AS_C IS DEFINED IN SECTION 6.2.3 OF ASTM F2418. AND TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
 - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
 - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
 - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-3500 CHAMBER SYSTEM

- STORMTECH MC-3500 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM -6" (150 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M3 DESIGNATION OF #3 OR #4.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH MC-3500 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- THE USE OF EQUIPMENT OVER MC-3500 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER TRED LOADERS, DUMP TRUCKS OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-3500/4500 CONSTRUCTION GUIDE".
- FULL 30" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.

USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.

CONTACT STORMTECH AT 1-888-892-2684 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.

CONCEPTUAL LAYOUT

| | |
|-------|---|
| 70 | STORMTECH MC-3500 CHAMBERS |
| 10 | STORMTECH MC-3500 END CAPS |
| 12 | STONE ABOVE (IN) |
| 12 | STONE BELOW (IN) |
| 40 | STONE VOID |
| 12948 | INSTALLED SYSTEM VOLUME (CY BETWEEN ELEVATION 648.25 AND 651.14 PERIMETER STONE INCLUDED) |
| 4214 | SYSTEM AREA (SF) |
| 303 | SYSTEM PERIMETER (FT) |

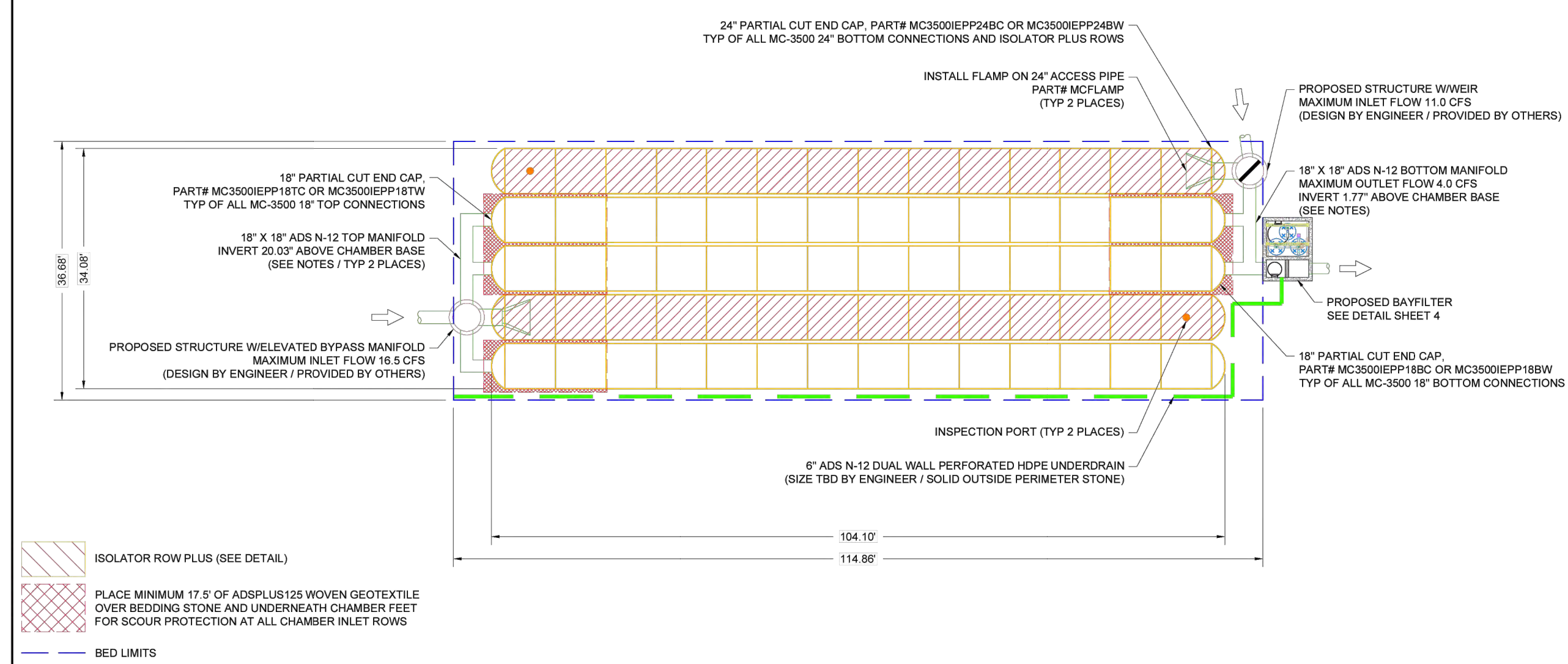
CONCEPTUAL ELEVATIONS

| | |
|--------|---|
| 650.75 | MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED) |
| 654.75 | MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC) |
| 654.25 | MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC) |
| 654.25 | MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT) |
| 654.25 | MINIMUM ALLOWABLE GRADE (TOP OF RIGID PAVEMENT) |
| 653.75 | TOP OF STONE |
| 652.75 | TOP OF MC-3500 CHAMBER |
| 650.67 | 18" TOP MANIFOLD INVERT |
| 649.17 | 24" ISOLATOR ROW PLUS CONNECTION INVERT |
| 648.15 | 18" BOTTOM CONNECTION INVERT |
| 648.00 | BOTTOM OF MC-3500 CHAMBER |
| 648.25 | UNDERDRAIN INVERT |
| 648.00 | BOTTOM OF STONE |

NOTES

- MANIFOLD SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECHNICAL NOTE 6.32 FOR MANIFOLD SIZING GUIDANCE.
- DUE TO THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND COUPLE ADDITIONAL PIPE TO STANDARD MANIFOLD COMPONENTS IN THE FIELD.
- THIS CHAMBER SYSTEM WAS DESIGNED WITHOUT SITE-SPECIFIC INFORMATION ON SOIL CONDITIONS OR BEARING CAPACITY. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR DETERMINING THE SUITABILITY OF THE SOIL AND PROVIDING THE BEARING CAPACITY OF THE INSITU SOILS. THE BASE STONE DEPTH MAY BE INCREASED OR DECREASED ONCE THIS INFORMATION IS PROVIDED.
- THE SITE DESIGN ENGINEER MUST REVIEW ELEVATIONS AND IF NECESSARY ADJUST GRADING TO ENSURE THE CHAMBER COVER REQUIREMENTS ARE MET.

NOT FOR CONSTRUCTION: THIS LAYOUT IS FOR DIMENSIONAL PURPOSES ONLY TO PROVE CONCEPT & THE REQUIRED STORAGE VOLUME CAN BE ACHIEVED ON SITE.



13721 OLIVER DRIVE -
RETAIL BUILDING
HAGERSTOWN, MD

| DATE | BY | REVISION |
|----------|---------|--------------------|
| 02/15/24 | ADSPICE | ISSUED FOR PERMITS |
| 02/15/24 | ADSPICE | ISSUED FOR PERMITS |
| 02/15/24 | ADSPICE | ISSUED FOR PERMITS |

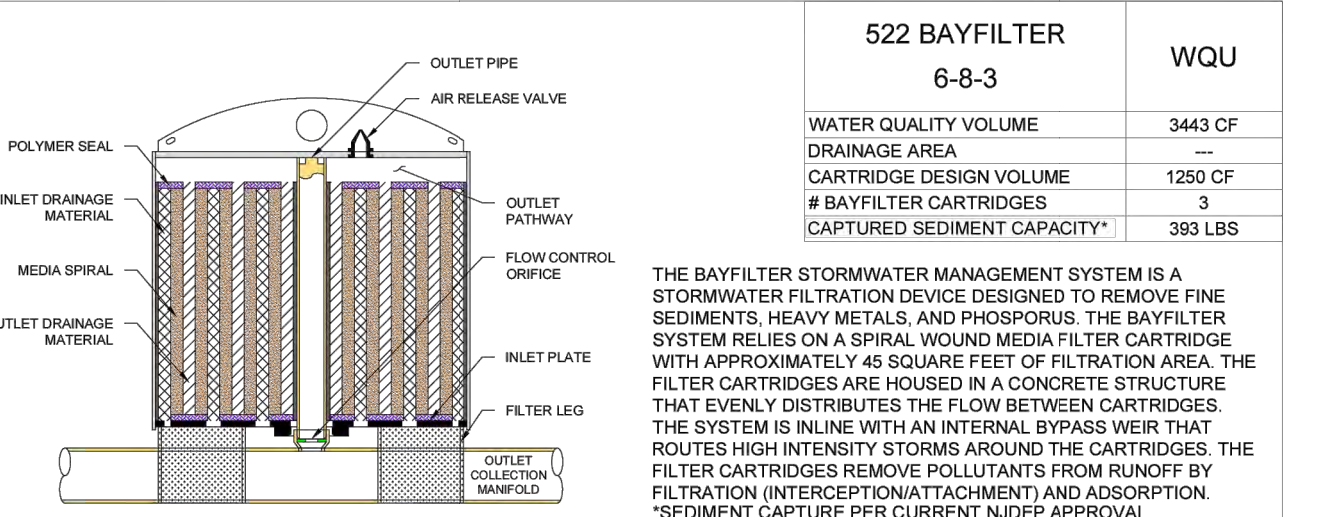
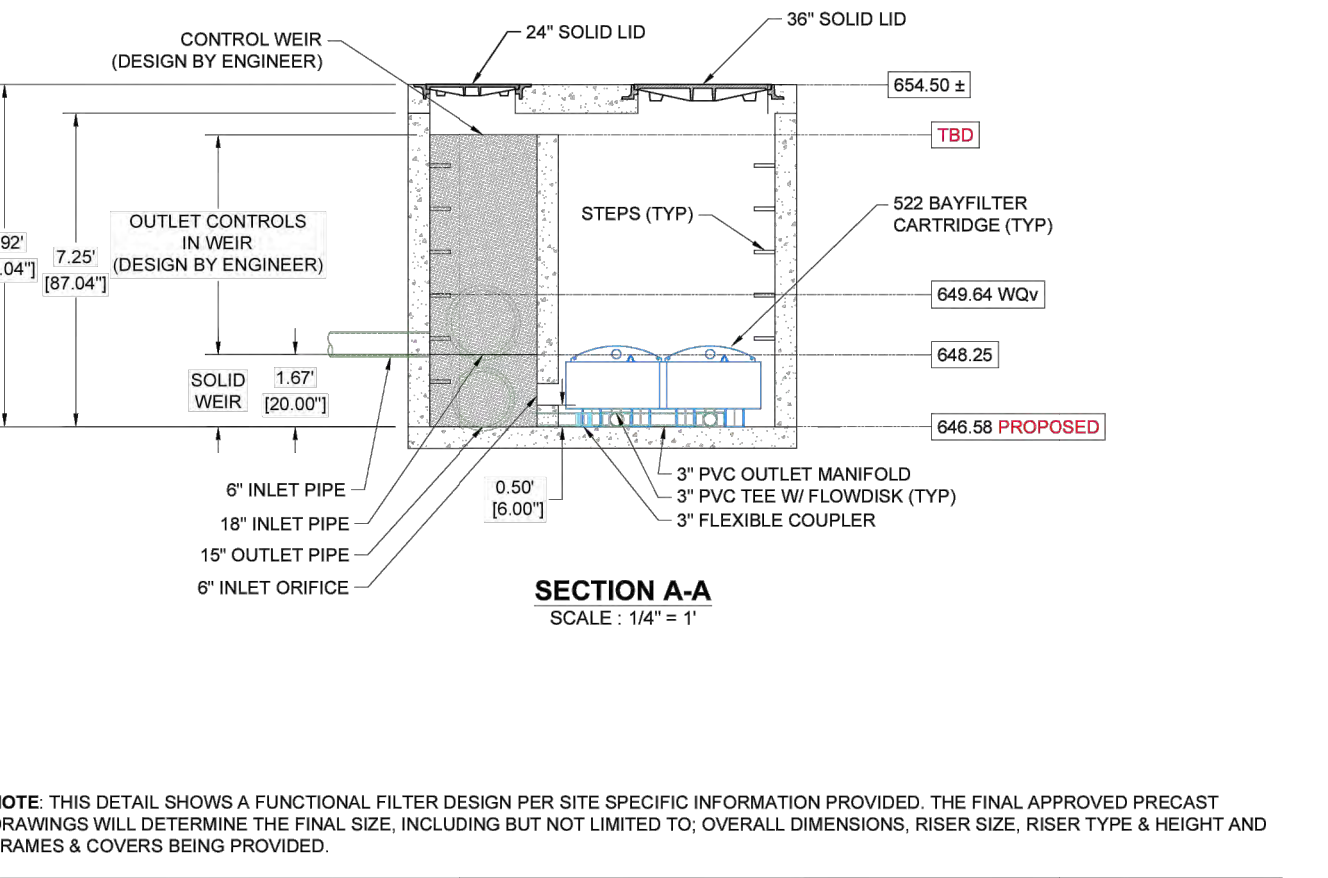
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4640 TRUHAN BLVD
HILLIARD, OH 43026

BAYSAVER BAYFILTER SPECIFICATIONS

- PRODUCTS
- INTERNAL COMPONENTS: ALL COMPONENTS INCLUDING CONCRETE STRUCTURE(S), PVC MANIFOLD PIPING AND FILTER CARTRIDGES, SHALL BE PROVIDED BY BAYSAVER TECHNOLOGIES LLC, 1050 DEER HOLLOW DRIVE, MOUNT AIRY, NC 28929-1931.
 - PVC MANIFOLD PIPING: ALL INTERNAL PVC PIPE AND FITTINGS SHALL MEET ASTM D1785. MANIFOLD PIPING SHALL BE PROVIDED TO THE CONTRACTOR PARTIALLY PRE-CUT AND PRE-ASSEMBLED.
 - FILTER CARTRIDGES: EXTERNAL SHELL OF THE FILTER CARTRIDGES SHALL BE SUBSTANTIALLY CONSTRUCTED OF POLYETHYLENE OR EQUIVALENT MATERIAL ACCEPTABLE TO THE MANUFACTURER. FILTRATION MEDIA SHALL BE ARRANGED IN A SPIRAL LAYERED FASHION TO MAXIMIZE AVAILABLE FILTRATION AREA. AN ORIFICE PLATE SHALL BE SUPPLIED WITH EACH CARTRIDGE TO RESTRICT THE FLOW RATE TO A MAXIMUM OF 45 GPM.
 - FILTER MEDIA: FILTER MEDIA SHALL BE BY BAYSAVER TECHNOLOGIES LLC AND SHALL CONSIST OF THE FOLLOWING MIX: A BLEND OF ZEOULITE, PERLITE AND ACTIVATED ALUMINA.
 - PRECAST CONCRETE VAULT: CONCRETE STRUCTURES SHALL BE PROVIDED ACCORDING TO ASTM C. THE MATERIALS AND STRUCTURAL DESIGN OF THE DEVICES SHALL BE PER ASTM C478, C857 AND C868. PRECAST CONCRETE SHALL BE PROVIDED BY BAYSAVER TECHNOLOGIES, LLC.

- PERFORMANCE
- THE STORMWATER FILTER SYSTEM SHALL BE AN OFFLINE DESIGN CAPABLE OF TREATING 100% OF THE REQUIRED TREATMENT FLOW AT FULL SEDIMENT LOAD CONDITIONS.
 - THE STORMWATER FILTER SYSTEM'S CARTRIDGES SHALL HAVE NO MOVING PARTS.
 - THE STORMWATER TREATMENT UNIT SHALL BE DESIGNED TO REMOVE AT LEAST 65% OF SUSPENDED SOLIDS, 85% OF TOTAL PHOSPHORUS, 60% OF TURBIDITY, 40% OF TOTAL COPPER, AND 40% OF TOTAL ZINC BASED ON FIELD DATA COLLECTED IN COMPLIANCE WITH THE TECHNOLOGY ACCEPTANCE RECIPROCAL PARTNERSHIP TIER II TEST PROTOCOL.
 - THE STORMWATER FILTRATION SYSTEM SHALL REDUCE INCOMING TURBIDITY (MEASURED AS NTU) BY 50% OR MORE AND SHALL NOT HAVE ANY COMPONENTS THAT LEACH NITRATES OR PHOSPHATES.
 - THE STORMWATER FILTRATION CARTRIDGE SHALL BE EQUIPPED WITH A HYDRODYNAMIC BACKWASH MECHANISM TO EXTEND THE FILTER'S LIFE AND OPTIMIZE ITS PERFORMANCE.
 - THE STORMWATER FILTRATION SYSTEM SHALL BE DESIGNED TO REMOVE A MINIMUM OF 65% OF THE INCOMING TOTAL PHOSPHORUS (TP) LOAD.
 - THE STORMWATER FILTRATION SYSTEMS CARTRIDGES SHALL HAVE A TREATED SEDIMENT CAPACITY FOR 30% TSS REMOVAL BETWEEN 150-300 LBS.



BAYFILTER MAINTENANCE

THE BAYFILTER SYSTEM REQUIRES PERIODIC MAINTENANCE TO CONTINUE OPERATING AT ITS PEAK EFFICIENCY DESIGN. THE MAINTENANCE PROCESS COMPRISES THE REMOVAL AND REPLACEMENT OF EACH BAYFILTER CARTRIDGE AND THE CLEANING OF THE VAULT OR MANHOLE WITH A VACUUM TRUCK FOR BEST RESULTS. BAYFILTER MAINTENANCE SHOULD BE PERFORMED BY A CERTIFIED MAINTENANCE CONTRACTOR. A CHECK CALL TO AN ADS ENGINEER OR CUSTOMER SERVICE REPRESENTATIVE WILL PROVIDE YOU WITH A LIST OF RELIABLE CONTRACTORS IN YOUR AREA. WHEN BAYFILTER IS INITIALLY INSTALLED, WE RECOMMEND THAT AN INSPECTION BE PERFORMED ON THE SYSTEM IN THE FIRST SIX (6) MONTHS AFTER THAT. THE INSPECTION CYCLE TYPICALLY FALLS INTO A BIENNIAL PATTERN GIVEN NORMAL STORM OCCURRENCE AND ACTUAL SOLIDS LOADS.

- WHEN BAYFILTER EXHIBITS FLOWS BELOW DESIGN LEVELS, THE SYSTEM SHOULD BE INSPECTED AND MAINTAINED AS SOON AS PRACTICAL. REPLACING A BAYFILTER CARTRIDGE SHOULD BE CONSIDERED AT OR ABOVE THE LEVEL OF THE MANIFOLD.
- MAINTENANCE PROCEDURES
- REMOVE THE MANHOLE COVERS AND OPEN ALL ACCESS HATCHES.
 - BEFORE ENTERING THE SYSTEM MAKE SURE THE AIR IS SAFE PER OSHA STANDARDS OR USE A BREATHING APPARATUS. USE LOW O₂, HIGH CO₂ OR OTHER APPLICABLE WARNING DEVICES PER REGULATORY REQUIREMENTS.
 - USING A VACUUM TRUCK, REMOVE ANY LIQUID AND SEDIMENTS THAT CAN BE REMOVED PRIOR TO ENTRY.
 - USING A SMALL LIFT OR THE BOOM OF THE VACUUM TRUCK, REMOVE THE USED CARTRIDGES BY LIFTING THEM OUT.
 - ANY CARTRIDGES THAT CANNOT BE READILY LIFTED CAN BE EASILY SLID ALONG THE FLOOR TO A LOCATION THEY CAN BE LIFTED VIA A BOOM LIFT.
 - WHEN ALL THE CARTRIDGES HAVE BEEN REMOVED, IT IS NOW PRACTICAL TO REMOVE THE BALANCE OF THE SOLIDS AND WATER. LOOSEN THE STAINLESS CLAMPS ON THE FERROC COUPLINGS FOR THE MANIFOLD AND REMOVE THE DRAINPIPS AS WELL, CAREFULLY CAP THE MANIFOLD AND THE FERROC'S AND RINSE THE FLOOR, WASHING AWAY THE BALANCE OF ANY REMAINING COLLECTED SOLIDS.
 - CLEAN THE MANIFOLD PIPES, INSPECT, AND REINSTALL.
 - INSTALL THE EXCHANGE CARTRIDGES AND CLOSE ALL COVERS.
 - THE USED CARTRIDGES MUST BE SENT BACK TO ADS FOR EXCHANGE/RECYCLING AND CREDIT ON UNDAMAGED UNITS.

BAYFILTER INSTALLATION NOTES

- CONTACT UTILITY LOCATOR TO MARK ANY NEARBY UNDERGROUND UTILITIES AND MAKE SURE IT IS SAFE TO EXCAVATE.
- REFERENCE THE SITE PLAN AND STAKE OUT THE LOCATION OF THE BAYFILTER VAULT.
- EXCAVATE THE HOLE, PROVIDING ANY SHEETING AND SHORING NECESSARY TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL SAFETY REGULATIONS.
- LEVEL THE SUB-GRADE TO THE PROPER ELEVATION. VERIFY THE ELEVATION AGAINST THE MANHOLE DIMENSIONS, THE INVERT ELEVATIONS, AND THE FERROC'S AND RINSE THE FLOOR, WASHING AWAY THE BALANCE OF ANY REMAINING COLLECTED SOLIDS.
- HAVE THE SOIL BEARING CAPACITY VERIFIED BY A LICENSED ENGINEER FOR THE REQUIRED LOAD BEARING CAPACITY, ON SOILD SUB-GRADE, SET THE FIRST SECTION OF THE BAYFILTER PRE-CAST VAULT.
- CHECK THE LEVEL AND ELEVATION OF THE FIRST SECTION TO ENSURE IT IS CORRECT BEFORE ADDING ANY RISER SECTIONS.
- IF ADDITIONAL SECTION(S) ARE REQUIRED, ADD A WATERTIGHT SEAL TO THE FIRST SECTION OF THE BAYFILTER VAULT. SET ADDITIONAL SECTION(S) OF THE VAULT, ADDING A WATERTIGHT SEAL TO EACH JOINT.
- INSTALL THE PVC OUTLET MANIFOLD.
- INSTALL THE PVC OUTLET PIPE IN BAYFILTER VAULT.
- INSTALL THE INLET PIPE TO THE BAYFILTER VAULT.
- AFTER THE SITE IS STABILIZED, REMOVE ANY ACCUMULATED SEDIMENT OR DEBRIS FROM THE VAULT AND INSTALL THE FLOW DISKS, DRAIN-DOWN MODULES (IF APPLICABLE), AND THE BAYFILTER CARTRIDGES.
- PLACE FULL SET OF HOLD DOWN BARS AND BRACKETS INTO PLACE.



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FAX: (301)733-1853
FAX: (301)293-6009

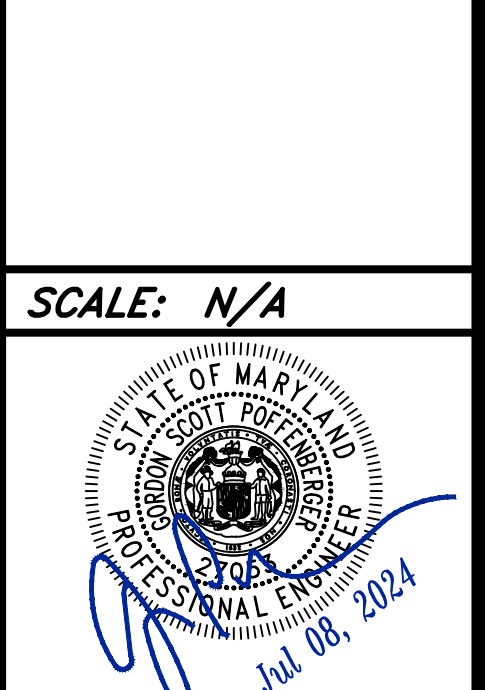
981 MT. AETNA ROAD
HAGERSTOWN, MD 21740
PHONE: (301)733-6503
PHONE: (301)416-7250
FAX: (301)733-1853
FAX: (301)293-6009

Email: foxassoc@foxassocinc.com
www.foxassocinc.com

| DATE | REVISION | DRAWN BY |
|------|----------|----------|
| | | |

SWM NOTES & DETAILS
RETAIL BUILDING

SITUATE EAST SIDE OF OLIVER DRIVE
ELECTION DISTRICT 13
WASHINGTON COUNTY, MARYLAND



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

PROJECT NO. 23-32023
DRAWING NO. D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
CHECKED BY: GSP

| CONTECH ENGINEERED SOLUTIONS | | WQv-Based Sizing per MDE ESD Approval | | filterra | |
|--|--------------------------------|---------------------------------------|------------|------------------|--------|
| Section 1 | | | | | |
| Project Name: | Proposed Retail Building | | | Date: | 5/7/24 |
| Site Designation: | Liquor Store | County or Independent City: | Washington | Design Engineer: | ALP |
| Section 2 | | | | | |
| Site Characteristic Input | | | | | |
| Target Rainfall Event, P (inches) | | 0.90 | | | |
| Total Drainage Area | | 0.330 | ac | | |
| Impervious Area | | 0.160 | ac | | |
| Rim to Invert Out Depth (ft) | Standard | 3.83 | | | |
| Rim to Vault Floor Depth (ft) | | 3.92 | | OK | |
| Percent of WQv to be Stored in Filterra | | 25% | | | |
| Internal Bypass (FTSCIB)? | | NO | | | |
| Open Top (FTBVSICB)? | | NO | | | |
| Section 3 | | | | | |
| Volume Computations | | | | | |
| % Impervious, I | | 48% | | | |
| Volumetric Runoff Coefficient, Rv | | 0.49 | | | |
| Water Quality Volume, WQv (ac-ft) | | 0.0120 | | | |
| Water Quality Volume, WQv (cf) | | 524 | | | |
| Section 4 | | | | | |
| Filterra Sizing (Per MDE ESD Approval Letter) | | | | | |
| Minimum Filterra Planted Surface Area (sf) | 91/20,000 of the Drainage Area | 59 | | | |
| Minimum WQv Required Storage (cf) | 25% of the WQv | 131 | | | |
| Recommended Filterra Size | FTSC Configuration | 6 x 10 (6 x 16) | | | |
| Filterra Planted Surface Area Provided (sf) | | 60 | | 102% | |
| WQv Storage Provided (cf) | | 154 | | 117% | |

Directions:

- Enter project information in Section 1.
- Enter target rainfall and drainage area in Section 2. Select Rim to Invert Out Depth within the standard depth ranges noted. (Note if the project requires a non-standard depth please contact your Contech Representative.)
- Select Vault Size (Below) from dropdown list, see guidance information.
- Media Bed Length will auto populate per width selected. Use dropdown list to overwrite length, if required. (Selecting from the dropdown list will overwrite calculation.)
- Check that the selected Vault Size and Media Bed Length answer all questions correctly and the provided planted surface area and storage volumes are larger than the minimums required. The standard is to provide the smallest acceptable vault size and media bed.

| Vault Size | Media Bed Length | Guidance - Required Media Bed |
|------------|------------------|-------------------------------|
| 6x16 | 10.0 | < 30 sf - 4' wide vault |
| | | 30 sf - 70 sf - 6' wide vault |
| | | 70 sf > - 8' wide vault |

| Surface Area | Volume |
|--------------|--------|
| 60 | 154 |

Is Vault length longer than Media bed? **YES**

Does Provided surface area check? **YES**

Does Volume Check? **YES**

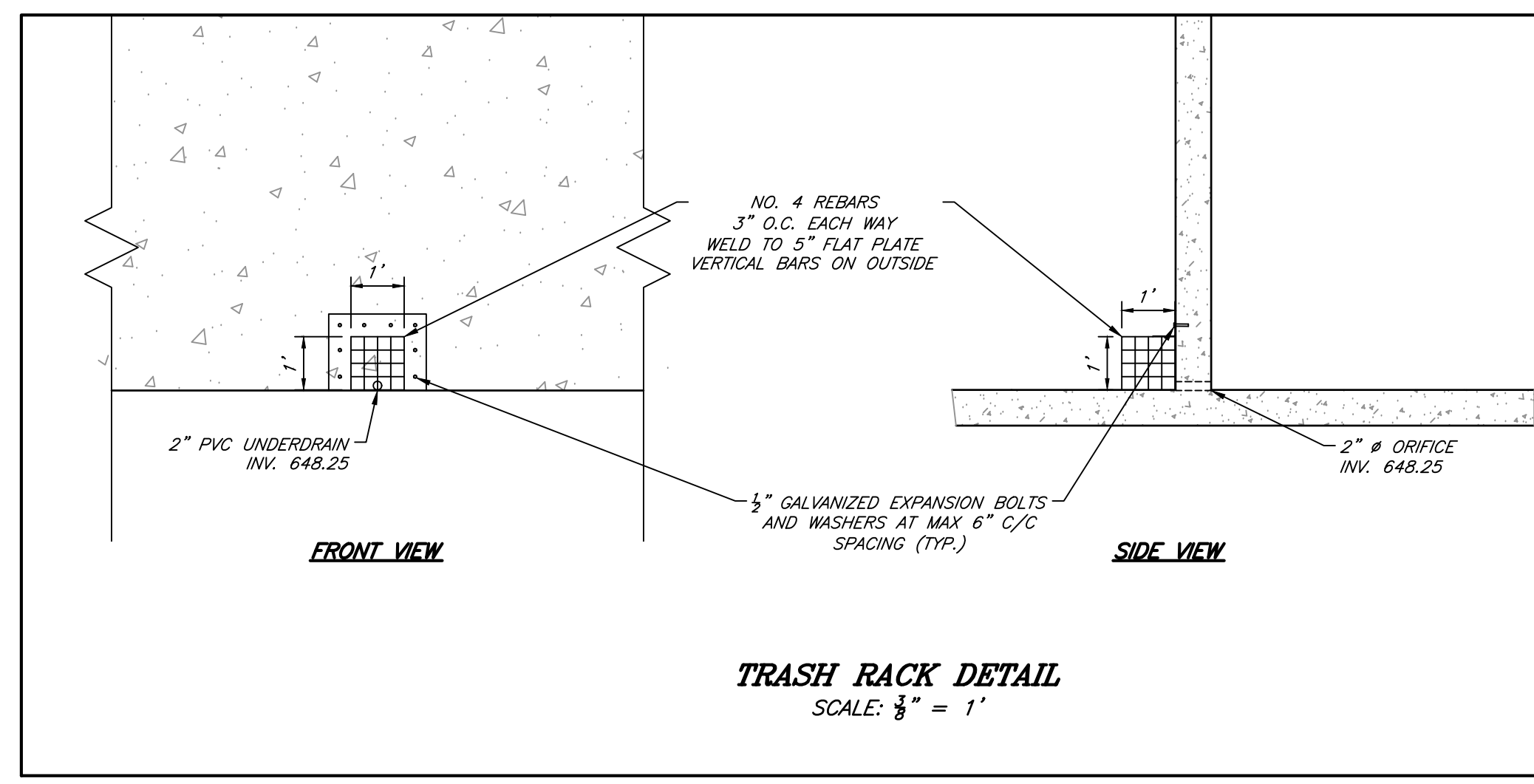
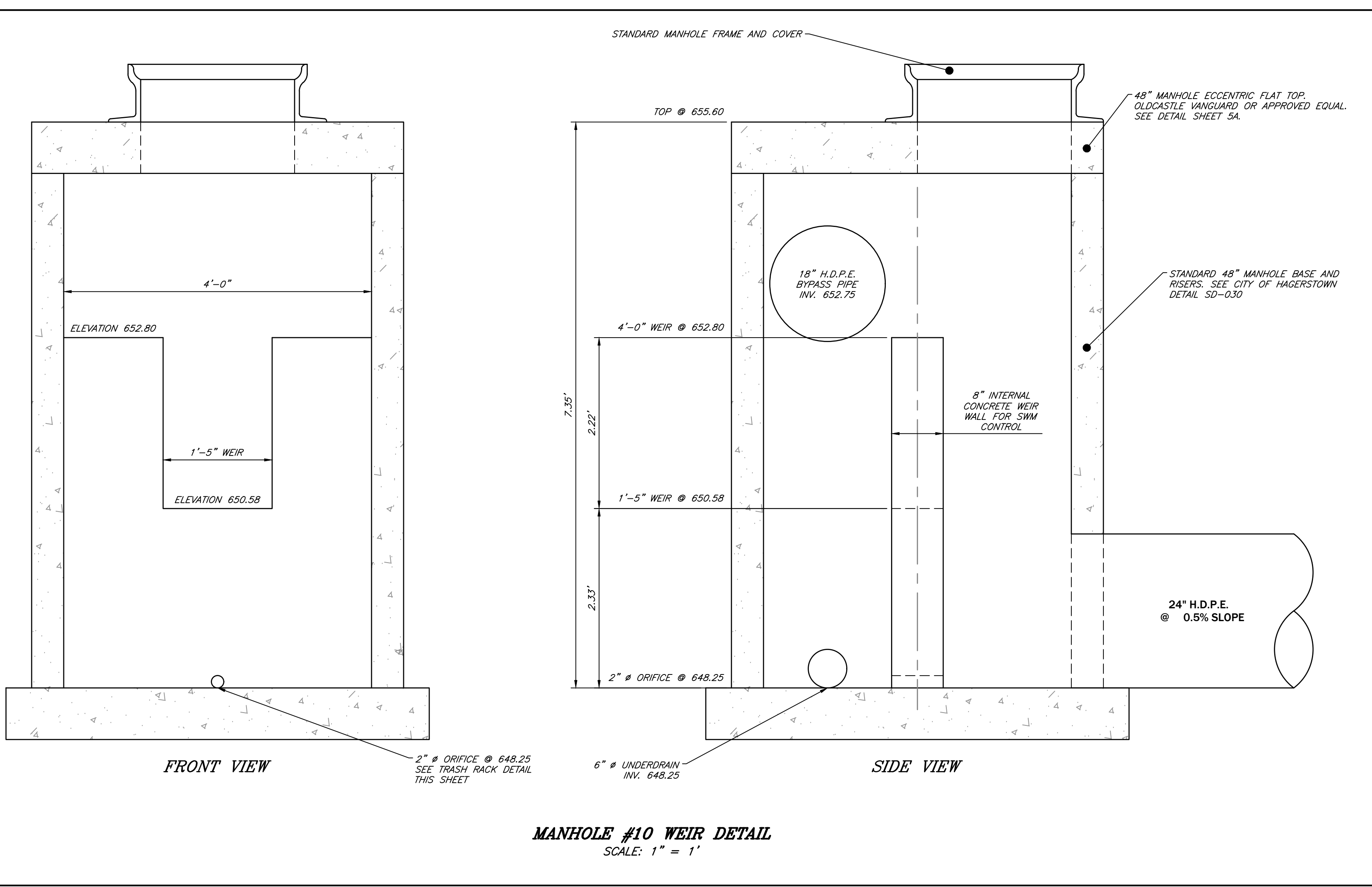
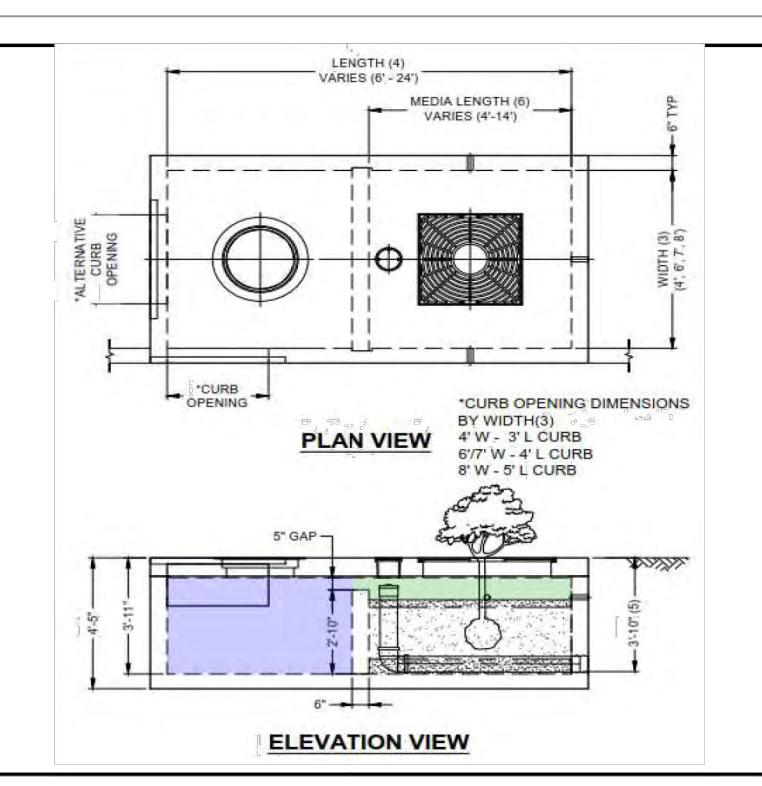
Will curb opening fit? **YES**

For question or help with sizing please contact your local Contech representative. <https://www.conteches.com/stormwater-management>

| CONTECH ENGINEERED SOLUTIONS | | filterra | | | | | | | | | | |
|------------------------------|-------------------------|--------------------------|----------------------|---------------------------------------|-----------------------------------|--------------------------------|----------------------|-----------------------|-----------------------|---|-------------------------------|-----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 |
| Unit Designation | Inside Vault Width (ft) | Inside Vault Length (ft) | Rim to Inv. Out (ft) | Filter Media Surface Area Length (ft) | Sedimentation Chamber Length (ft) | Filter Media Surface Area (sf) | Headspace Depth (ft) | Headspace Volume (cf) | Chamber Volume 1 (cf) | Storage Capacity of Unit Prior to Filtration (cf) | WQv Treatment Equivalent (cf) | |
| FTSC 6x10 (6 x 10) | 6x16 | 6 | 16 | 3.83 | 10 | 5.5 | 60 | 0.75 | 46.25 | 107.30 | 154 | 654 |

- Contech Filterra Sedimentation Chamber model designation, which is based on the filter media length and width.
- Overall internal vault dimensions.
- Internal vault width.
- Internal vault length.
- Rim to invert out depth.
- Length of chamber with filter media (see detail).
- Length of sedimentation chamber (see detail).
- Filter media surface area = inside vault width (3) x filter media surface area length (6).
- Headspace depth = Rim to Inv. Out (5) - 8" top slab - 21" media - 3" mulch - 5" underdrain stone to pipe invert - 6" (FTSCIB) or 3" (FTBVSICB) headspace above bypass*
- Headspace volume = headspace depth (9) x filter media surface area (8) x (6" x 5" x inside vault width (3)) to account for volume in gap above weir wall.
- Chamber volume 1 = (sedimentation chamber length (7) x inside vault width (3) x (rim to invert out (5) + depth below outlet - 8" top slab).
- Storage Capacity of Unit Prior to Filtration = headspace volume (10) + chamber volume 1 (11)
- WQv Treatment Equivalent = Storage Capacity of Unit Prior to Filtration x 4.4**

Notes:
 *Calculations shown are for standard depth of 3.83' rim to invert out. For shallow units (3.33' - 3.83') the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep units (3.83' - 5.00') the depth will be added to the headspace and the media depth will remain 21".
 ** The Treatment Volume for which the Storage Capacity of the Filterra Unit (12) is 25%.
 Red text indicates for internal bypass units only.



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ENGINEERS • SURVEYORS • PLANNERS

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FAX: (301)416-7250
www.foxassoc.com

DRAWN BY: _____

REVISION: _____

DATE: _____

SWM NOTES & DETAILS
RETAIL BUILDING

SITUATE EAST SIDE OF OLIVER DRIVE
ELECTION DISTRICT 13
WASHINGTON COUNTY, MARYLAND

SCALE: N/A

STATE OF MARYLAND
PROFESSIONAL ENGINEER
JUL 06, 2024

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO.: 23-32023
DRAWING NO.: D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
CHECKED BY: GSP

SEQUENCE OF CONSTRUCTION

- CONTACT WASHINGTON COUNTY DPW DIVISION OF ENGINEERING & CONSTRUCTION 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (240) 313-2400 TO SCHEDULE PRE-CONSTRUCTION MEETING.
- NOTIFY WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION AT (301) 797- 6821 TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL DIVERSION FENCE AS SHOWN ON PLAN.
- INSTALL INLET PROTECTION ON ALL EXISTING INLETS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL PERIMETER CONTROLS.
- CLEAR & GRUB REMAINING AREAS.
- BEGIN GRADING OPERATIONS. THE AREA OF THE PROPOSED UNDERGROUND SWM AREA SHOULD BE GRADED DURING THIS TIME.
- BEGIN UTILITY AND STORM DRAIN CONSTRUCTION.
- INSTALL INLET PROTECTION AS INLETS ARE BROUGHT TO GRADE.
- WHEN SITE REACHES APPROPRIATE SUBGRADE ELEVATIONS, BEGIN BLDG. FOOTERS & BLDG. ERECTION.
- INSTALL PARKING LOT AGGREGATE BASE AND APPROPRIATE SURFACE COURSES.
- FINE GRADE GREEN AREAS.
- INSTALL PERMANENT STABILIZATION AND LANDSCAPE MATERIALS.
- WHEN SITE IS STABILIZED (VEGETATION MUST MEET 95% OVERALL STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL) CONTACT THE SOIL CONSERVATION DISTRICT AT 301-797-6821 AND WASHINGTON COUNTY ENGINEERING DEPARTMENT AT 240-313-2460 TO SCHEDULE A CLOSE-OUT INSPECTION.
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE CONTROLS & STABILIZE AREAS OF REMOVAL.

SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- ALL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'S) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION. (AS APPLICABLE)
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDDED WITHIN 3 DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDDED AND MULCHED WITHIN 3 DAYS AFTER INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON PLANS.
- NO SLOPE SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, SUFFICIENT VEGETATIVE STABILIZATION IS DEFINED AS 85 PERCENT GRASSLAND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSEOUT REVIEW, AND/OR THE RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.

FOR SITES 1.0 ACRE OR MORE, THE FOLLOWING ARE REQUIRED:

- MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH A CONSTRUCTION ACTIVITY, N.P.D.E.S. PERMIT NUMBER MDCR, STATE DISCHARGE PERMIT NUMBER 14GP, OR AN INDIVIDUAL PERMIT.
- THE MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.) APPLICATION AND PERMIT SHALL BE POSTED AND/OR AVAILABLE ON-SITE AT ALL TIMES.
- DURING CONSTRUCTION, ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES (B.M.P.'S) SHALL BE INSPECTED AND RECORDED ON THE "STANDARD INSPECTION FORM", "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY" PER MARYLAND DEPARTMENT OF THE ENVIRONMENT (GENERAL/INDIVIDUAL PERMIT - NOTICE OF INTENT - N.O.I.).
- FOLLOWING CONSTRUCTION AND RELEASE OF THE SIGHT FOR SOIL EROSION AND SEDIMENT CONTROL BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT, I.E. ALL PORTIONS OF A SITE HAVE BEEN PERMANENTLY STABILIZED, AND ALL STORMWATER DISCHARGES FROM THE CONSTRUCTION SITES THAT ARE AUTHORIZED BY THE PERMIT AREA ELIMINATED, THE AUTHORIZED PERMITEE SHALL SUBMIT THE MARYLAND DEPARTMENT OF THE ENVIRONMENT, GENERAL/INDIVIDUAL PERMIT - NOTICE OF TERMINATION - N.O.T.

PERMANENT SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.3 | | | | FERTILIZER RATE (10-20-20) | | | LIME RATE | |
|--|--|--------------------------|---------------------------|-------------------------------|-------------------------------|-------------------------------|-------------------------------|---------------------------------|
| No. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | N | P205 | K20 | |
| 6 | TALL FESCUE WHITE CLOVER PERENNIAL RYE GRASS | 40 5 25 | 3/1 - 5/15 8/1 - 10/15 | 1/4" - 1/2" | 45 LB/AC (10 LB/1000 S.F.) | 80 LB/AC (10 LB/1000 S.F.) | 90 LB/AC (10 LB/1000 S.F.) | 2 TONS/AC (90 LBS/1000 S.F.) |

PERMANENT SEEDING SHALL COMPLY WITH SECTION B-4-5 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

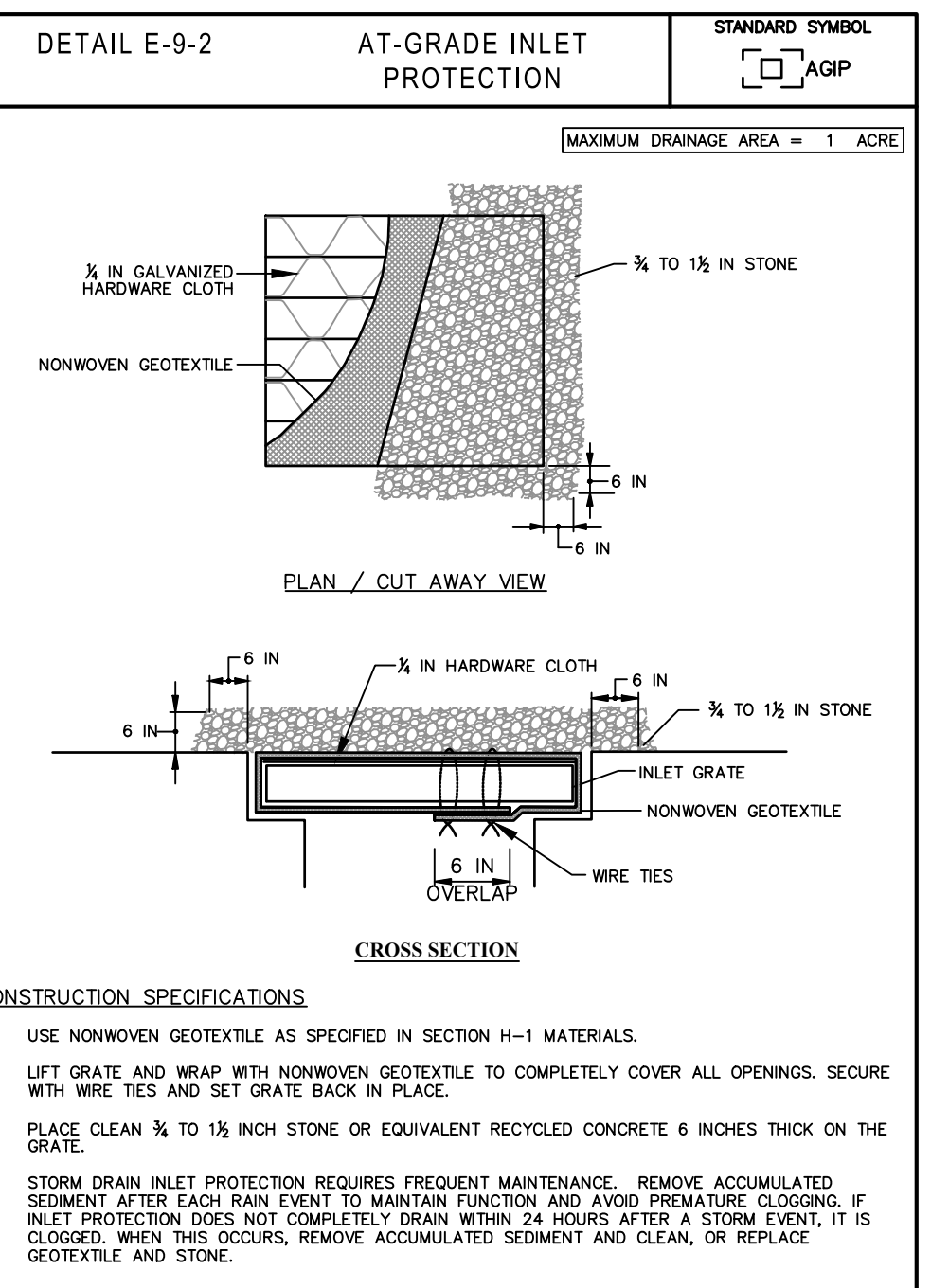
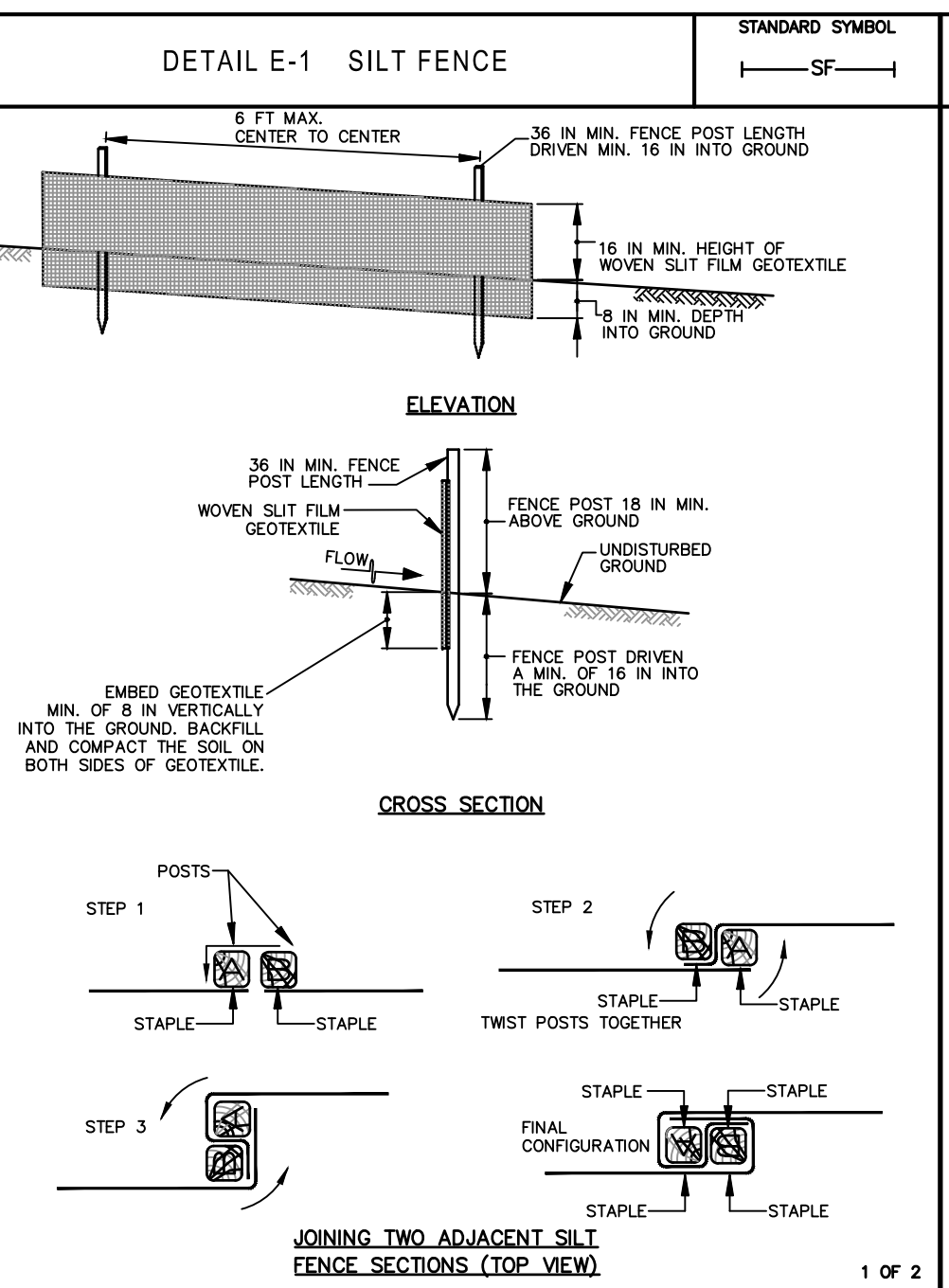
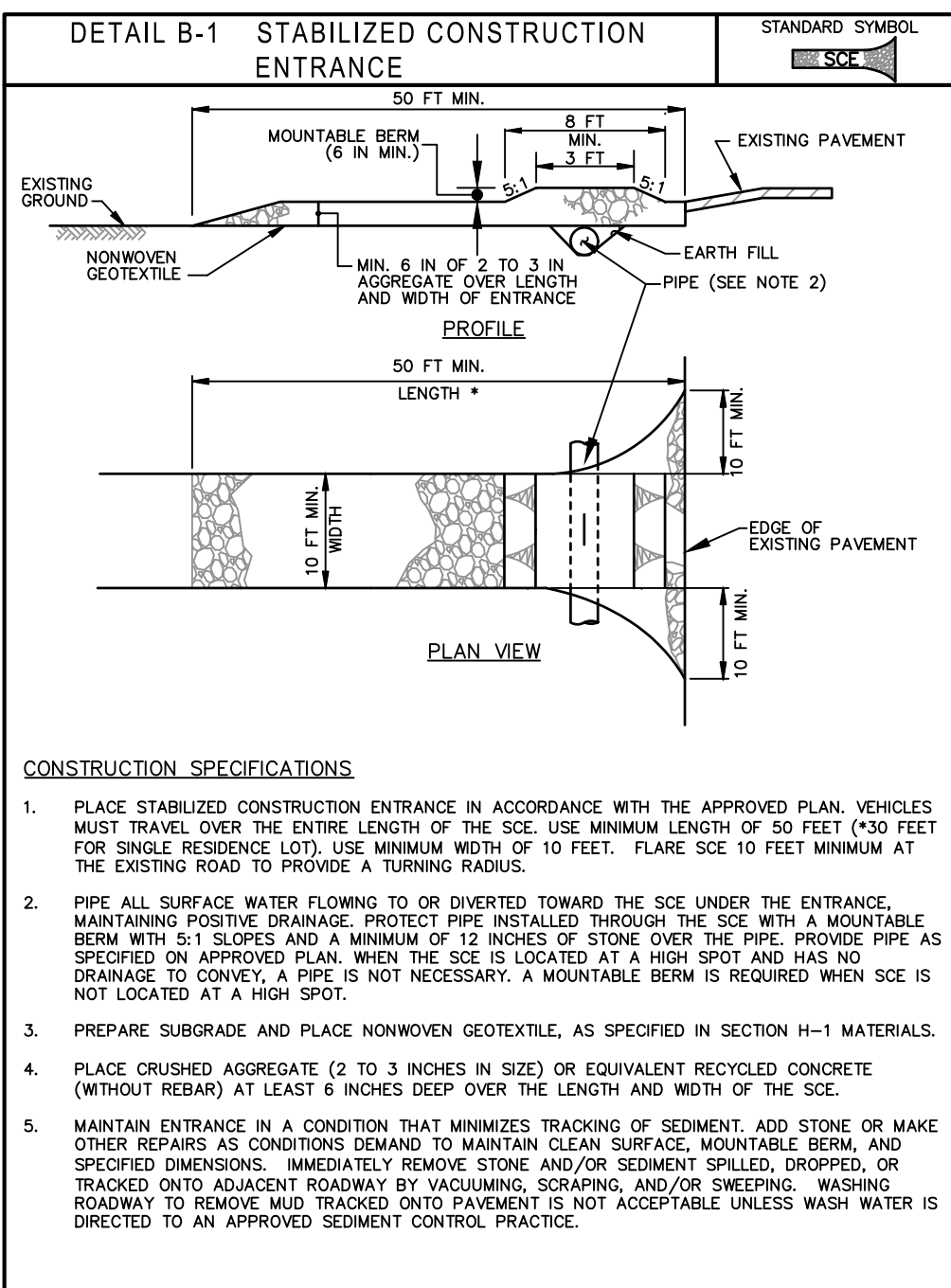
TEMPORARY SEEDING SUMMARY

| SEED MIXTURE (HARDINESS ZONE 6B) FROM TABLE B.1 | | | | FERTILIZER RATE (10-20-20) | | | LIME RATE |
|--|-----------------------------|--------------------------|---------------------------|-------------------------------|------------------------------------|------|----------------------------------|
| No. | SPECIES | APPLICATION RATE (LB/AC) | SEEDING DATES | SEEDING DEPTHS | N | P205 | K20 |
| 2 | BARLEY (HORDEUM VULGARE) | 96 | 3/1 - 5/15 8/1 - 10/15 | 1.0" | 436 LBS./AC. (10 LBS/1000 S.F.) | | 2 TONS/AC. (90 LBS/1000 S.F.) |

TEMPORARY SEEDING SHALL COMPLY WITH SECTION B-4-4 OF THE 2011 MARYLAND STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL

STANDARD UTILITY NOTES

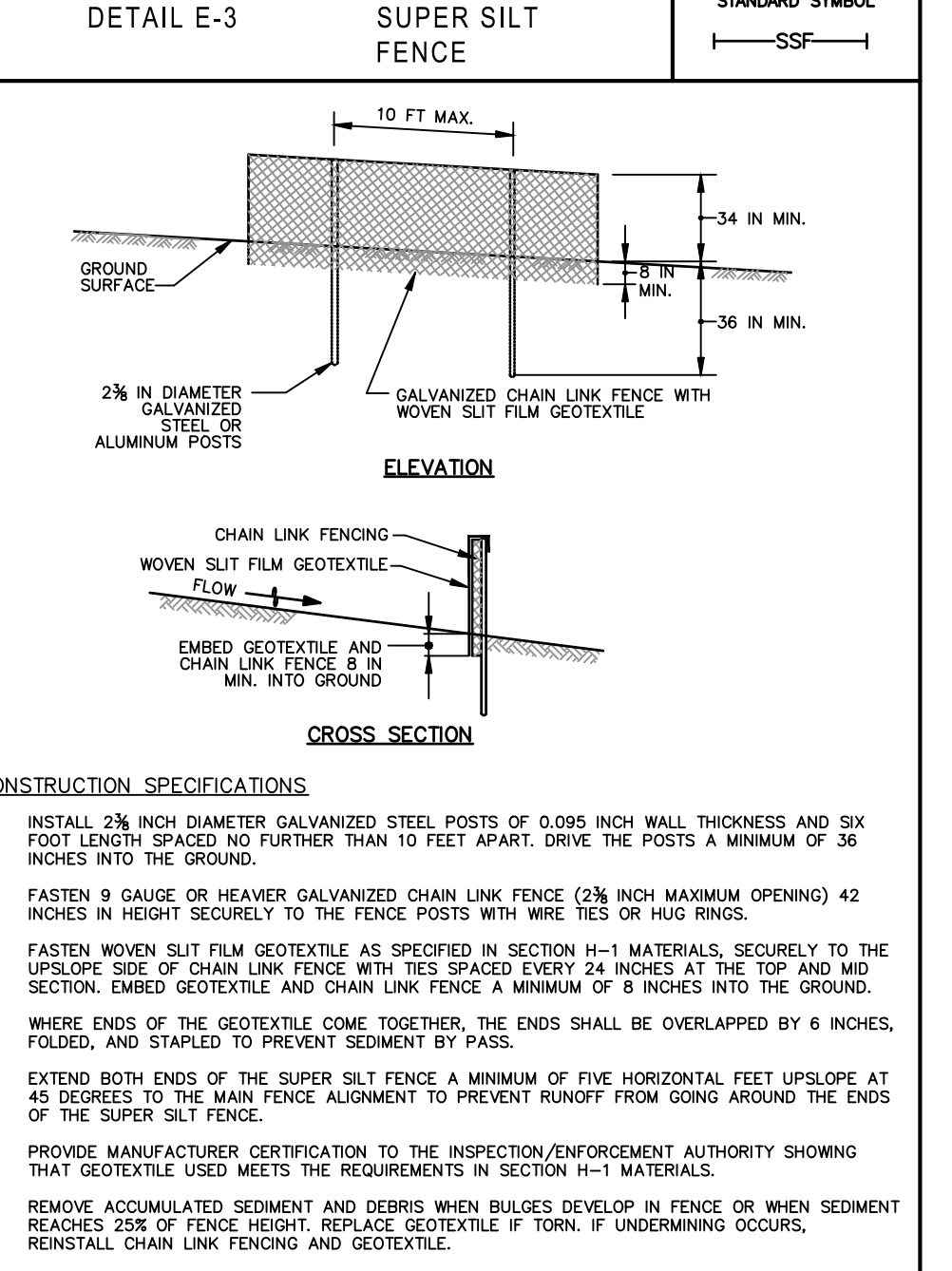
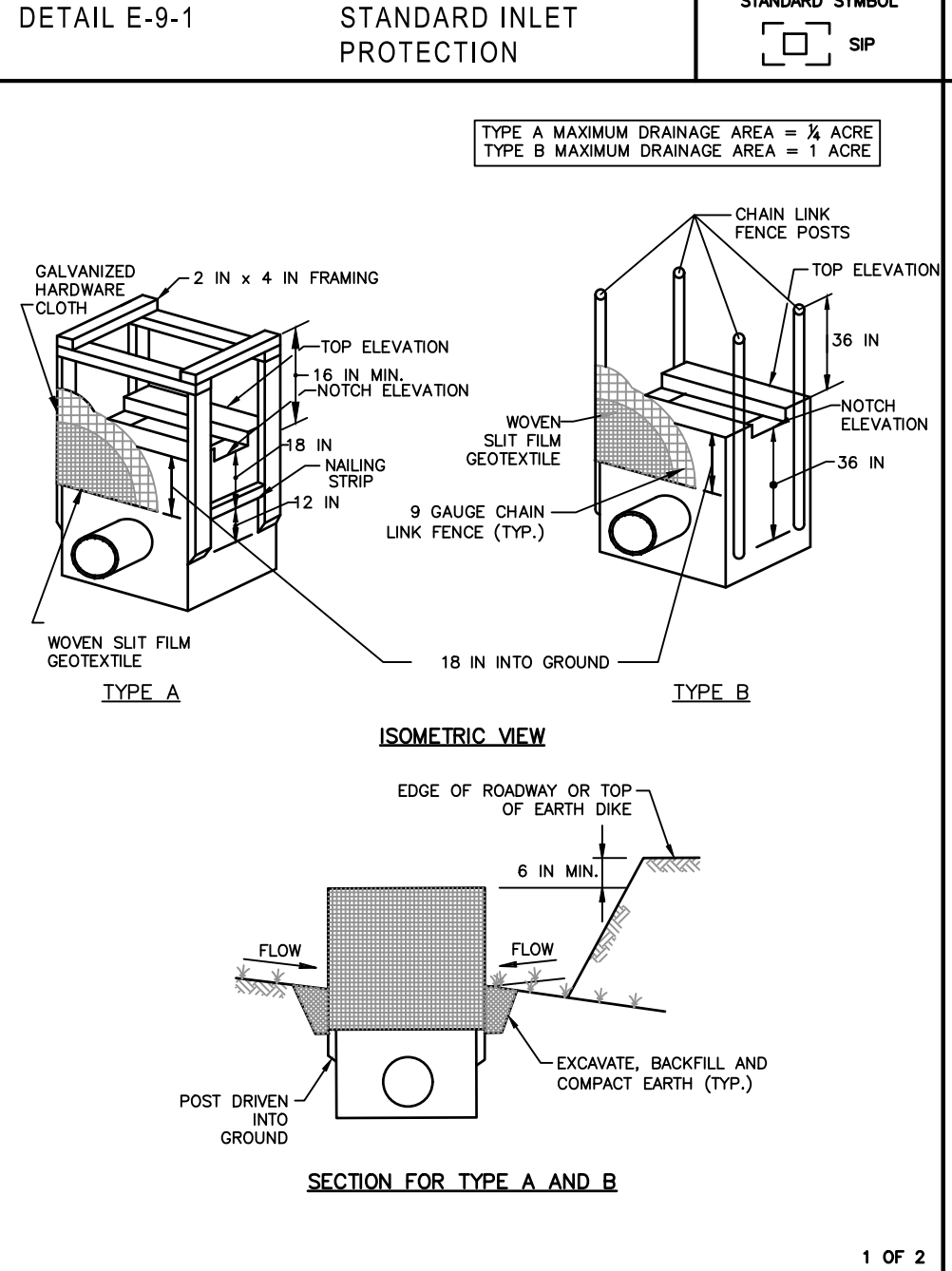
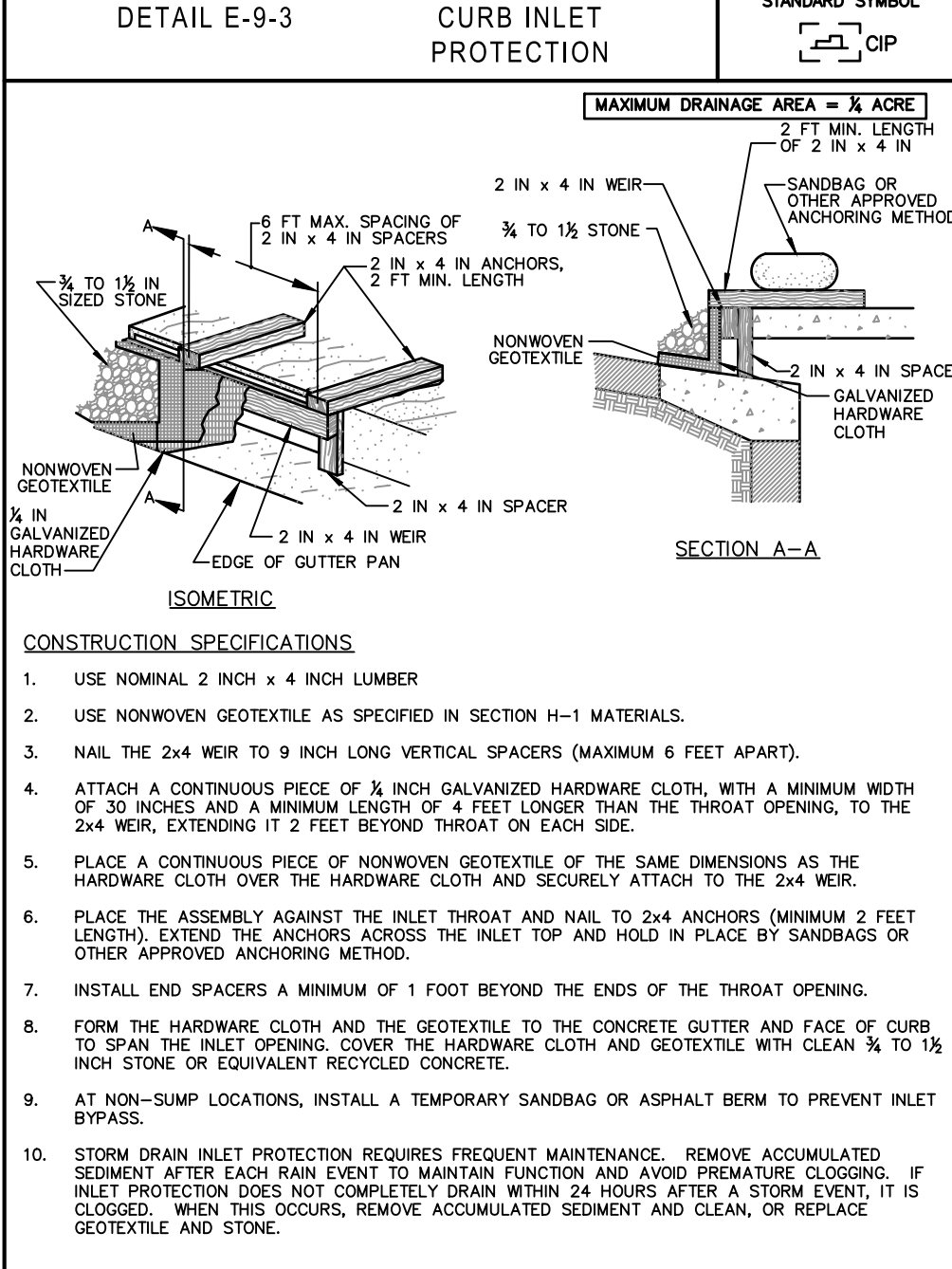
- CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
- CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED TO AN APPROVED LOCATION TO WASTED MATERIALS TO PAVED AREAS.
- CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZED DISTURBED AREAS THE SAME WORKING DAY.
- IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
- IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
- CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
- CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED & MULCH OR APPROPRIATE STREET REPAIR.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
 U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011
 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
 U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011
 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011

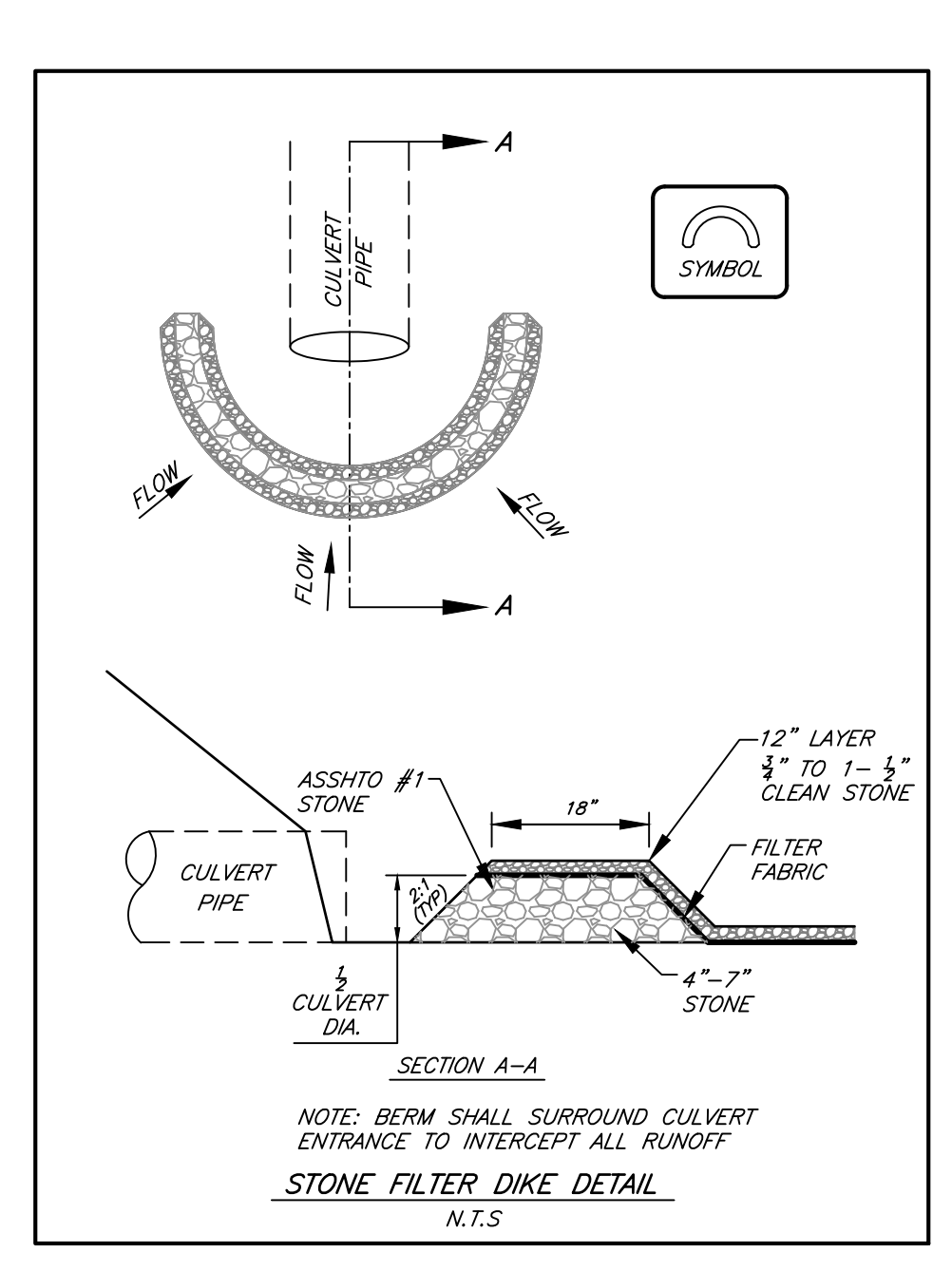
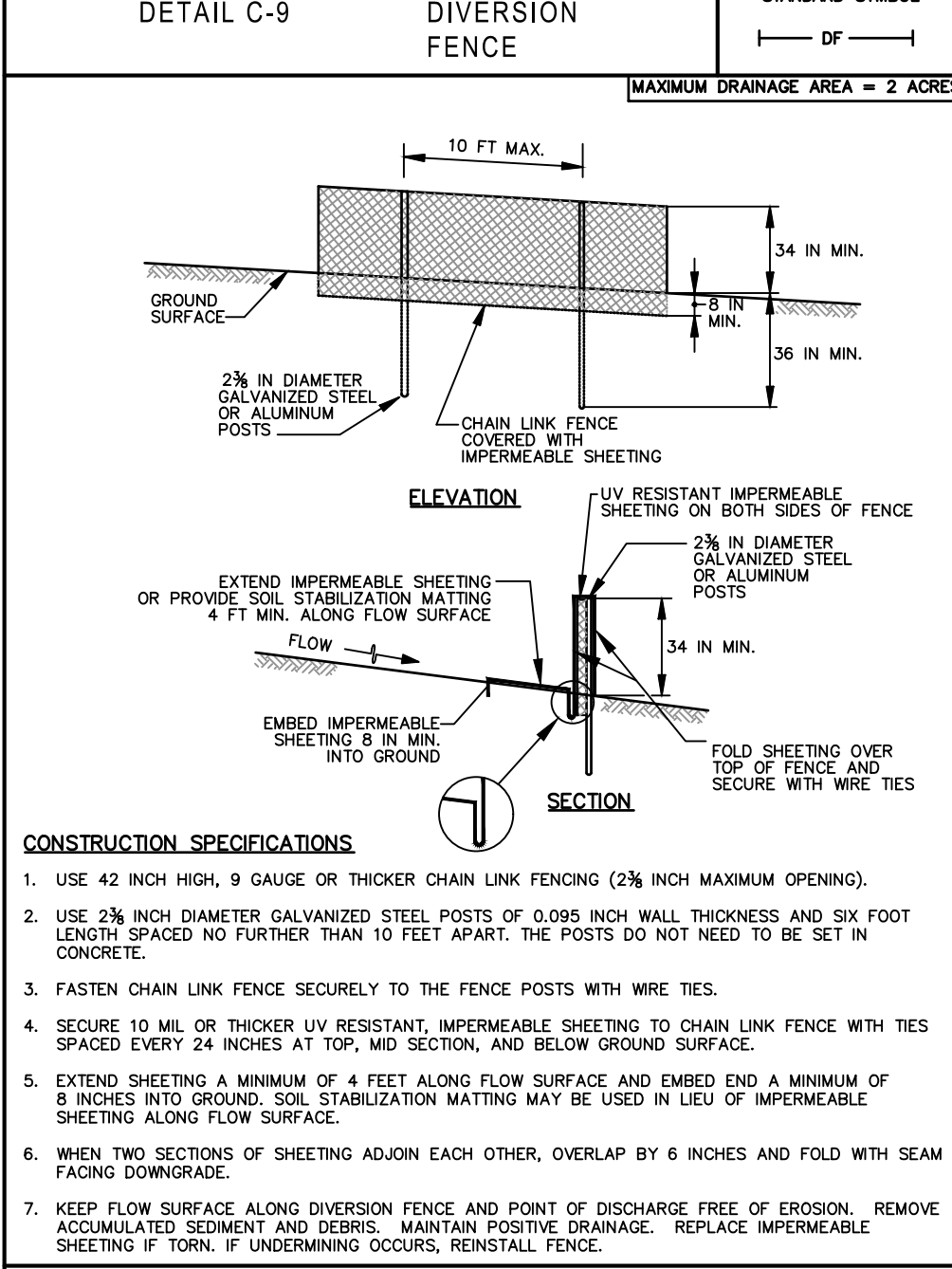
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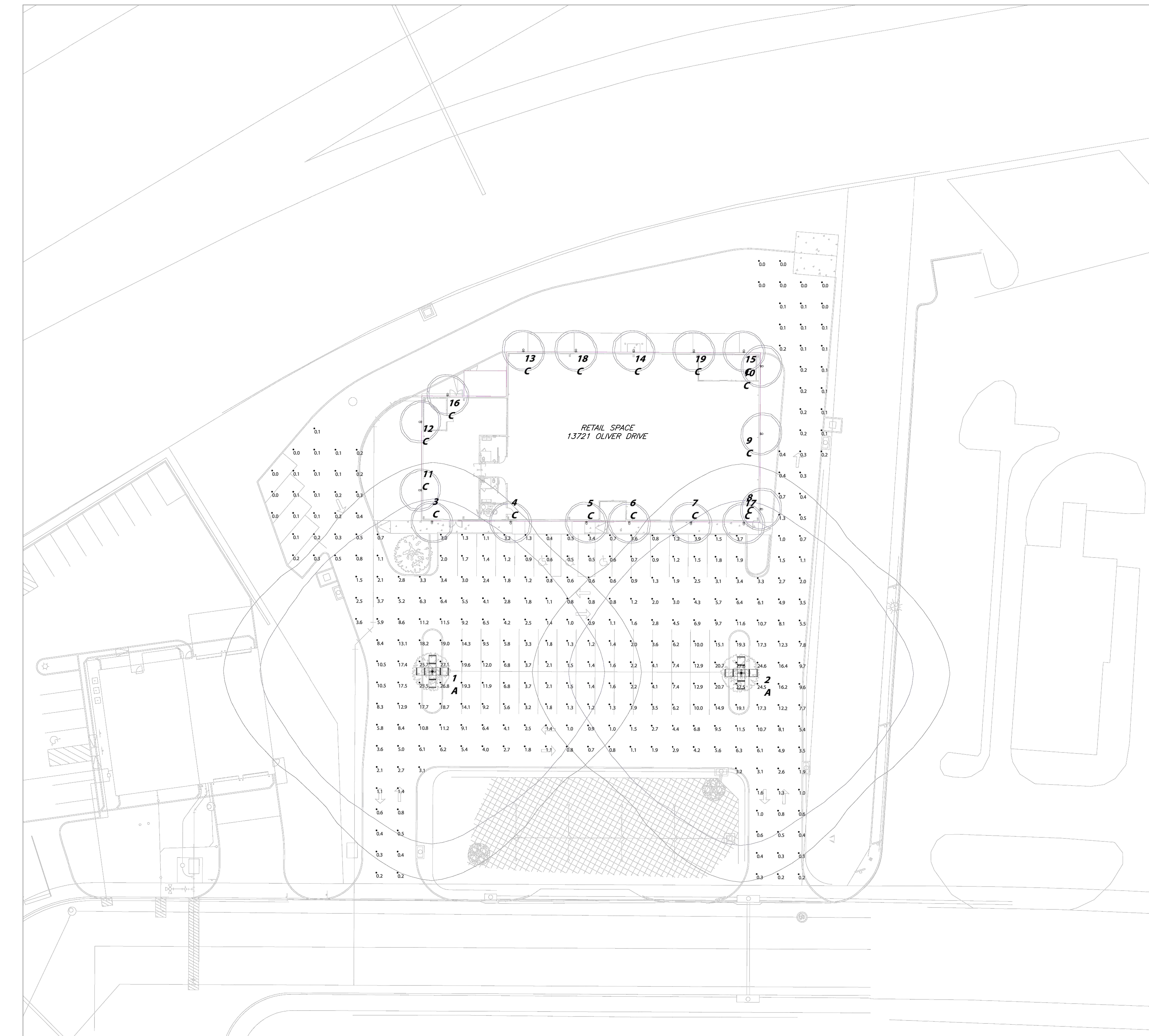
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 U.S. DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE 2011
 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE 2011



A17XFU150 **RAB**

Dimensions

Features

- Color adjustable: 1800K-6500K/3000K
- 3-pin stainless steel mounting cap included
- Integrated NEMA 7 pin receptacle enables easy upgrade to smart controls
- 5-1/8" clearance standard
- 100,000-hour LED lifespan
- 3-Year limited warranty

Ordering Matrix

| Part No. | Wattage | Color Temp. | Voltage | Finish | Options |
|-----------|---------|-------------|-------------------------|-----------------|--|
| A17XFU150 | 150 | 3000K | 120-277V, 0-10V Dimming | Black or Silver | Black or Silver AC Lightbulb Connector |

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
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PS4-07-25D2 **RAB**

Dimensions

Technical Specifications

| Compliance | Head Thickness | Max. Height |
|------------|----------------|------------------------------|
| CSA Listed | 1 1/2" | Max. Height: 2500mm (8'2.5") |
| UL Listed | 1 1/2" | Max. Height: 2500mm (8'2.5") |
| ETL Listed | 1 1/2" | Max. Height: 2500mm (8'2.5") |

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CD34FAW-20-508-KC **RAB**

Dimensions

Technical Specifications

| Performance | Electrical | Color Temperature |
|---------------------|--------------------|----------------------------------|
| Output: 1938 lumens | Power Factor: >0.9 | Color Accuracy (CRI): >90 |
| Efficiency: 100lm/W | Dimming: No | Color Rendering Index (CRI): >90 |

Need help? Tech help line: (888) 722-1000 Email: sales@rablighting.com Website: www.rablighting.com
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Luminaire Schedule All quotes/orders generated from this layout must be forwarded to the Local Rep Agency

| SYM | Qty | Tag | Label | ARR | Lum. Lumens | Arr. Lum. Lumens | LLF | Description | Lum. Watts | Arr. Watts | Total Watts | BUG Rating |
|-----|-----|-----|--------------------------|----------------|-------------|------------------|-------|--------------------------|------------|------------|-------------|------------|
| 17 | 17 | C | CD34FA4W-20-508-KC 5000K | Single | 1938 | 1938 | 1.000 | Wall Mounted 5000k CCT | 19.99 | 19.99 | 339.83 | B1-U4-G0 |
| 2 | 2 | A | A17XFU150 x 4 @ 90° | 4 @ 90 Degrees | 21355 | 85420 | 1.000 | Pole Mounted 5000k CCT | 151.22 | 604.88 | 1209.76 | B3-U0-G3 |

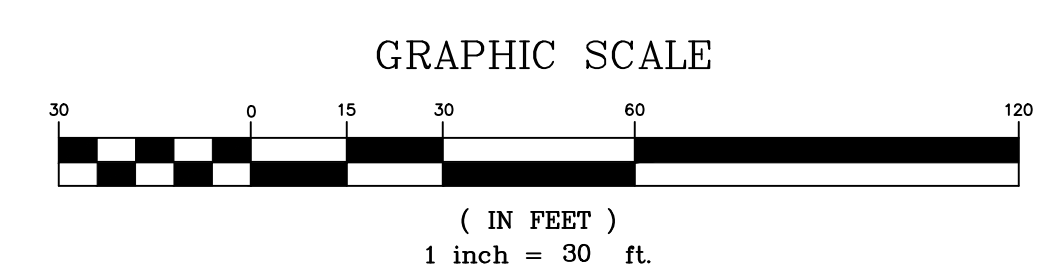


Prepared For:
Phoenix Sales & Marketing
1500 Caton Center Drive, Suite N
Halethorpe, MD 21227
Tel: 410-247-8505

Job Name:
MD Wine House Ellsworth
Hagerstown, MD
Lighting Layout
Version A

Scale: as noted
PROJECT # 225555
Date: 3/6/2024
CASE # 01295197
Filename: MD Wine House Ellsworth 01295197A.AGI
Drawn By: Donald G. Andrews

The Lighting Analysis, E-ZLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") represents an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB does not warrant, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB does not warrant, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is issued, in whole or in part, as advisory documents for informational and convenience purposes only, is not intended for construction nor as a part of a project's construction documentation package, and should not be relied upon for any purpose. Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the lumen output of the fixtures being ordered (as shown on RAB's website) match the lumen output shown in the Lighting Design. Occasionally, Lighting Designs previously provided using fixtures that are then updated prior to an order and such updates could change the lumen output of the fixture. This in turn, could impact the installed lighting performance that differs from the Lighting Design.



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Est. 1966
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FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS

82 WORMANS MILL COURT
SUITE 'C'
FREDERICK, MD. 21701
PHONE: (301) 733-8503
or (301) 416-7250
FAX: (301) 293-6009
Email: foxassoc@foxassoc.com

| | | |
|------|----------|----------|
| DATE | REVISION | DRAWN BY |
|------|----------|----------|

PHOTOMETRIC PLAN
RETAIL BUILDING
SITUATE EAST SIDE OF OLIVER DRIVE
ELECTION DISTRICT 13
WASHINGTON COUNTY, MARYLAND

SCALE: 1"=30'

STATE OF MARYLAND
PROFESSIONAL ENGINEER
DONALD G. ANDREWS
No. 225555
Exp. 1/25/26

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

PROJECT NO. 23-32023
DRAWING NO. D-9274
DATE: OCTOBER, 2023
DRAWN BY: GSP/ALP
CHECKED BY: GSP

SHEET 9 OF 9



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Site Plan for CM Investments
NUMBER.....: SP-23-029
OWNER.....: CM INVESTMENTS AND HOLDINGS LLC
LOCATION.....: 132 OLD NATIONAL Pike
 HAGERSTOWN, MD 21740
DESCRIPTION.....: Site plan for two (2) 7,800 SF flex buildings.
ZONING.....: Business, General
COMP PLAN LU.....: Commercial
PARCEL.....: 10045886
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10
TYPE.....:
GROSS ACRES.....:
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: N/L Units Per Acre
PLANNER.....: Scott A Stotemyer
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: August 21, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SITE DESIGN

| Impervious Area Plan | Impervious Maximum Allowed | Open Space Area Planned |
|--|------------------------------------|-------------------------------------|
| Staff Comments: | | |
| Open Space Minimum Required <i>Not Applicable</i> | Residential Amenity Plans | Solid Waste Disposal Plans |
| Materials Stored on Site | Buffer Design Meets Requirements | Landscaping Meets Requirements |
| Lighting Plan Meets Requirements | Pedestrian Access is Adequate | Bus Stop is Within Walking Distance |
| Loading Area Meets Requirements | | Not Fast Track |
| Parking Spaces - Total Planned | Parking Spaces - Per Dwelling Unit | |
| Parking Spaces - Minimum Required | Recreational Parking Provided | |



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SCHOOL INFORMATION

| | ELEMENTARY | MIDDLE | HIGH |
|---------------------------|-------------------|-----------------|------------------|
| SCHOOL DISTRICT | Eastern | E Russell Hicks | South Hagerstown |
| PUPIL YIELD | | | |
| CURRENT ENROLLMENT | | | |
| MAXIMUM CAPACITY | | | |

PUBLIC FACILITIES INFORMATION

| | | | |
|---------------------------------|------------|--|--|
| FIRE DISTRICT.....: | FUNKSTOWN | | |
| AMBULANCE DISTRICT.....: | HAGERSTOWN | | |

WATER & SEWER INFORMATION

| | WATER | SEWER |
|-----------------------------------|-----------------------------|-----------------------------|
| METHOD.....: | City | City |
| SERVICE AREA.....: | City | City |
| PRIORITY.....: | 5-Long Term Planned Service | 5-Long Term Planned Service |
| NEW HYDRANTS.....: | | |
| GALLONS PER DAY SEWAGE...: | | |
| PLANT INFO.....: | | Hagerstown (City) |

SP-23-029 CM Investments

- Presented is a site plan for CM Investments, adding 2 7,800 SF flex/retail buildings to the existing site located at 132 Old National Pike, Hagerstown.
- Access to the property is provided from Old National Pike.
- Water and sewer to be provided to both buildings by the City of Hagerstown.
- Hours of operation for both buildings will be 8 AM – 8 PM.
- Proposed lighting is pole mounted and building mounted.
- Proposed signage is building mounted.
- There are 112 parking spaces required, and 114 are being provided
- Forest Conservation was addressed on a previous project.
- All approvals are in from all agencies.
- Trevor Frederick is here if you have any questions.

APPROVALS

| | | |
|--|---------------------|---|
| <p>MD-ENG-6A 1/89</p> <p>UTILITY NOTIFICATION</p> <p>The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777</p> | <p>USDA SCS</p> | <p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/We certify all parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."</p> <p>Date: 5/16/2024 Signature: C. David Clugston Printed Name: C. David Clugston</p> |
| <p>DISTURBED AREA QUANTITY</p> <p>THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 188 CU. YDS. OF EXCAVATION AND APPROXIMATELY 861 CU. YDS. OF FILL.</p> | | <p>OWNER / DEVELOPERS CERTIFICATION</p> <p>"I/We hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."</p> <p>Date: 5/16/2024 Signature: C. David Clugston Printed Name: C. David Clugston</p> |
| <p>ENGINEER / ARCHITECT DESIGN CERTIFICATION</p> <p>I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control and pond design in accordance with NRCS standards for pond 378.</p> <p>DATE: 05.22.2024 REG. NO.: 49808 SIGNATURE: [Signature]</p> | | |
| <p>ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION</p> <p>"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."</p> <p>SIGNATURE: _____ DATE: _____ SEAL: _____</p> | | |

COMBINED STORMWATER CONCEPT & SITE PLAN

FOR

CM INVESTMENTS AND HOLDINGS LLC

SITUATED AT 132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY, MARYLAND

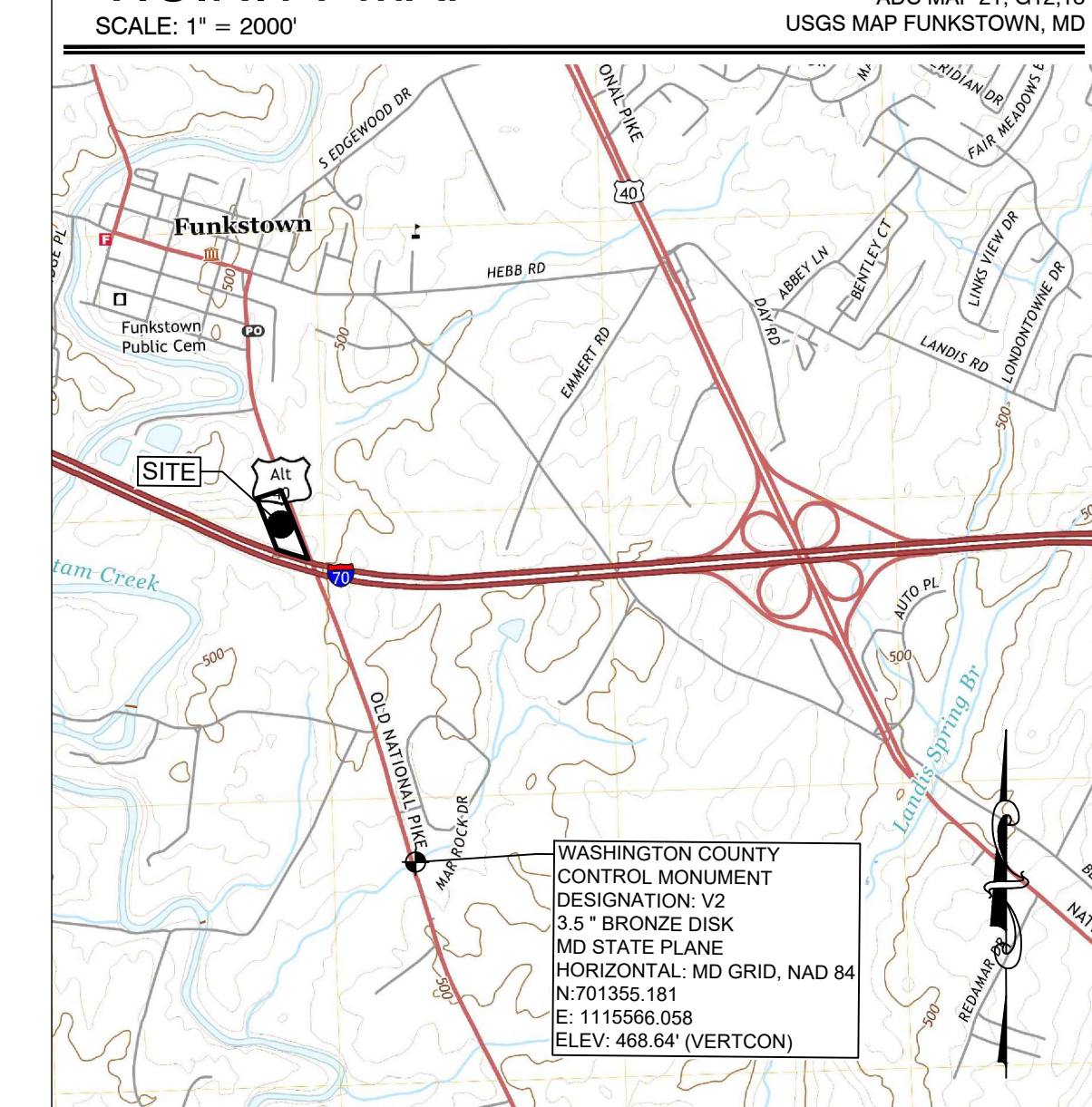
CLIENT/OWNER/DEVELOPER:
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740

ATTN: DAVE CLUGSTON
EMAIL: CDCLUGSTON@JDKITCHEN.COM
PHONE: (240) 675.1960

CIVIL ENGINEER / SURVEYOR:
FSA INC.
128 SOUTH POTOMAC STREET
HAGERSTOWN, MARYLAND 21740

PROJECT MANAGER: TREVOR FREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
PHONE: (301) 791.3650

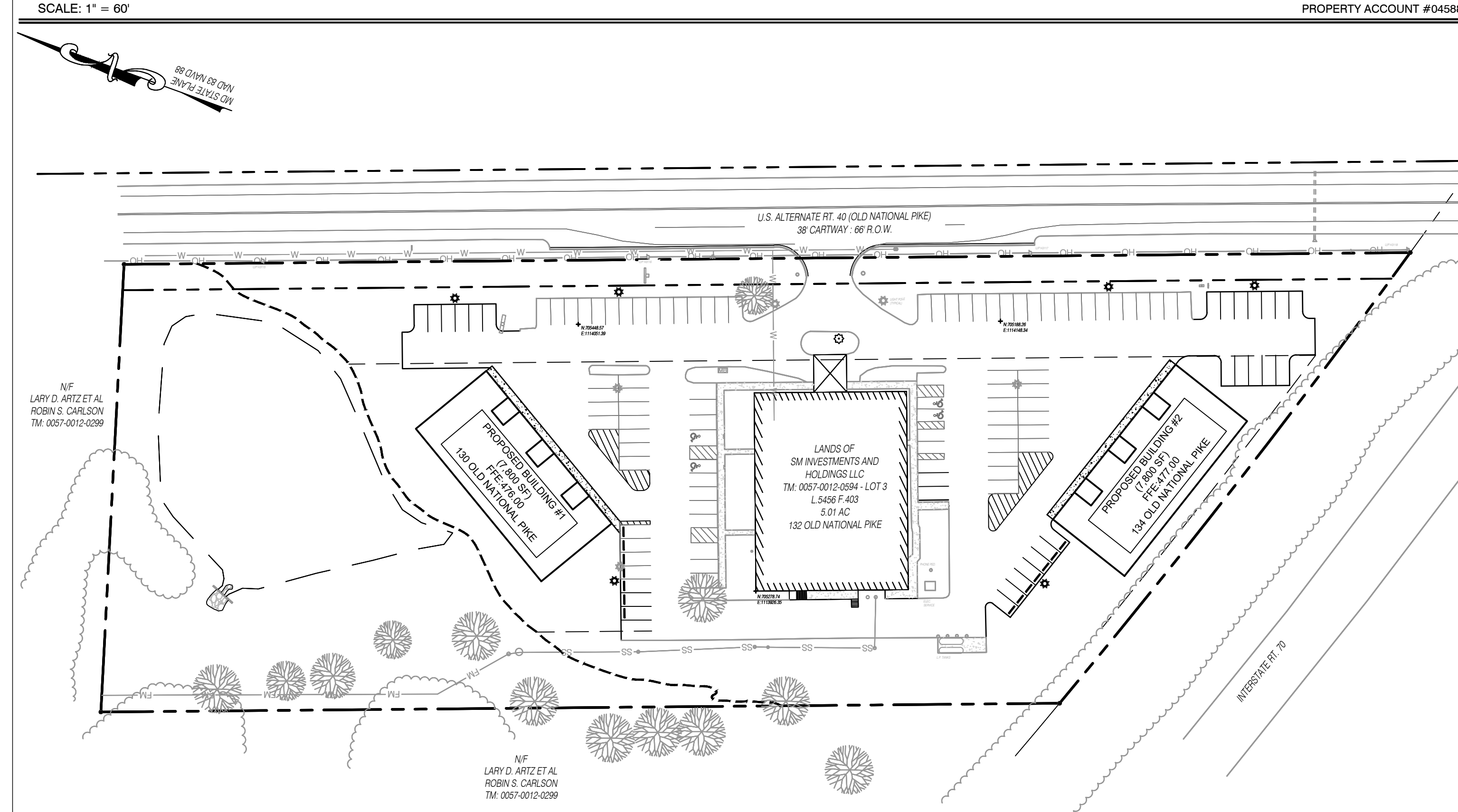
VICINITY MAP



SHEET INDEX

| TYPE | NUMBER | TITLE |
|-------|----------|---|
| C-001 | SHEET 01 | COVER SHEET |
| C-002 | SHEET 02 | GENERAL NOTES |
| C-101 | SHEET 03 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C-102 | SHEET 04 | EROSION & SEDIMENT CONTROL PLAN |
| C-103 | SHEET 05 | GRADING & UTILITY PLAN |
| C-104 | SHEET 06 | SITE & PAVING PLAN |
| C-301 | SHEET 07 | STORMWATER MANAGEMENT PLAN |
| C-302 | SHEET 08 | STORMWATER MANAGEMENT DETAILS & NOTES |
| C-401 | SHEET 09 | CONSTRUCTION PROFILES |
| C-501 | SHEET 10 | CONSTRUCTION DETAILS & NOTES - E & S CONTROLS |
| C-503 | SHEET 11 | CONSTRUCTION DETAILS & NOTES - STORM DRAINAGE |
| L-101 | SHEET 12 | LANDSCAPE PLAN |

LOCATION PLAN

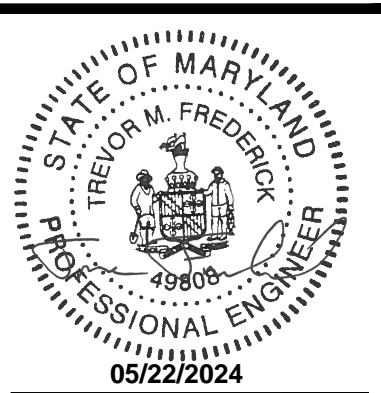


SENSITIVE AREA NOTICE

The stream buffers shown hereon are established pursuant to the requirements of the Washington County Subdivision Ordinance Article IV, Section 409. In an effort to preserve or improve water quality, the property owner is required to establish and thereafter maintain in perpetuity vegetative ground cover in accordance with urban best management practices recommended by the Washington County Soil Conservation District. No permanent structures or construction are permitted within the stream buffer except those designed to improve water quality or flow as approved by the Washington County Planning Commission in accordance with all applicable regulations, laws, and policies. No septic systems shall be constructed within the buffer nor shall any reserve area be established within the buffer.

ESD PRACTICES SUMMARY TABLE

| CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): NEW | | | | | | |
|--|-----|-----------------------|----------------------------------|-----------|----------------|-------------------|
| ESD PRACTICES (CHAPTER 5 - NON-STRUCTURAL & STRUCTURAL) | | | | | | |
| TYPE | NO. | DA TO STRUCTURE (AC.) | IMPERVIOUS DA TO STRUCTURE (AC.) | ESDv (CF) | ESDv (AC. FT.) | Pe ADDRESSED (IN) |
| MICRO-BIORETENTION | A | 0.82 | 0.21 | 1681 | 0.03 | 0.78 |
| MICRO-BIORETENTION | B | 0.85 | 0.20 | 1332 | 0.03 | 0.58 |



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 2859. Expiration Date: 05/22/2024.

FSA INC.
TREVOR FREDERICK, P.E.
128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
PHONE: (301) 791-3650

| DATE | REVISION | REVISION PER AGENCY COMMENTS |
|------------|------------|------------------------------|
| 11.27.2023 | 06.15.2024 | |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740

WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

PROJECT NO: 6572.1
OWN BY: ABRAM MYERS
DATE: 07.28.2023
PROJECT MANAGER: TFREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL: 0057-0012-0594
SCALE: AS SHOWN

SHEET TITLE: COVER SHEET
C-001
SHEET 01 OF 12



GENERAL NOTES

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

| | |
|--|----------------|
| Miss Utility | 1-800-257-7777 |
| Potomac Edison | 1-800-255-3443 |
| Columbia Gas (New Business) | 1-800-440-6111 |
| Columbia Gas (Conflicts) | (301) 964-1065 |
| Verizon | (301) 790-7124 |
| AniTelam Cable | (240) 420-2082 |
| Washington County Soil Conservation District | (301) 797-6821 |
| Washington County Planning and Permitting | (240) 313-2460 |
| Town of Funkstown | (301) 791-0948 |

- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- Site benchmark is an iron pin and cap as shown on Sheet C-101.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the compaction of fill.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland Accessibility Code and ADA Standards for Accessible Design.
- The existing site contours shown hereon are LIDAR 1' contours and field checked by FSA in June 2019. (Contour accuracy is to plus or minus one half the contour interval).
- Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the site & paving plan.
- Applicant to provide as built mylars at the completion of the project.
- This project has a projected start date of November 2023 and a completion date of March 2024.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
- There are no Board of Zoning Appeals Cases for this property.
- Proposed SWM will consist of on-site micro bio-retention facilities.
- All existing drainage culverts and drainage easements are to be maintained and unaltered.
- Using ITE Land Use Code 822 (Strip Retail Plaza) 39 AM peak hour trips and 107 PM peak hour trips are estimated for this expansion. MDOT SHA Guidelines for Traffic Impact Reports/Studies indicates small developments (50-100 peak hour trips) require study of the site access and state road intersections within 1/2 mile of the access driveway. No public road intersections are located within 1/2 mile of this site and access is proposed via an existing entrance improved with acceleration/deceleration lanes. MDOT SHA has not requested a study as part of the site plan review. No further action is required to satisfy Washington County APFO Section 4.3 regarding road adequacy.

DIVISION OF PLAN REVIEW & PERMITTING NOTES

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

FIRE DEPARTMENT NOTES

- Construction occurring on this site shall comply with NFPA 241, standard for safeguarding construction, alteration, and demolition operations, and chapter 16 of NFPA 1, uniform fire code.
- No open burning is permitted. Permits are required to perform blasting operations within the city of Hagerstown.
- New buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property (NFPA 1-10.13.1).
- A fire department access box (knob box) shall be installed. This box will be required to contain keys to the building, gates, fire protection system keys and other areas as requested by the fire department. Plans should reflect the location of box near the main entrance. Application information may be obtained from this office by the general contractor or online at www.knoxbox.com.

PARKING, LOADING & BICYCLE DATA

| BUILDING | USE | REQUIREMENT | CALCULATION | REQUIRED |
|-------------|-----------------|--|--|------------------------|
| BUILDING 1 | FLEX USE/RETAIL | 5 SPACES PER 1,000 GROSS LEASE AREA | 7800*0.75 = 5850 SF / 1000 SF ² | 30 SPACES |
| BUILDING 2 | FLEX USE/RETAIL | 5 SPACES PER 1,000 GROSS LEASE AREA | 7800*0.75 = 5850 SF / 1000 SF ² | 30 SPACES |
| EX BUILDING | CHURCH SHOWROOM | 1 SPACE PER 5 SEATS 5 SPACES PER 1,000 GROSS LEASE AREA | 100 SEATS / 5 6375 SF LEASE / 1,000 * 5 | 20 SPACES 32 SPACES |

TOTAL REQUIRED SPACES 112 SPACES
 TOTAL PROVIDED PARKING SPACES 114 SPACES

ZONING DATA

| | |
|------------------------------|-----------------------|
| ZONING DISTRICT | BG - BUSINESS GENERAL |
| BUILDING HEIGHT | 75 FT |
| MINIMUM YARD SETBACK: | |
| FRONT | 40 FT. |
| **SIDE | 10 FT. |
| **REAR | 10 FT. |

**Except adjoining any RR,RT,RS,RU, OR RM District, in which case not less than thirty-five (35) feet and subject to all applicable screening requirements.

BOARD OF ZONING APPEALS' CASE _____ NONE

SITE DATA

| | |
|---------------------------------|-------------------------------------|
| TAX MAP - GRID - PARCEL | 0057-0012-0594 |
| ELECTION DISTRICT | 10 |
| ACCOUNT NUMBER | 045886 |
| LIBER / FOLIO | 05456 / 00403 |
| PLAT NUMBER | 5366 |
| AREA SUMMARY: | |
| PARCEL | 5.01 AC |
| DISTURBED AREA | 2.00 AC. |
| EXISTING IMPERVIOUS | 83,785 SF / 1.92 AC (39%) |
| PROPOSED TOTAL IMPERVIOUS | 104,980 SF / 2.41 AC (49%) |
| WATER & SEWER USAGE: | |
| WATER PROVIDED | TOWN OF FUNKSTOWN WATER DIVISION |
| SEWER PROVIDED | TOWN OF FUNKSTOWN SEWER DIVISION |
| EXISTING ALLOCATION | GPD |
| PROPOSED ALLOCATION | GPD |
| SITE LIGHTING: | |
| EXISTING | POLE & BUILDING MOUNTED |
| PROPOSED | BUILDING MOUNTED |
| SITE SIGNAGE: | |
| EXISTING | PYLON & BUILDING MOUNTED |
| PROPOSED | BUILDING MOUNTED |
| WAIVER AND/OR VARIANCE | NONE |
| FOREST CONSERVATION | PREVIOUSLY ADDRESSED PER PLAT #5366 |
| WATERSHED: | |
| NAME | ANTEITAM CREEK |
| NUMBER | 02-14-05-02 |
| FEMA PANEL # | 24043C0302D |

EXISTING BUILDING SUMMARY

| | |
|---------------------------------|--|
| FOOTPRINT | 13,092 SF |
| HEIGHT | 16 FT |
| EXISTING USE | CHURCH (4,500 SF) KITCHEN SHOWROOM (8,500 SF) |
| HOURS OF OPERATION | WED. 5:00 PM - 9:00 PM, SUN. 9:00 AM - 1:00 PM |
| CHURCH | MON-FRI. 8:30 AM - 5:00 PM, SAT. 9:00 AM - 1:00 PM |
| SHOWROOM | |
| EMPLOYEE SUMMARY: | |
| CHURCH | 1 |
| SHOWROOM | 12 |
| WASTE & RECYCLABLES: | |
| SOLID WASTE REMOVAL | ON SITE DUMPSTER |
| RECYCLE REMOVAL | ON SITE DUMPSTER |
| ADDRESS ASSIGNMENT | 132 OLD NATIONAL PIKE HAGERSTOWN, MD 21740 |

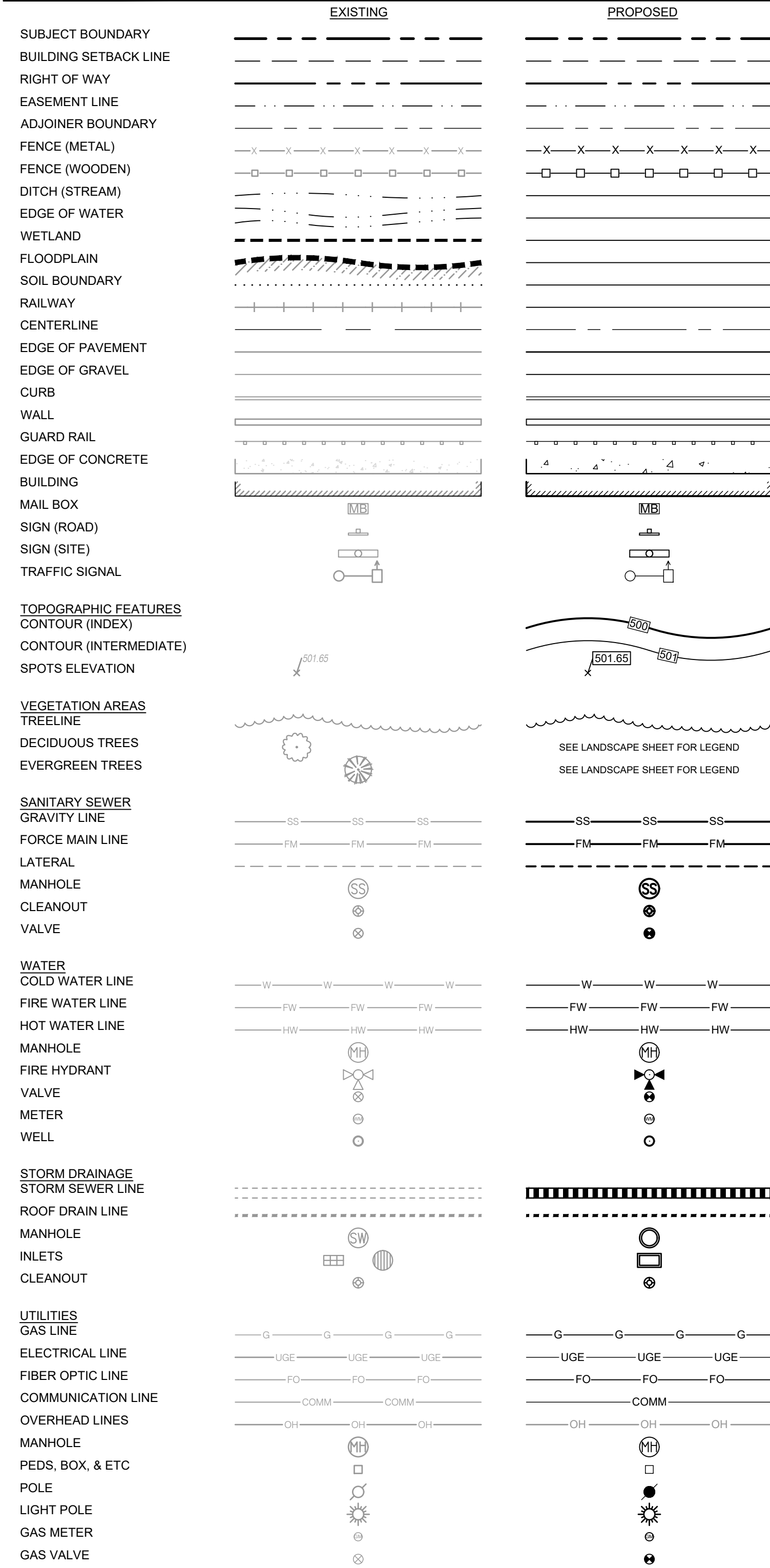
BUILDING #1 SUMMARY

| | |
|---------------------------------|--|
| FOOTPRINT | 7,800 SF |
| HEIGHT | 20 FT |
| PROPOSED USE | FLEX SPACE/RETAIL (PERMITTED USE) |
| HOURS OF OPERATION | 8:00 AM - 8:00 PM |
| EMPLOYEE SUMMARY | 12 |
| WASTE & RECYCLABLES: | |
| SOLID WASTE REMOVAL | ON SITE DUMPSTER |
| RECYCLE REMOVAL | ON SITE DUMPSTER |
| ADDRESS ASSIGNMENT | 130 OLD NATIONAL PIKE HAGERSTOWN, MD 21740 |

BUILDING #2 SUMMARY

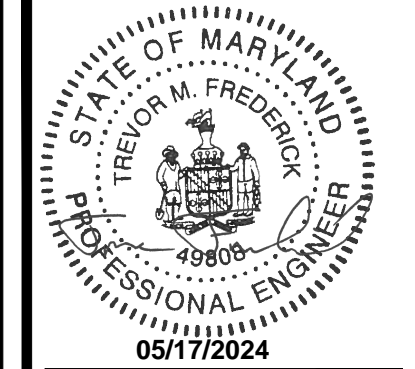
| | |
|---------------------------------|--|
| FOOTPRINT | 7,800 SF |
| HEIGHT | 20 FT |
| PROPOSED USE | FLEX SPACE/RETAIL (PERMITTED USE) |
| HOURS OF OPERATION | 8:00 AM - 8:00 PM |
| EMPLOYEE SUMMARY | 12 |
| WASTE & RECYCLABLES: | |
| SOLID WASTE REMOVAL | ON SITE DUMPSTER |
| RECYCLE REMOVAL | ON SITE DUMPSTER |
| ADDRESS ASSIGNMENT | 134 OLD NATIONAL PIKE HAGERSTOWN, MD 21740 |

LEGEND



LEGEND - ABBREVIATIONS

| | | | |
|--------|--|------|----------------------------------|
| AASHTO | AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS | OC | ON CENTER |
| ADS | ADVANCED DRAINAGE SYSTEM | PC | POINT OF CURVE |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | PCC | POINT OF COMPOUND CURVE |
| | | PGL | PROPOSED GRADE LINE |
| | | PRC | POINT OF REVERSE CURVE |
| AWWA | AMERICAN WATER WORKS ASSOCIATION | PT | POINT OF TANGENT |
| BLDG | BUILDING | PVC | POINT OF VERTICAL CURVE |
| BOT | BOTTOM | PVI | POINT OF VERTICAL INTERSECTION |
| CIP | CAST IRON PIPE | PVT | POINT OF VERTICAL TANGENT |
| CL | CENTERLINE | ROW | RIGHT-OF-WAY |
| CMP | CORRUGATED METAL PIPE | SAN | SANITARY |
| CO | SANITARY SEWER CLEAN-OUT | SCE | STABILIZED CONSTRUCTION ENTRANCE |
| COMM | COMMUNICATION | SDR | STANDARD DIMENSION RATIO |
| CONC | CONCRETE | SIP | SET IRON PIN |
| DA | DRAINAGE AREA | SD | STORM DRAINAGE |
| DA | DIAMETER | SDMH | STORM DRAIN MANHOLE |
| EGL | EXISTING GRADE LINE | SF | SQUARE FEET |
| EX | EXISTING | SS | SANITARY SEWER |
| EIP | EXISTING IRON PIN | SSMH | SANITARY SEWER MANHOLE |
| FFE | FINISH FLOOR ELEVATION | STA | STATION |
| FH | FIRE HYDRANT | STD | STANDARD |
| GV | GATE VALVE | SY | SQUARE YARDS |
| HGL | HYDRAULIC GRADE LINE | TAN | TYPE AS NOTED |
| HDPE | HIGH DENSITY POLYETHYLENE | TEMP | TEMPORARY |
| INV | INVERT | TS | TOP OF STRUCTURE |
| LF | LINEAR FEET | TG | TOP OF GRATE |
| MAX | MAXIMUM | TR | TOP OF RIM |
| MB | MAIL BOX | TYP | TYPICAL |
| MIN | MINIMUM | UP | UTILITY POLE |
| MJ | MECHANICAL JOINT | VIF | VERIFY IN FIELD |
| NO | NUMBER | WL | WATERLINE |
| NIC | NOT IN CONTRACT | WM | WATER METER |
| NTS | NOT TO SCALE | WV | WATER VALVE |
| OAC | OR APPROVED EQUAL | | |



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 054772024
 Expiration Date: 06/30/2024

FSA
 FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECTS • LAND PLANNERS
 120 SOUTH POTOMAC STREET, SUITE 200, HAGERSTOWN, MARYLAND 21740
 410.321.3000

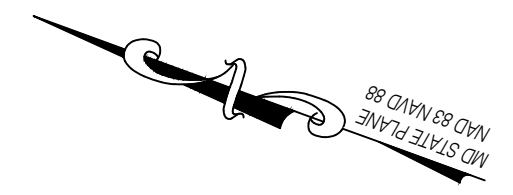
| DATE | DESCRIPTION | REVISION |
|------------|-----------------------------|----------|
| 11.27.2023 | REVISED PER AGENCY COMMENTS | |
| 02.28.2024 | REVISED PER AGENCY COMMENTS | |
| 05.20.2024 | REVISED PER AGENCY COMMENTS | |

CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE
 HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
 CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

| | |
|-------------------------|------------------------|
| PROJECT NO. | 6572.1 |
| DWN BY | ABRAM MYERS |
| DATE | 07.28.2023 |
| PROJECT MANAGER | TFREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAK MAP - GRID - PARCEL | 0057-0012-0594 |
| SCALE | N.T.S. |

SHEET TITLE
GENERAL NOTES

C-002
 SHEET 02 OF 12



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
 License # 48528
 Expiration Date 05/17/2024

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
 100 SOUTH POTOMAC STREET
 FREDERICK, MARYLAND 21730
 301.791.3000
 301.791.8111
 301.791.8111

| DATE | DESCRIPTION | REVIEWED PER AGENCY COMMENTS |
|------------|-------------|------------------------------|
| 11.27.2023 | | |
| 06.15.2024 | | |

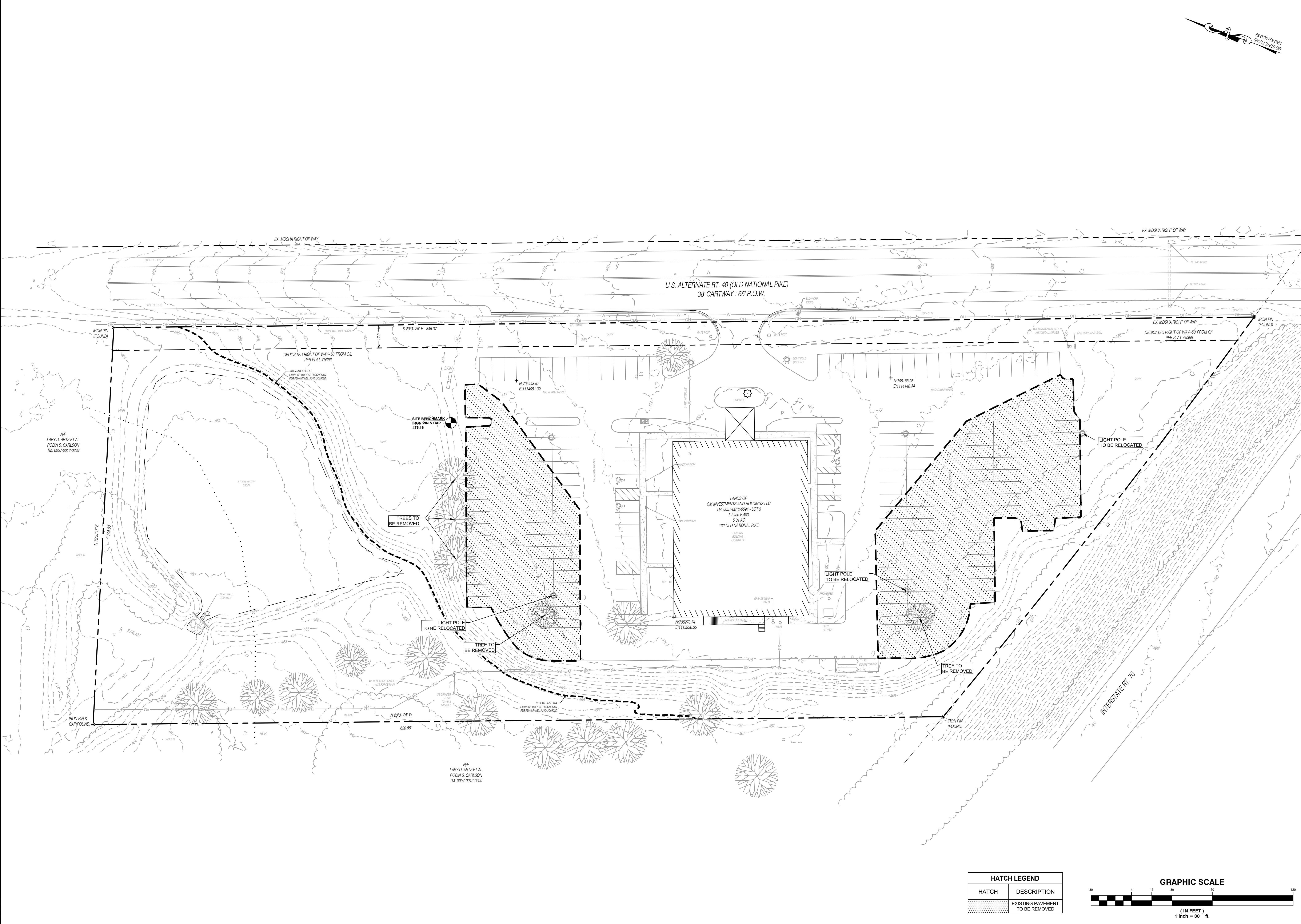
CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE
 HAGERSTOWN, MARYLAND 21740
 WASHINGTON COUNTY / MARYLAND
 CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

| | |
|-------------------------|------------------------|
| PROJECT NO. | 6572.1 |
| DWN BY | ABRAM MYERS |
| DATE | 07.28.2023 |
| PROJECT MANAGER | TFREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0012-0594 |
| SCALE | 1" = 30' |

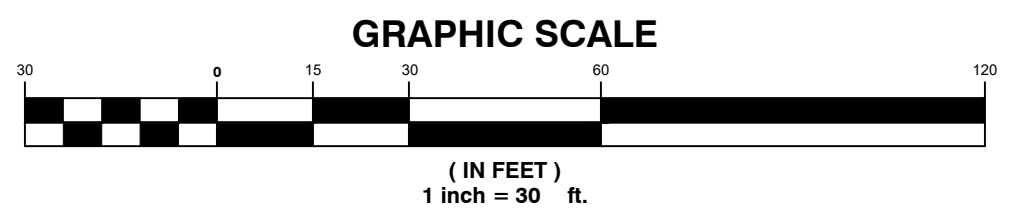
EX. CONDITIONS & DEMO PLAN

C-101
 SHEET 03 OF 12

SP-23-029



| HATCH LEGEND | |
|--------------|---------------------------------|
| HATCH | DESCRIPTION |
| | EXISTING PAVEMENT TO BE REMOVED |



P:\SHARED\COLLUS\PROJECTS\0057-0012-0594\2023\2023-07-28\CM INVESTMENTS AND HOLDINGS AND DEMO PLAN.DWG 2023-08-04

NF
 LARRY D. ARTIZ ET AL
 ROBIN S. CARLSON
 TM: 0057-0012-0299

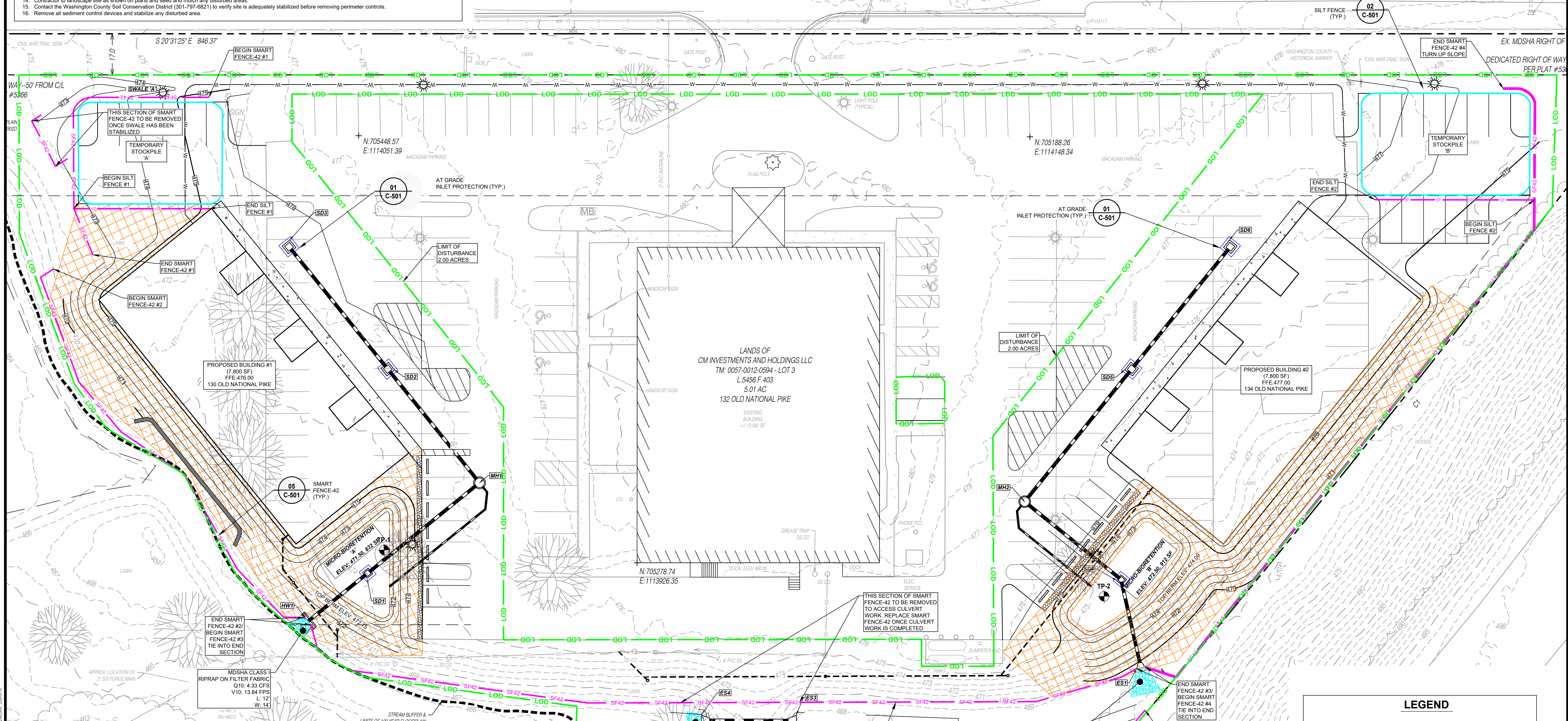
NF
 LARRY D. ARTIZ ET AL
 ROBIN S. CARLSON
 TM: 0057-0012-0299

INITIAL SEQUENCE OF CONSTRUCTION

- Pre-Construction Notification - The contractor shall notify the Washington County Soil Conservation District (301-797-6821), Washington County Division of Construction (240-313-2600), Travis Allen (240-313-2432) and Frederick Seibert & Associates (301-791-3650) at least 5 days prior to start of any work shown on these plans to schedule a pre-construction meeting. All spoil and/or borrow material must come from and/or go to a site with a current and approved Sediment and Erosion Control Plan.
- Site Benchmark Notification - The contractor shall contact Frederick Seibert & Associates (301-791-3650) prior to any construction activities beginning at the site to verify the site benchmark.
- Prior to beginning construction limit of disturbance to be staked.
- Contractor to access site through existing paved driveway. If tracking of mud onto public roads becomes an issue, a stabilized construction entrance may be required.
 - Contractor to install perimeter controls as shown on plans.
 - With perimeter controls in place, contractor to begin demo of site pavement.
 - With existing pavement removed, contractor to install Swale 'A', Contractor to place smart fence-42 at the downstream end and seed and install temporary matting in swale. Once stabilized, contractor may remove smart fence-42 from end of swale.
 - Contractor to install ES3 to ES4. Place outlet protection immediately upon completion.
 - Contractor to begin rough grading site. As site is brought to grade, contractor to install utilities as shown on plans. Contractor to excavate ponds and build berms after site has been stabilized upstream of pond locations.
 - Contractor to stockpile material in temporary stockpile location. Place silt fence on downhill side of.
 - Contractor to prepare for building pads. Contractor to base pave site.
 - Contractor to install storm drain system from ES1 to SD5 and HW1 to SD3 working from downstream to upstream. Inlet protection to be installed on all inlets as they are installed.
 - Contractor to begin building construction.
 - After the site has been stabilized, contractor may begin excavation of the stormwater ponds. The contractor shall contact the Washington County Soil Conservation District (301-797-6821), the Washington County Inspector (240-313-2460), and design engineer (301-791-3650) for an interim inspection of the micro bioretentions before placing the filtering medias in micro bioretention facilities.
 - Contractor shall use light-weight equipment to avoid compaction of the filtering media during construction. No equipment shall be permitted on the BMPs after the soil layer has been installed.
 - Contractor to final pave site.
 - Contractor to landscape site as shown on plans and seed and mulch any disturbed areas.
 - Contact the Washington County Soil Conservation District (301-797-6821) to verify site is adequately stabilized before removing perimeter controls.
 - Remove all sediment control devices and stabilize any disturbed area.

- General E&S Notes:**
- Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
 - Contractor to remove excavated materials to an approved location for waste materials.
 - All fill material should be brought from a location with an approved and current sediment erosion control plan.
 - Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.
 - If dewatering of the trench is required, contractor to pump water to a filter bag to dewater.
 - Contractor to sweep streets immediately of any debris or sediments caused by construction operations and dispose of at an approved location.
 - Contractor to stabilize all disturbed areas with seed and mulch or appropriate street repair.
 - All slopes 3:1 or greater to be stabilized with temporary matting immediately.
 - Place 4" minimum topsoil in all green areas before permanent seeding is performed.
 - The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils. Please be alert to the possibility of sinkhole formation.
 - All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole.

U.S. ALTERNATE RT. 40 (OLD NATIONAL PIKE)
38' CARTWAY : 66' R.O.W.



SWALE SCHEDULE

| ID | Q10 (CFS) | V10 (FPS) | SLOPE (%) | CHANNEL WIDTH (FT) | FLOW DEPTH (FT) | MATTING TYPE | CHECK DAM REQ. |
|-----|-----------|-----------|-----------|--------------------|-----------------|--------------|----------------|
| 'A' | 0.66 | 2.66 | 4.80 | 1.00 | 0.17 | TEMPORARY | NO |

SILT FENCE TABLE

| TYPE | NUMBER | LENGTH (FT) | AVERAGE SLOPE (%) | SLOPE LENGTH (FT) | MAX SLOPE LENGTH (FT) | DETAIL REFERENCE |
|------------|--------|-------------|-------------------|-------------------|-----------------------|------------------|
| SILT FENCE | 1 | 152 | N/A | N/A | N/A | 02/C-501 |
| SILT FENCE | 2 | 172 | N/A | N/A | N/A | 02/C-501 |
| SILT FENCE | 3 | 241 | 20.00 | 17.50 | 40 | 02/C-501 |

SMART FENCE-42 TABLE

| TYPE | NUMBER | LENGTH (FT) | AVERAGE SLOPE (%) | SLOPE LENGTH (FT) | MAX SLOPE LENGTH (FT) | DETAIL REFERENCE |
|----------------|--------|-------------|-------------------|-------------------|-----------------------|------------------|
| SMART-FENCE 42 | 1 | 120 | N/A | N/A | N/A | 05/C-501 |
| SMART-FENCE 42 | 2 | 193 | 33.33 | 23 | 100 | 05/C-501 |
| SMART-FENCE 42 | 3 | 355 | 33.33 | 17 | 100 | 05/C-501 |
| SMART-FENCE 42 | 4 | 320 | 33.33 | 17 | 100 | 05/C-501 |

OUTLET PROTECTION TABLE

| ID | PIPE | Q10 (CFS) | V10 (FPS) | LENGTH (FT) | WIDTH (FT) | d50 (IN) | Dmax (IN) | DEPTH (IN) | MDSHA CLASS |
|-----|------|-----------|-----------|-------------|------------|----------|-----------|------------|-------------|
| ES1 | 15" | 4.33 | 13.84 | 12 | 14 | 9.5 | 15 | 19 | I |
| ES2 | 15" | 4.65 | 13.19 | 12 | 14 | 9.5 | 15 | 19 | I |
| ES4 | 24" | 5.64 | 9.13 | 8 | 6 | 9.5 | 15 | 19 | I |

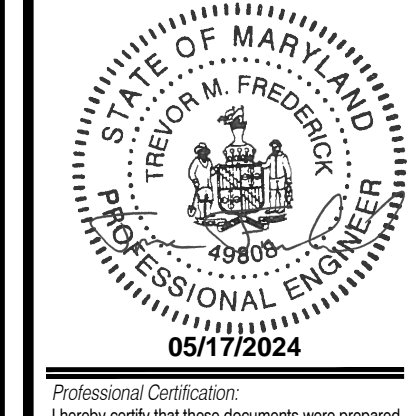
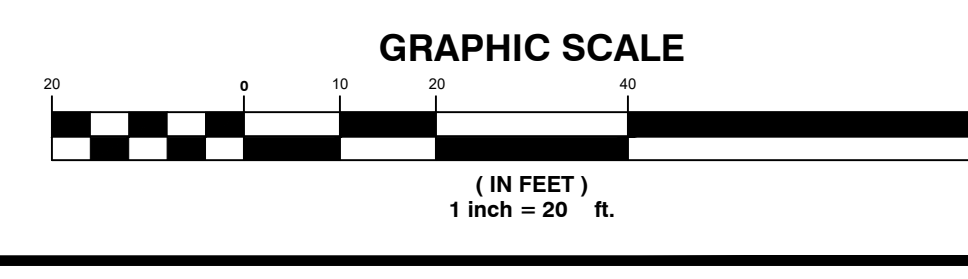
INLET PROTECTION TABLE

| INLET ID | DRAINAGE AREA (AC.) | PROTECTION TYPE |
|----------|---------------------|---------------------------|
| SD1 | N/A | AT GRADE INLET PROTECTION |
| SD2 | 0.22 | AT GRADE INLET PROTECTION |
| SD3 | 0.41 | AT GRADE INLET PROTECTION |
| SD4 | N/A | AT GRADE INLET PROTECTION |
| SD5 | 0.16 | AT GRADE INLET PROTECTION |
| SD6 | 0.50 | AT GRADE INLET PROTECTION |

NOTE:
1. ALL TEMPORARY SLOPE MATTING TO BE NORTH AMERICAN GREEN SYSTEM BIONET OR EQUIVALENT.
2. ALL PERMANENT SLOPE MATTING TO BE NORTH AMERICAN GREEN P300 ERONET OR EQUIVALENT.

LEGEND

- SF - SILT FENCE
- SF42 - SMART FENCE-42
- LOD - LIMIT OF DISTURBANCE (2.00 AC)
- STRAW AND NET MATTING OR EQUIVALENT
- RIPRAP INFLOW/ OUTLET PROTECTION
- EXISTING CONTOURS
- EXISTING TEXT
- FINISHED GRADE SPOT ELEVATION
- FINISHED GRADE INDEX CONTOUR
- FINISHED GRADE INTERMEDIATE CONTOUR
- SOIL BOUNDARY



FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECTS • LAND PLANNERS

108 SOUTH POTOMAC STREET
FREDERICK, MARYLAND 21701
301.791.3650

REVISIONS

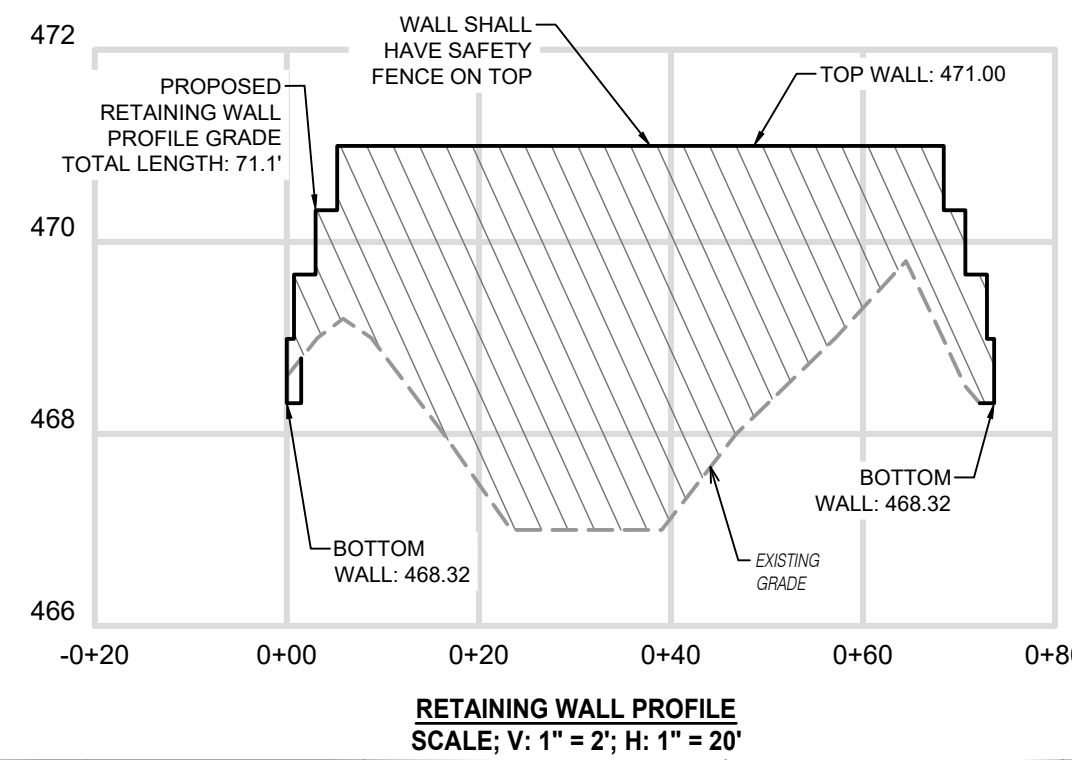
| NO. | DATE | DESCRIPTION |
|-----|------------|-----------------------------|
| 1 | 11/27/2023 | ISSUED FOR PERMIT |
| 2 | 02/28/2024 | REVISED PER AGENCY COMMENTS |
| 3 | 05/15/2024 | REVISED PER AGENCY COMMENTS |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740

WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

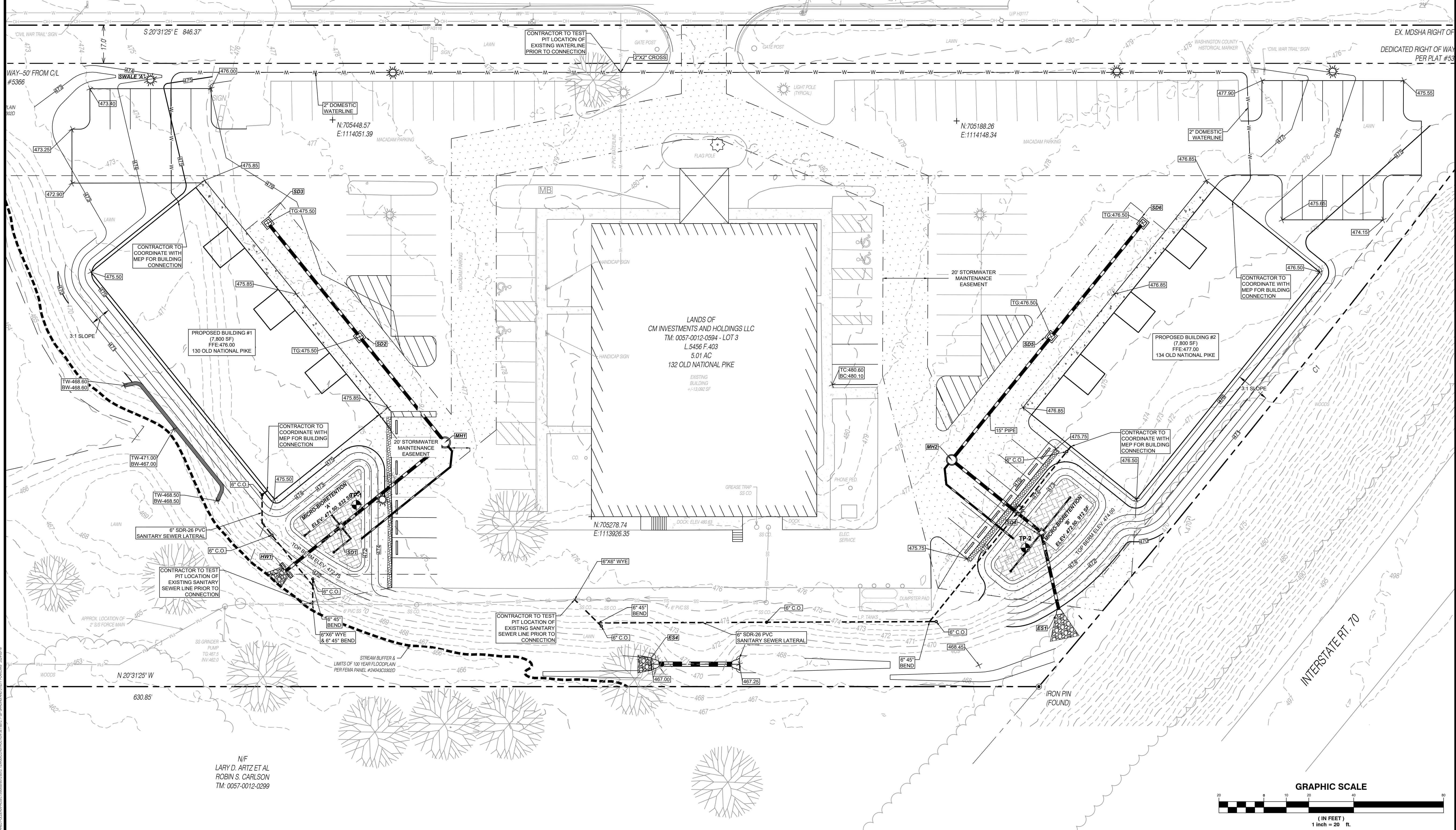
PROJECT INFORMATION

| | |
|-------------------------|------------------------|
| PROJECT NO. | 6572.1 |
| DATE | 07.28.2023 |
| DRAWN BY | ABRAM MYERS |
| PROJECT MANAGER | TFREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0012-0594 |
| SCALE | 1" = 20' |
| SHEET TITLE | |

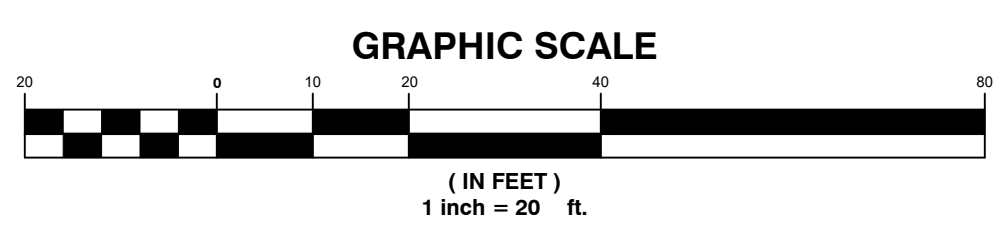


STORMWATER MANAGEMENT EASEMENT

U.S. ALTERNATE RT. 40 (OLD NATIONAL PIKE)
38' CARTWAY : 66' R.O.W.



N/F
LARY D. ARTZ ET AL
ROBIN S. CARLSON
TM: 0057-0012-0299



Professional Engineer
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 28029
Expiration Date 05/17/2024

Frederick, Seibert & Associates, Inc.
Civil Engineers • Surveyors • Landscape Architects • Land Planners
100 South Potomac Street
Frederick, MD 21701
Tel: 301.797.8000
Fax: 301.797.8001
www.fsa-inc.com

| DATE | DESCRIPTION | REVIEWED PER AGENCY COMMENTS | REVISED PER AGENCY COMMENTS |
|------------|-------------|------------------------------|-----------------------------|
| 11.22.2023 | | | |
| 06.13.2024 | | | |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

PROJECT NO: 6572.1
DATE: 07.28.2023
DWN BY: ABRAM MYERS
PROJECT MANAGER: TFREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
TAX MAP: GRID - PARCEL: 0057-0012-0594
SCALE: 1" = 20'
SHEET TITLE

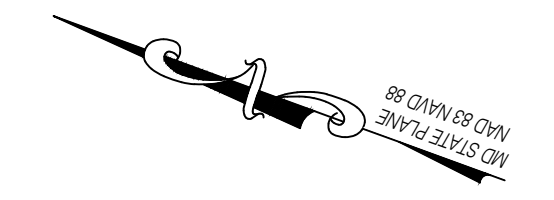
GRADING & UTILITY PLAN

C-103
SHEET 05 OF 12

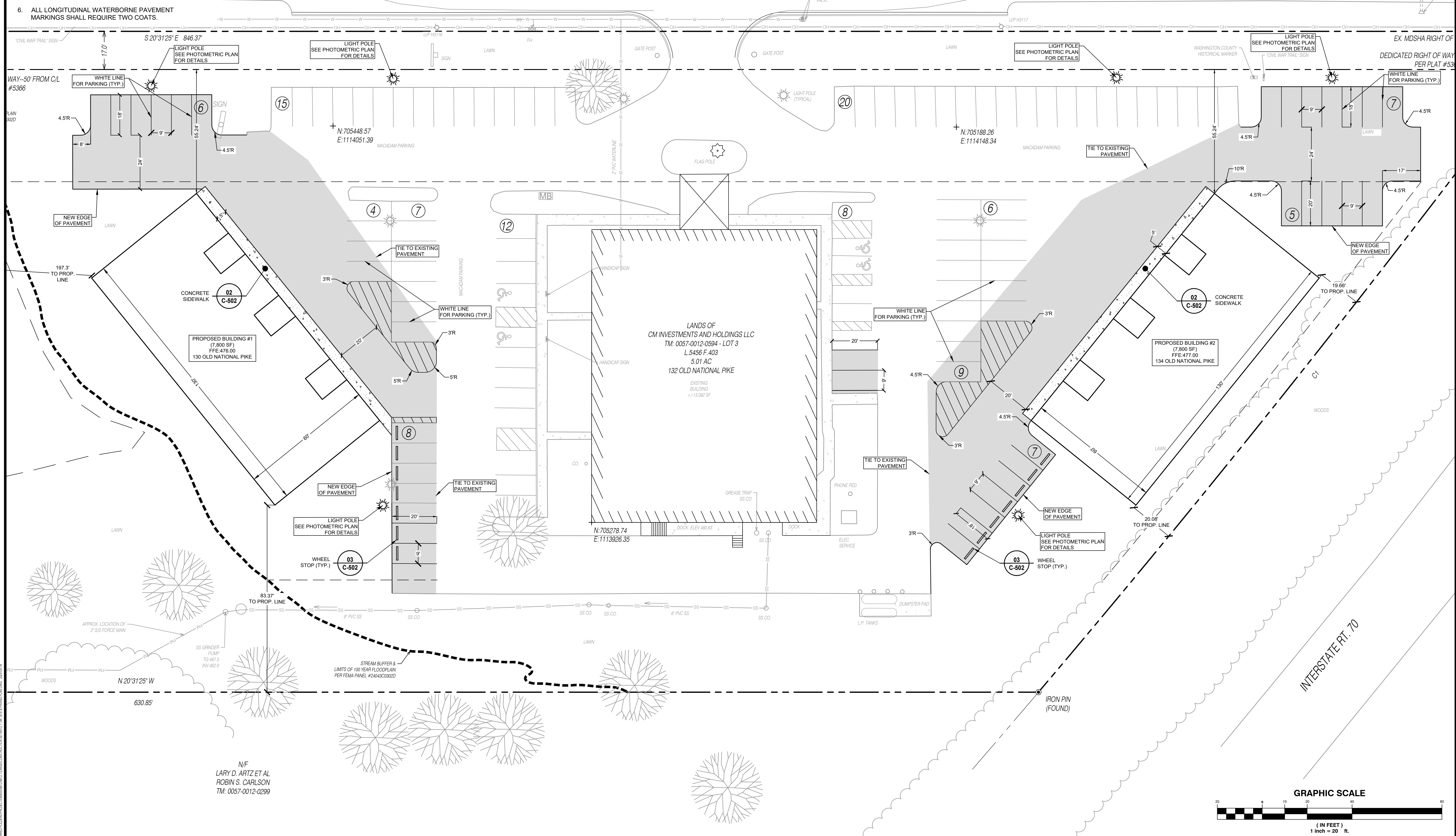
STRIPING NOTES:

- FINAL APPLICATION OF WHITE AND YELLOW WATERBORNE PAVEMENT MARKINGS SHALL BE AFTER COMPLETION OF ALL ASSOCIATED PROJECT ROADWAY CLEAN-UP.
- REFERENCE PUBLICATION 111M TC-8600 RECOMMENDED JUNE 13, 2013 FOR PAVEMENT MARKING DETAILS.
- REFERENCE PUBLICATION 111M TC-8604 RECOMMENDED JUNE 13, 2013 FOR DELINEATION DETAILS.
- REFERENCE PUBLICATION 111M TC-8700 SERIES RECOMMENDED JUNE 13, 2013 AND ANY CHANGES/REVISIONS FOR TRAFFIC CONTROL SIGNING STANDARDS.
- REFERENCE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D. 2009 EDITION CHAPTER 8B SECTION 27 FOR GRADE CROSSING PAVEMENT MARKINGS (FIGURE 8B-7).
- ALL LONGITUDINAL WATERBORNE PAVEMENT MARKINGS SHALL REQUIRE TWO COATS.

| HATCH LEGEND | | |
|--------------|-------------------|--------------|
| HATCH | DESCRIPTION | SHEET/DETAIL |
| | SITE PAVEMENT | C-502/01 |
| | CONCRETE SIDEWALK | C-502/02 |
| | GORE HATCHING | N/A |



**U.S. ALTERNATE RT. 40 (OLD NATIONAL PIKE)
38' CARTWAY : 66' R.O.W.**



STATE OF MARYLAND
FREDERICK M. FREDERICK
PROFESSIONAL ENGINEER
05/17/2024

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 4838
Expiration Date: 05/31/2026

FSAI
FREDERICK SEBERT ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

665 SOUTH HANOVER STREET
HAGERSTOWN, MARYLAND 21740
410.321.1117

| DATE | REVISION | DESCRIPTION |
|------------|----------|-----------------------------|
| 11.27.2023 | 05 | REVISED PER AGENCY COMMENTS |
| 05.13.2024 | 06 | REVISED PER AGENCY COMMENTS |

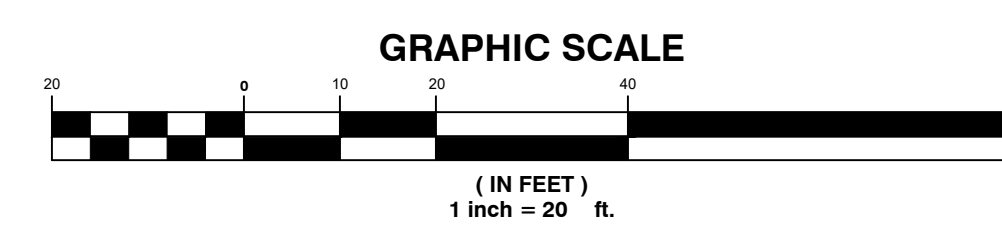
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740

WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

| | |
|--------------------------|------------------------|
| PROJECT NO: | 6572.1 |
| OWN BY: | ABRAM MYERS |
| DATE: | 07.28.2023 |
| PROJECT MANAGER: | TFREDERICK |
| EMAIL: | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL: | 0057-0012-0594 |
| SCALE: | 1" = 20' |

SHEET TITLE
SITE & PAVING PLAN

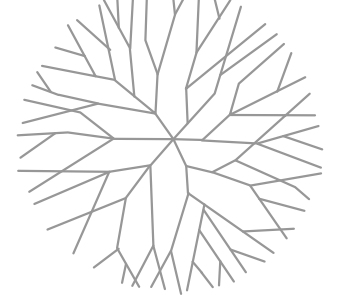
C-104
SHEET 06 OF 12



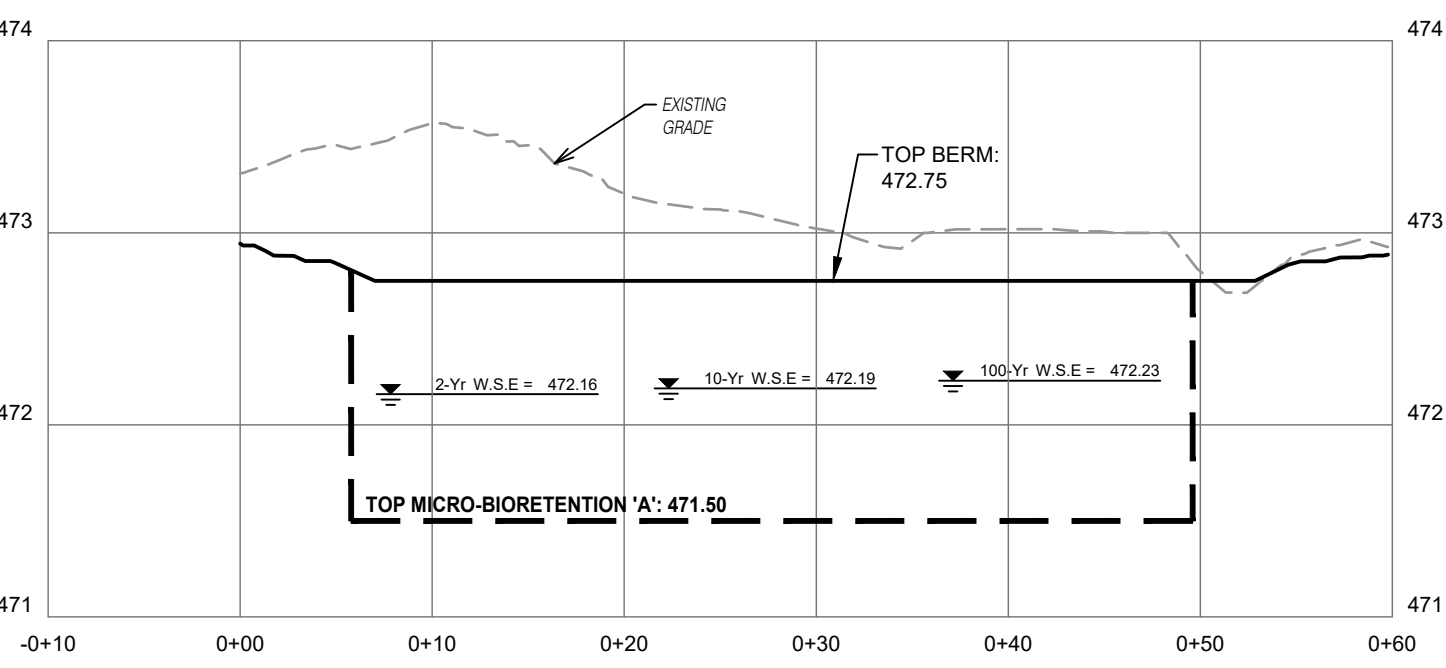
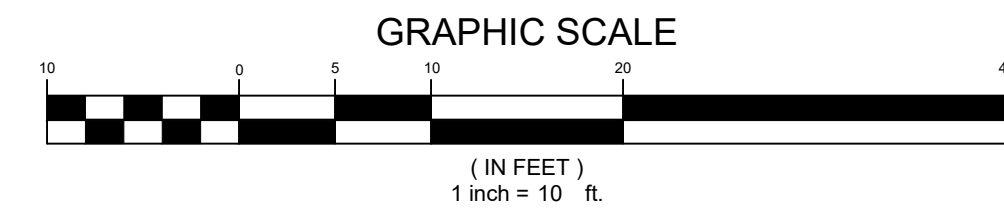
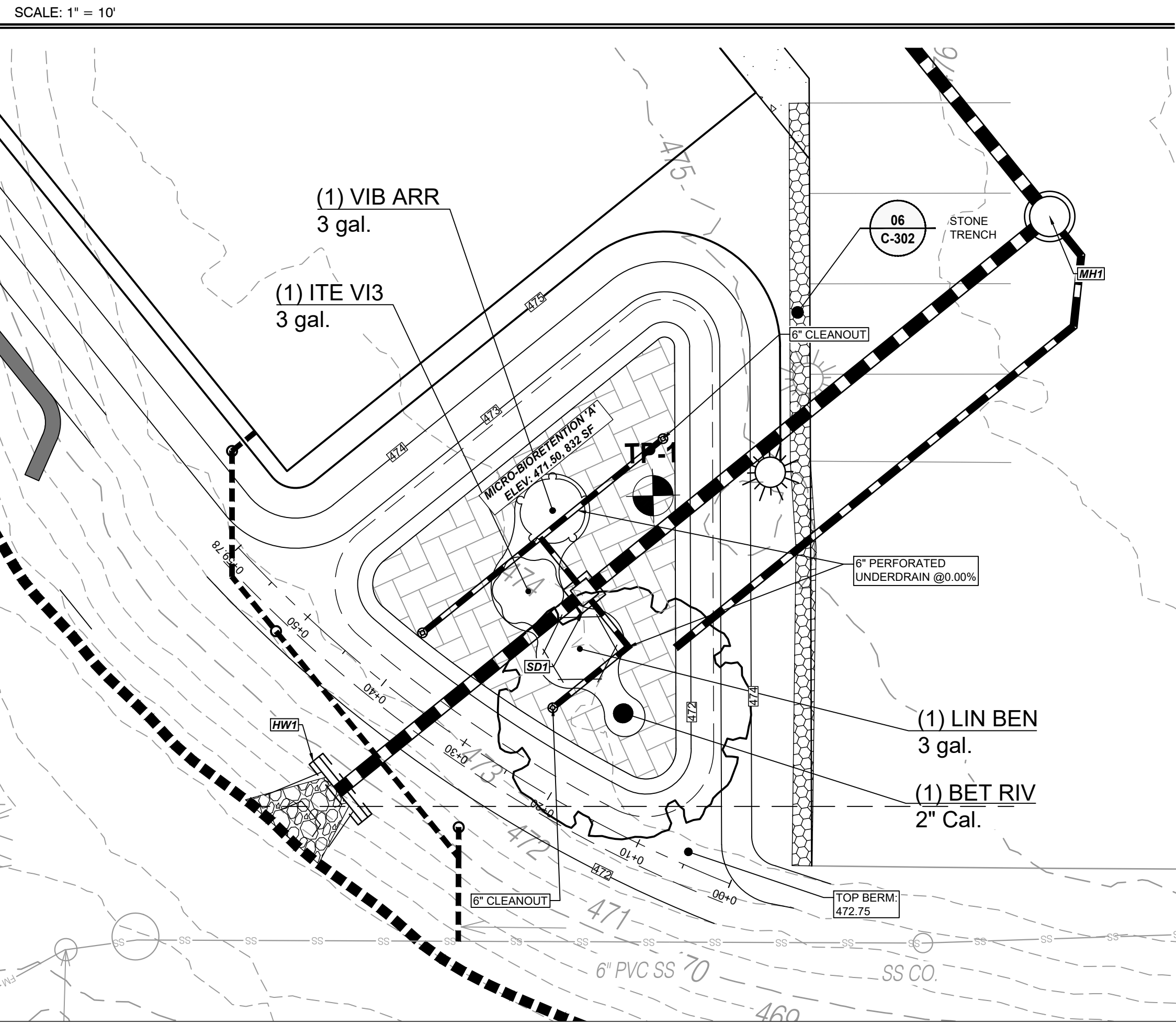
N/F
LARY D. ARTZ ET AL
ROBIN S. CARLSON
TM: 0057-0012-0299

APPROX. LOCATION OF 2" SIS FORCE MAIN
SS GRINDER PUMP
TG: 467.5
INV: 462.0

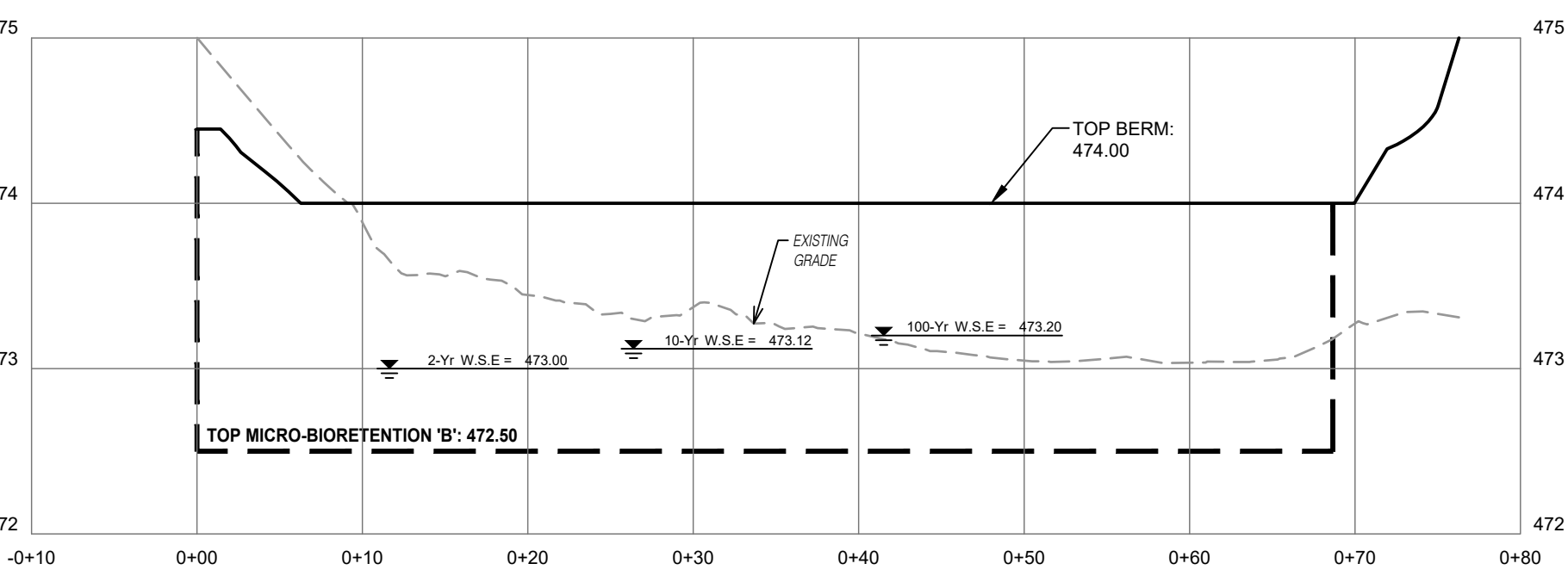
STREAM BUFFER & LIMITS OF 100 YEAR FLOODPLAIN PER FEMA PANEL #24243C332D



ENLARGEMENT OF BIORETENTION 'A'

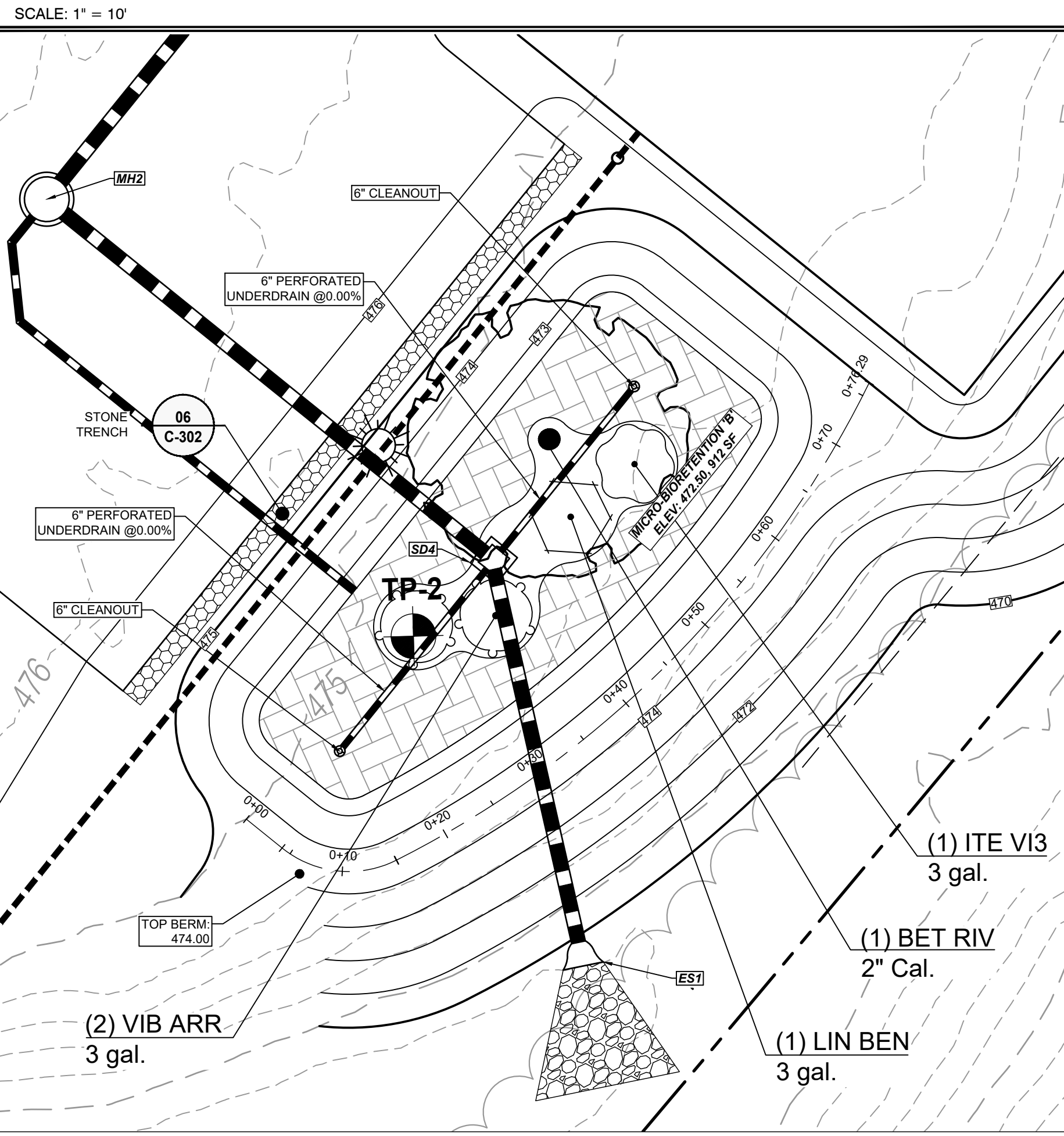


MICRO-BIORETENTION 'A' BERM PROFILE
SCALE: H: 1" = 1', V: 1" = 10'

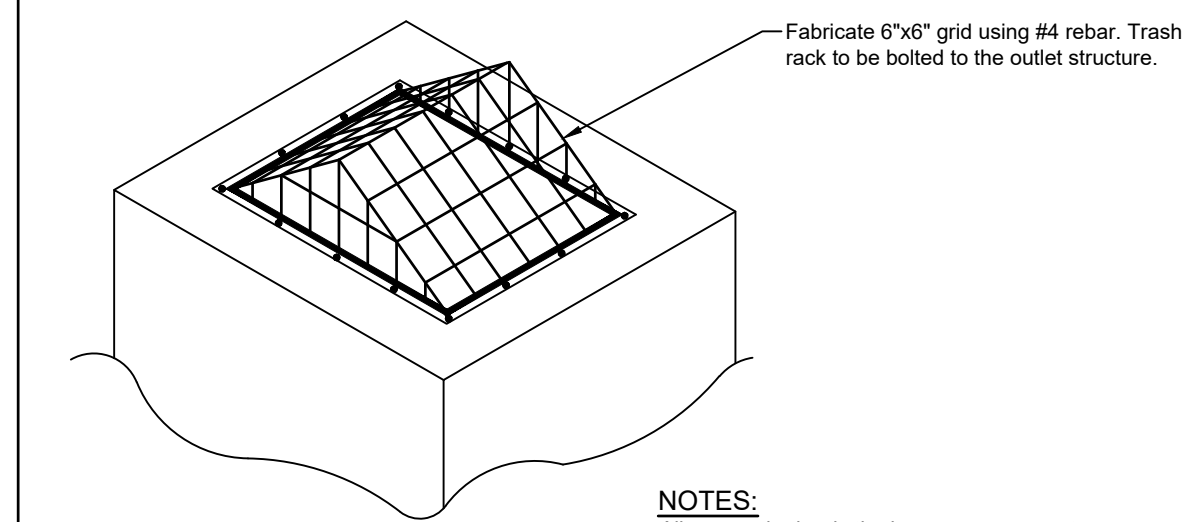
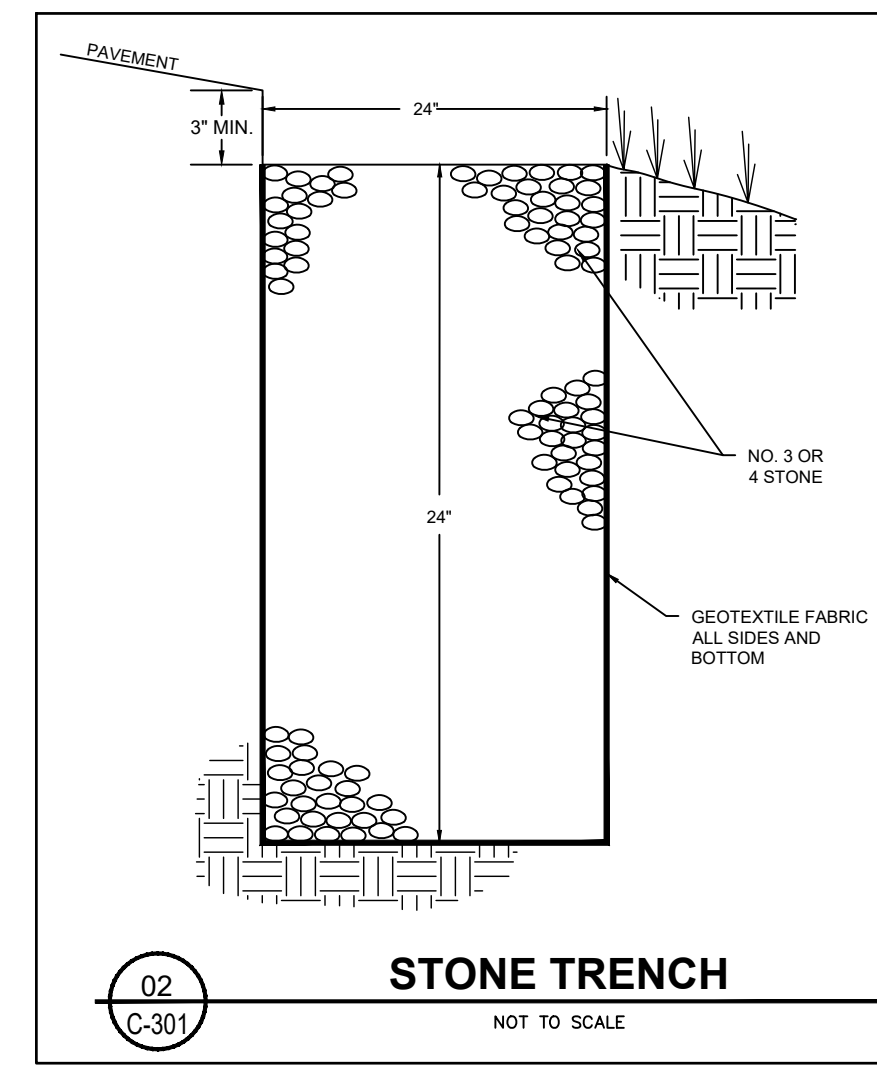
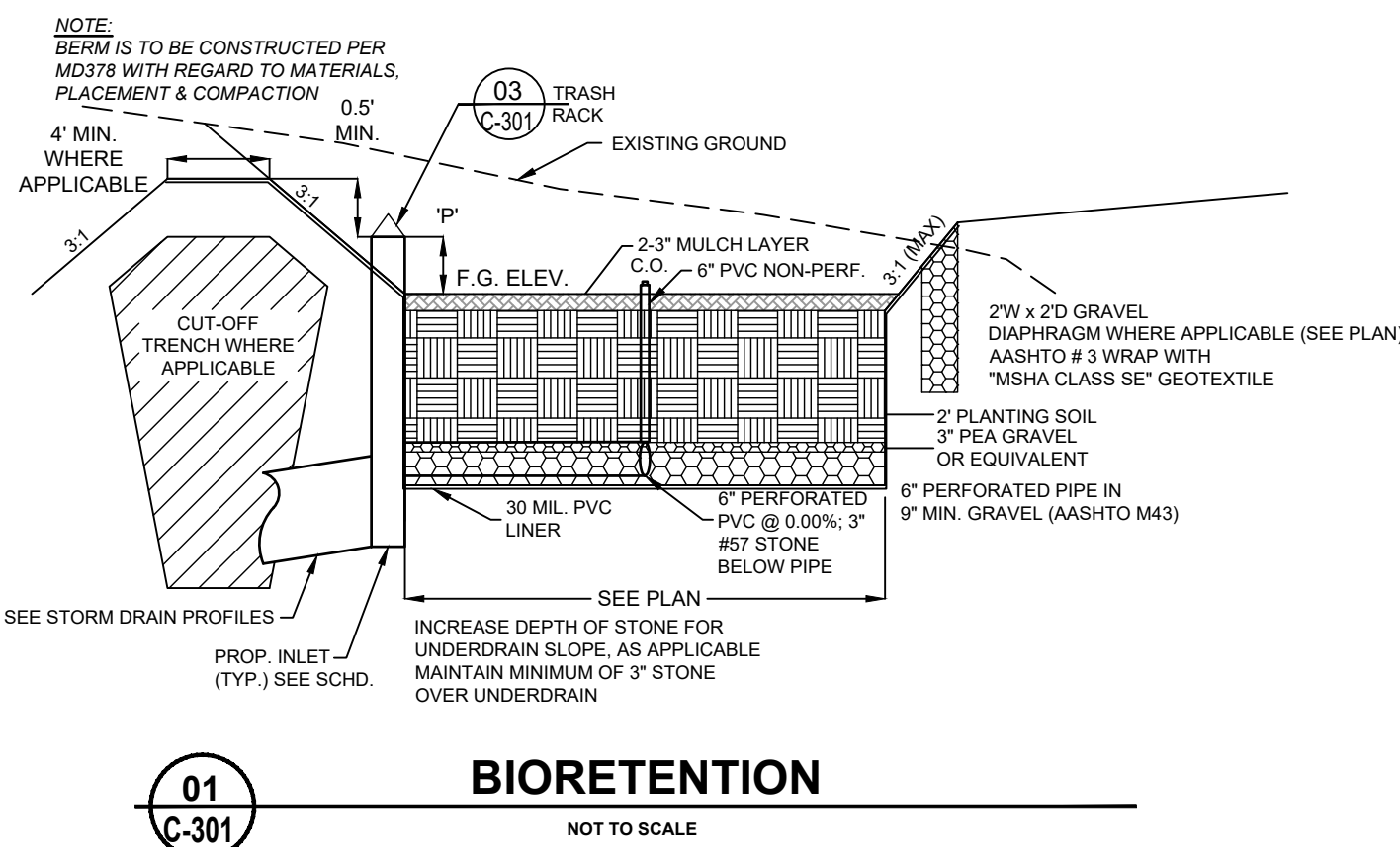


MICRO-BIORETENTION 'B' BERM PROFILE
SCALE: H: 1" = 1', V: 1" = 10'

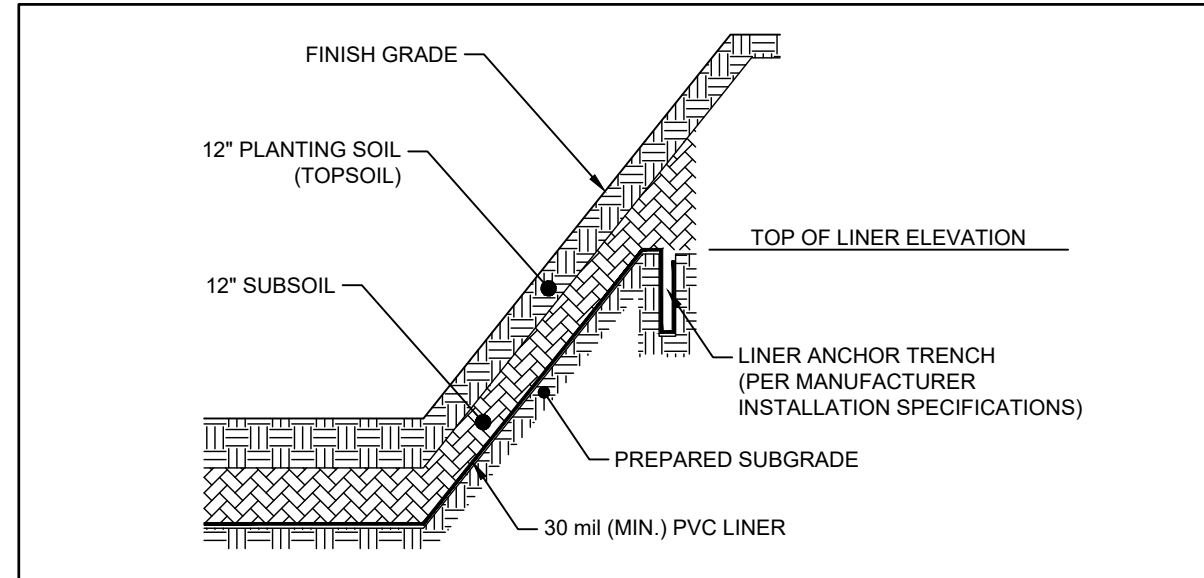
ENLARGEMENT OF BIORETENTION 'B'



SEE SHEET L-101 FOR PLANTING SCHEDULES AND DETAILS



03 C-301 Trash Rack - Slanted
NOT TO SCALE



04 C-301 Liner Anchor Trench
NOT TO SCALE

Notice of Required Stormwater Management Inspections
Micro - Bioretention Facilities

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

| Inspection Item | Certifying Engineer | Date | County Inspector | Date | County Inspector | MICRO - BIORETENTION 'A' | MICRO - BIORETENTION 'B' |
|---|---------------------|------|------------------|------|------------------|--------------------------|--------------------------|
| | | | | | | | |
| Excavation of Facility - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized. | | | | | | | |
| Placement of Filter Cloth (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll. | | | | | | | |
| Placement of Underdrains and Observation Wells - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover | | | | | | | |
| Placement of Filtering Media - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer. | | | | | | | |
| Placement of Sand Filter Layer or Gravel Diaphragm - Verify depth and width of sand and/or diaphragm layer. Verify fill material. | | | | | | | |
| Stabilization and Landscaping - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers. | | | | | | | |

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.

RAIN GARDEN MIXED GRASSES PLANTING SCHEDULE

| SYMBOL | QUANTITY | | COMMON NAME | SIZE | REMARKS |
|--------|----------|---------|---------------|----------|---------------------|
| | MBR 'A' | MBR 'B' | | | |
| | 600 SF | 660 SF | MIXED GRASSES | 2" PLUGS | SEE DETAIL 01/L-101 |

MIXED GRASSES

| COMMON NAME | SCIENTIFIC NAME |
|---------------------|---------------------|
| Rush, soft | Juncus effusus |
| Sedge, broom | Carex scoparia |
| Sedge, Pennsylvania | Carex pennsylvanica |
| Switchgrass | Panicum virgatum |

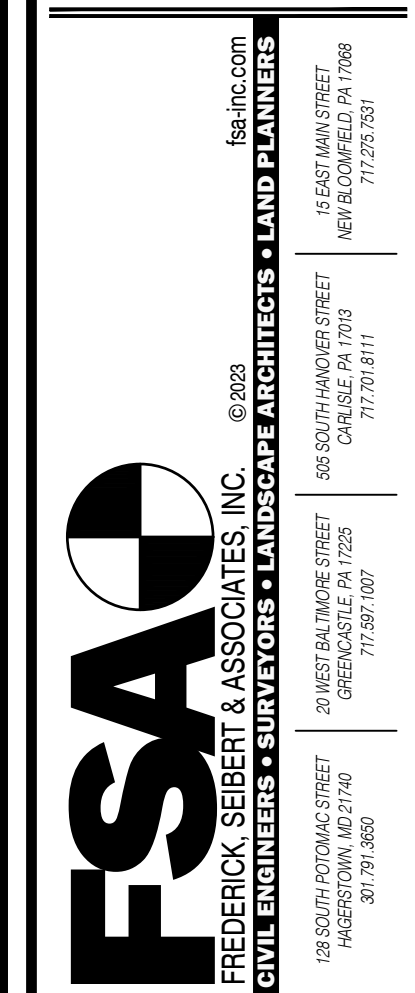
THE MINIMUM SIZE FOR MIXED GRASSES SHALL BE 2" PLUG. GRASSES SHALL BE PLANTED 3 FOOT ON CENTER WITH A RANDOM MIX OF PLANTS. PLANTING SHOWN IS RECOMMENDED. OTHER PLANT SPECIES SPECIFIED IN THE MARYLAND STORMWATER DESIGN MANUAL ARE PERMITTED.

BIORETENTION SCHEDULE

| ID | SURFACE AREA (S.F.) | PONDING DEPTH (FT.) | FINISH GRADE ELEV. | BOT. SOIL ELEV. | LINER REQUIRED | PRINCIPLE SPILLWAY | TOP BERM ELEV. | 10 YR. WSEL | 100 YR. WSEL | TRASH RACK REQ. |
|----|---------------------|---------------------|--------------------|-----------------|----------------|--------------------|----------------|-------------|--------------|-----------------|
| A | 832 | 0.50 | 471.50 | 469.25 | YES | MDSHA YARD INLET | 472.75 | 472.19 | 472.23 | YES |
| B | 912 | 0.50 | 472.50 | 470.25 | YES | MDSHA YARD INLET | 474.00 | 473.12 | 473.20 | YES |



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 49529
Expiration Date: 05/31/2024



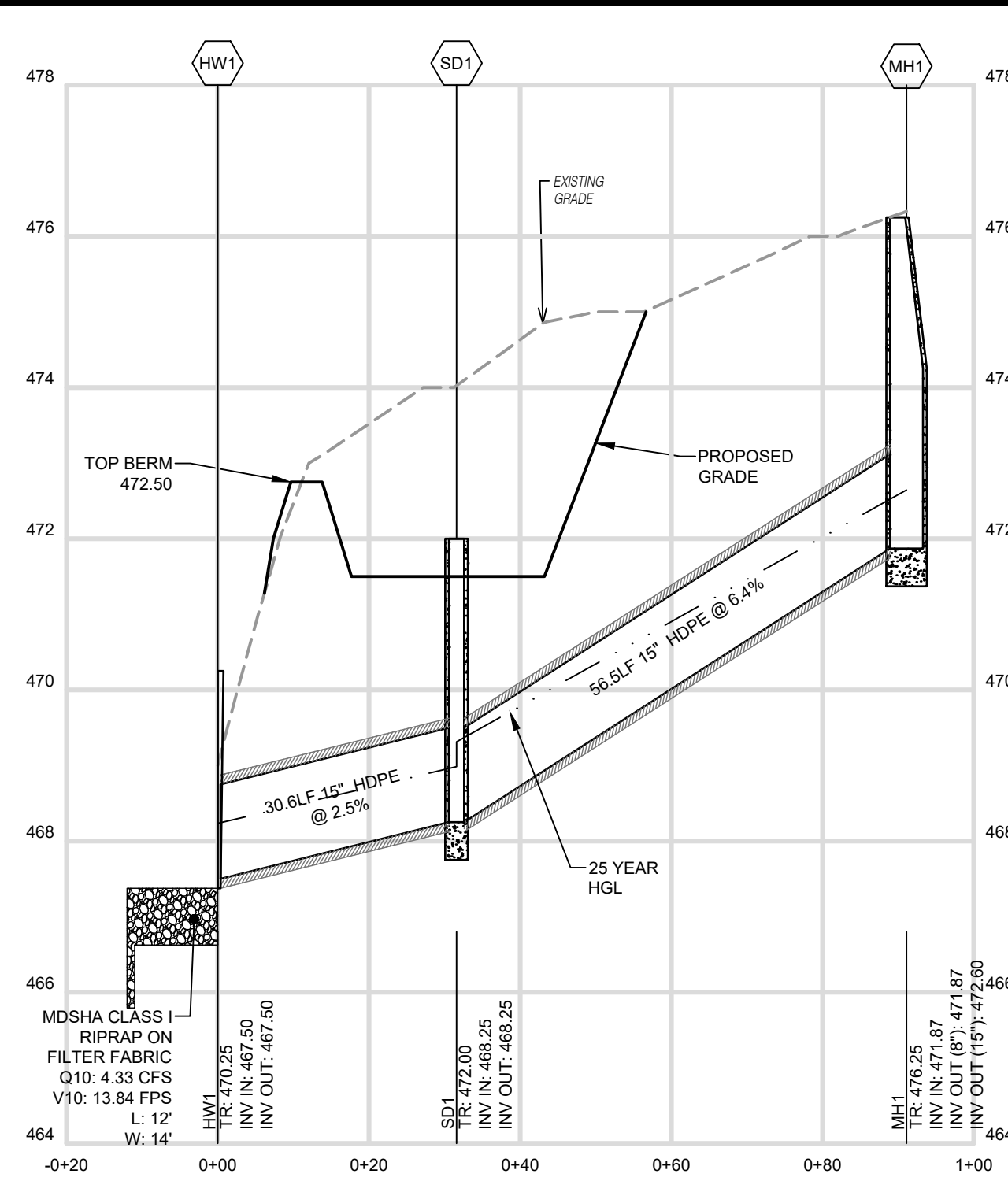
| DATE | REVISION | DESCRIPTION |
|------------|----------|-----------------------------|
| 11.22.2023 | 01 | ISSUE FOR PERMIT |
| 06.15.2024 | 02 | REVISED PER AGENCY COMMENTS |
| | | REVISED PER AGENCY COMMENTS |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
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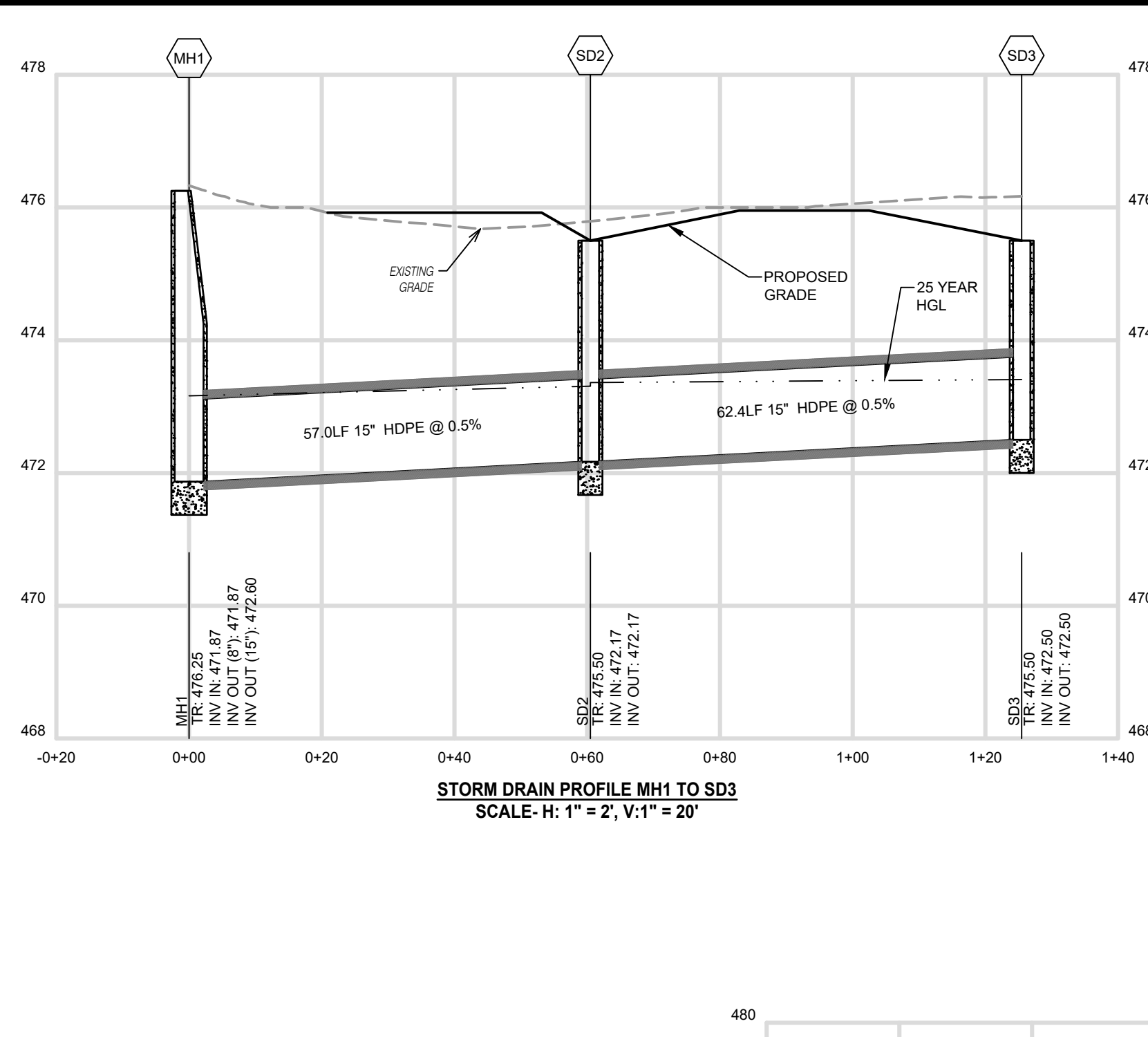
PROJECT NO: 6572.1
OWN BY: ABRAM MYERS
DATE: 07.28.2023
PROJECT MANAGER: TFREDERICK
DESIGNER: TFREDERICK@FSA-INC.COM
7341 MAP - GRID - PARCEL: 0057-0012-0594
SCALE: 1" = 10'
SHEET TITLE

STORMWATER MANAGEMENT PLAN

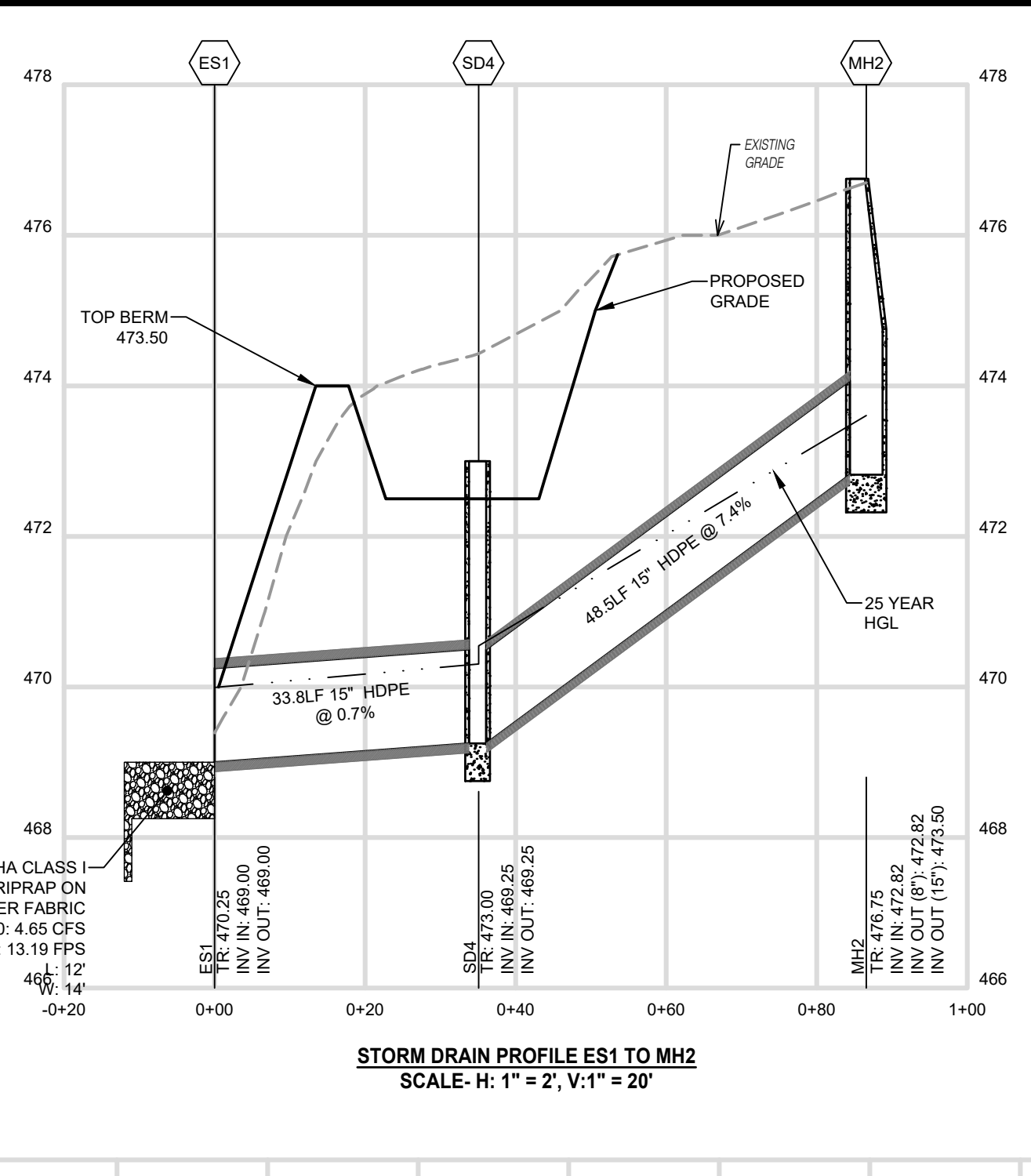
C-301
SHEET 07 OF 12



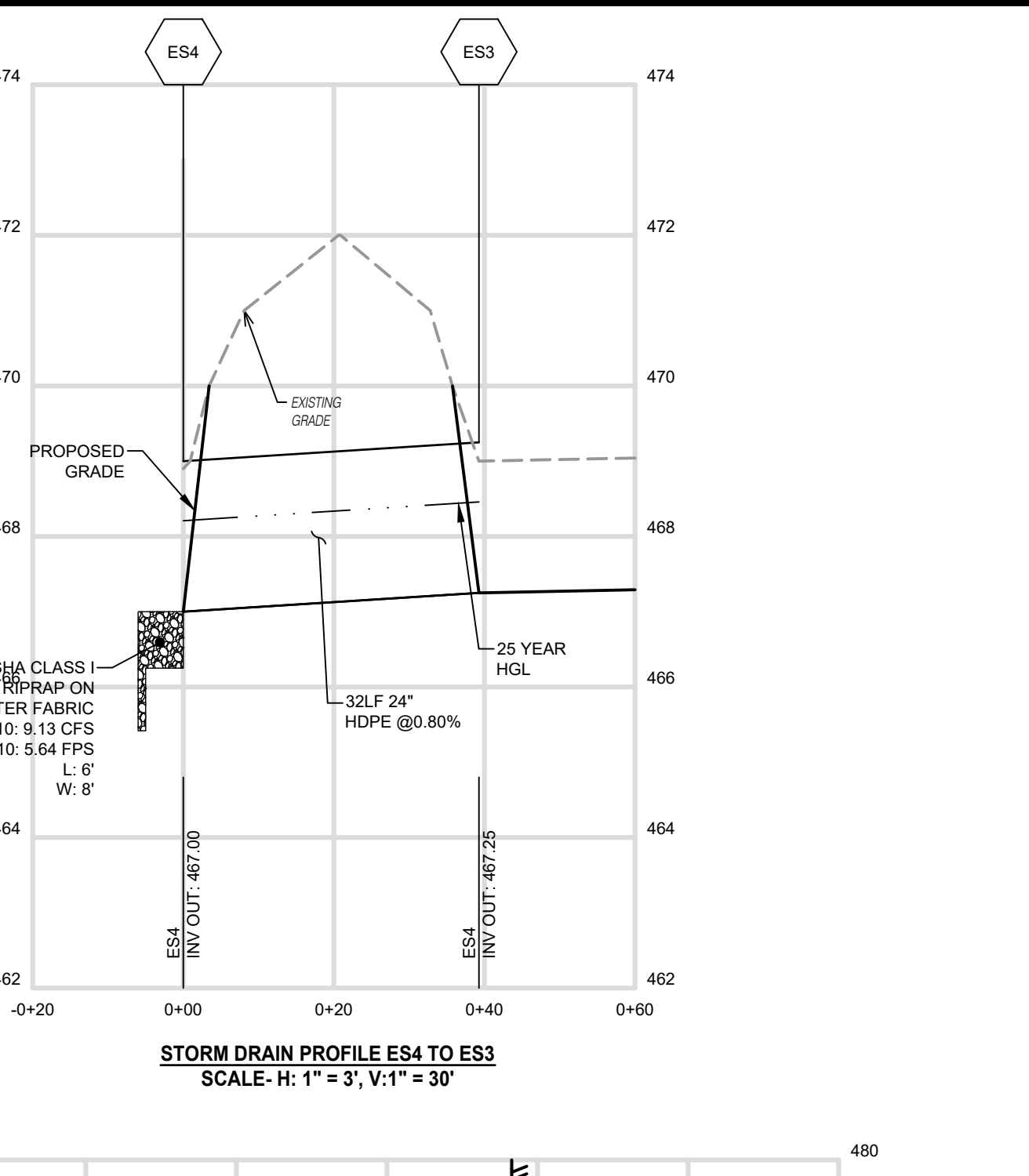
STORM DRAIN PROFILE HW1 TO MH1
SCALE: H: 1" = 2', V: 1" = 20'



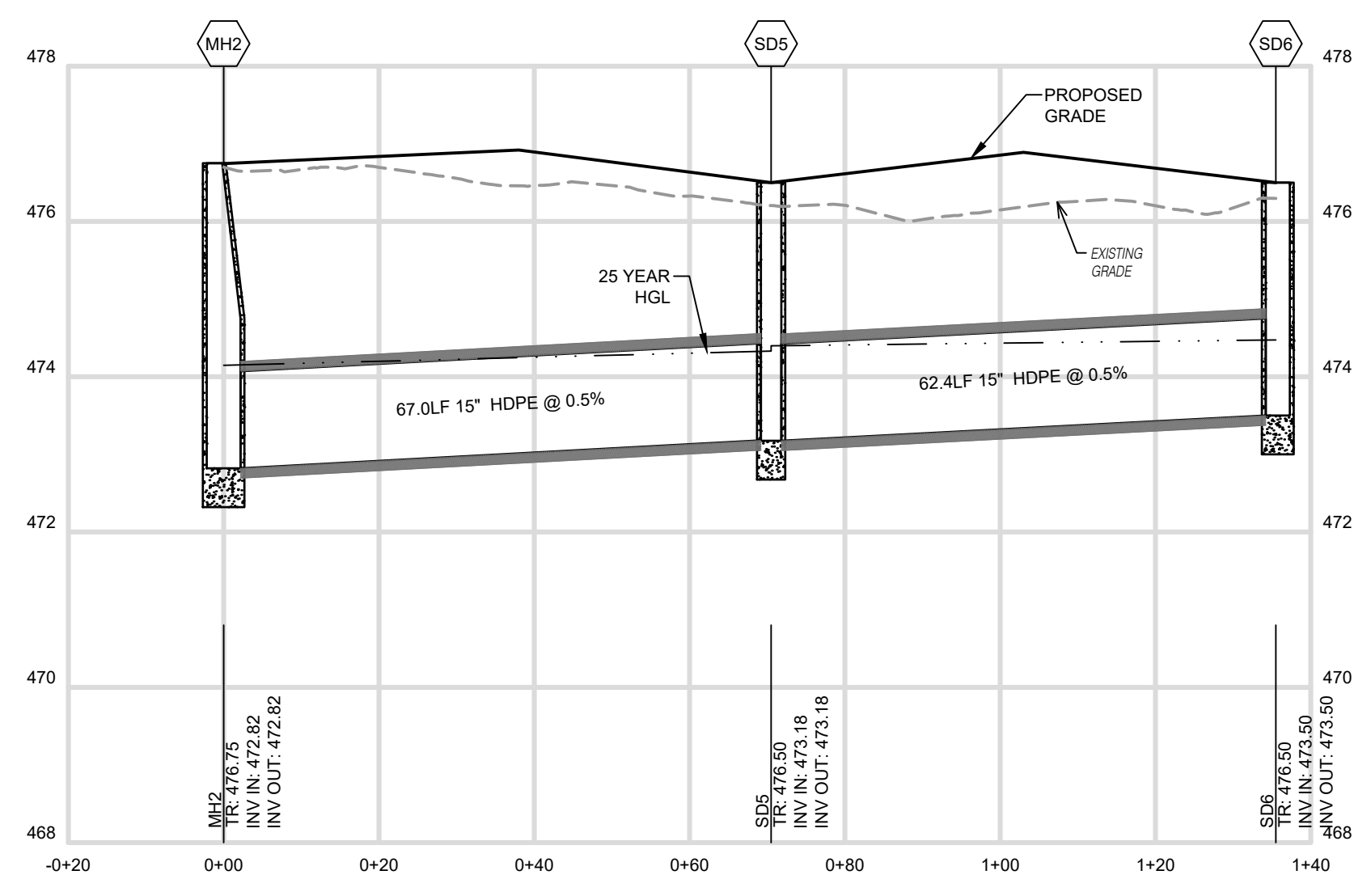
STORM DRAIN PROFILE MH1 TO SD3
SCALE: H: 1" = 2', V: 1" = 20'



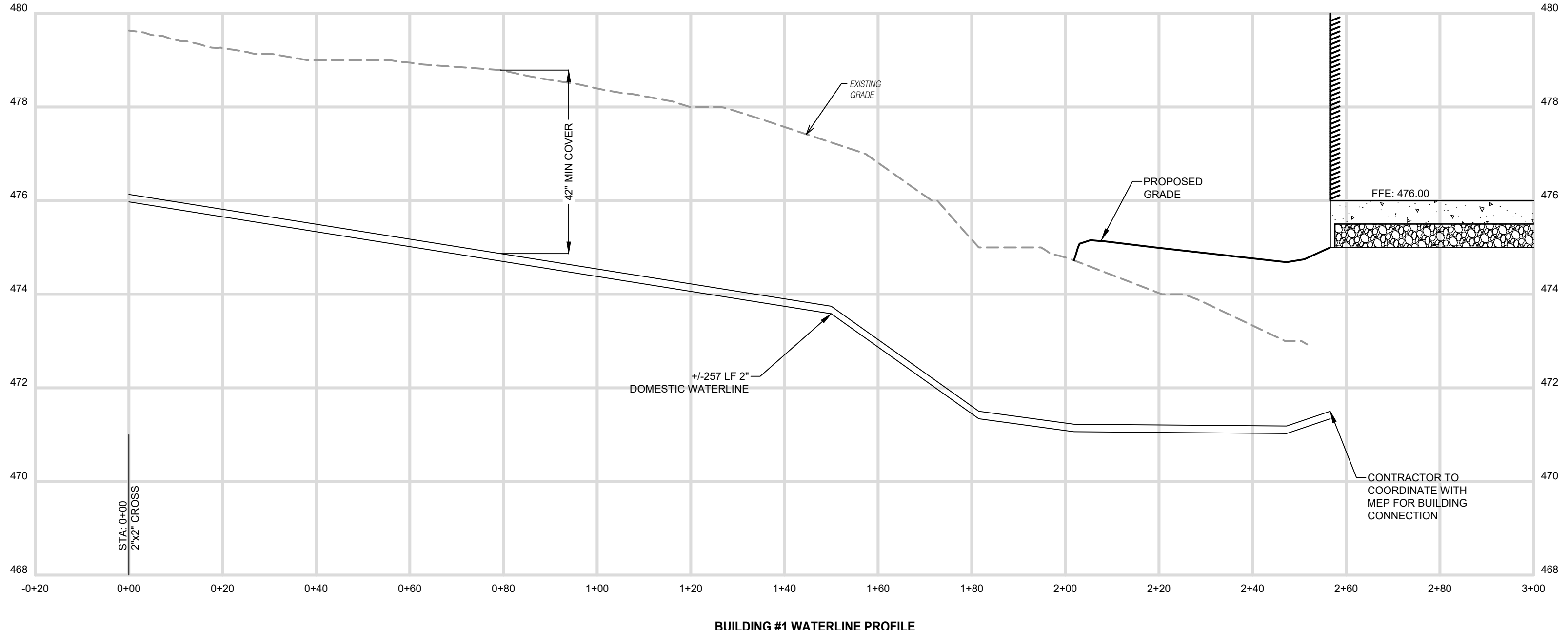
STORM DRAIN PROFILE ES1 TO MH2
SCALE: H: 1" = 2', V: 1" = 20'



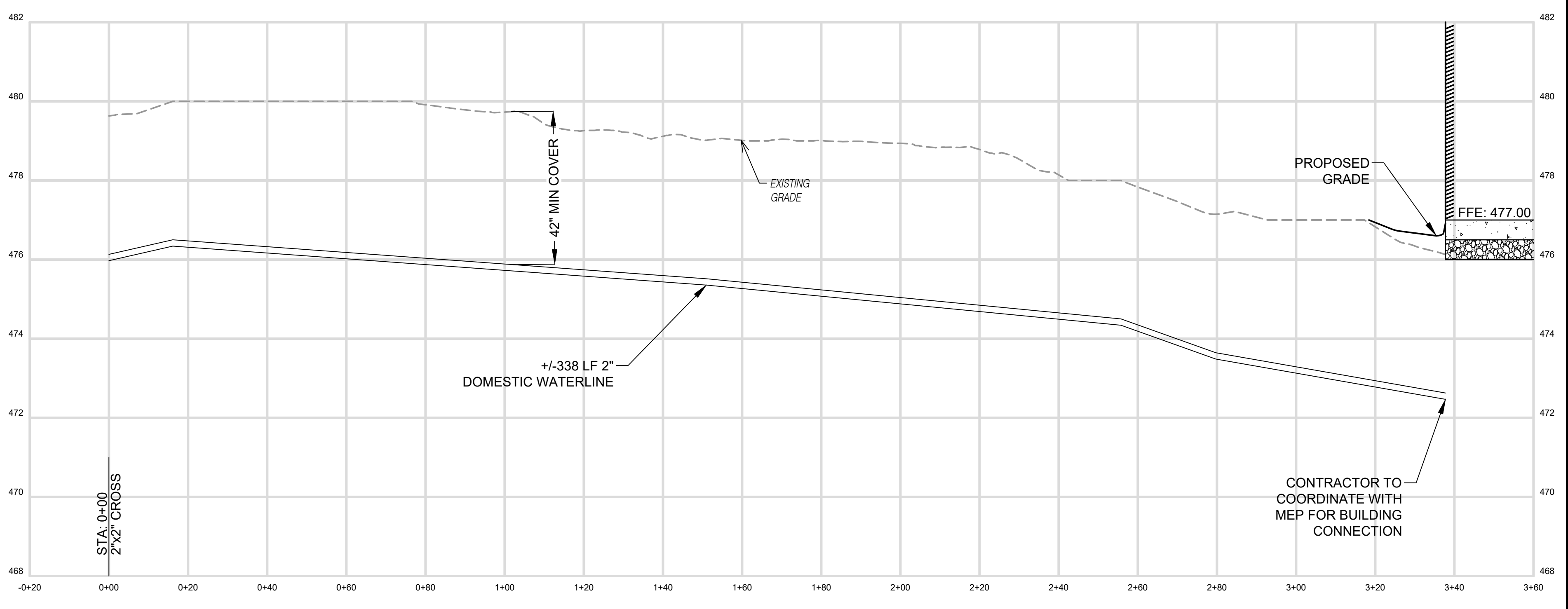
STORM DRAIN PROFILE ES4 TO ES3
SCALE: H: 1" = 3', V: 1" = 30'



STORM DRAIN PROFILE MH2 TO SD6
SCALE: H: 1" = 2', V: 1" = 20'



BUILDING #1 WATERLINE PROFILE
SCALE: H: 1" = 3', V: 1" = 30'

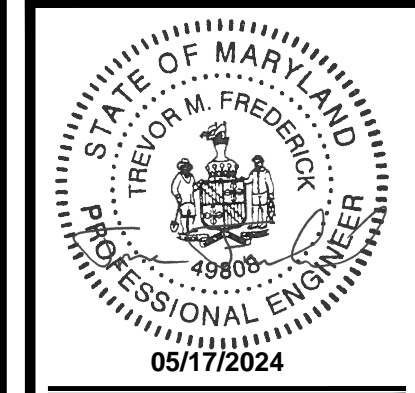


BUILDING #2 WATERLINE PROFILE
SCALE: H: 1" = 3', V: 1" = 30'

| DN STRUCTURE | UP STRUCTURE | DOWN INVERT (FT) | UP INVERT (FT) | LENGTH (FT) | SLOPE (%) | MATERIAL | SIZE (IN) |
|--------------|--------------|------------------|----------------|-------------|-----------|----------|-----------|
| SD2 | SD3 | 472.17 | 472.50 | 62.38 | 0.521 | HDPE | 15.0 |
| MH1 | SD2 | 471.87 | 472.17 | 58.99 | 0.538 | HDPE | 15.0 |
| SD1 | MH1 | 468.25 | 471.87 | 56.35 | 6.425 | HDPE | 15.0 |
| HW1 | SD1 | 467.50 | 468.25 | 30.58 | 2.452 | HDPE | 15.0 |
| SD5 | SD6 | 473.18 | 473.50 | 62.38 | 0.521 | HDPE | 15.0 |
| MH2 | SD5 | 472.82 | 473.18 | 67.02 | 0.537 | HDPE | 15.0 |
| SD4 | MH2 | 468.25 | 472.82 | 48.32 | 7.387 | HDPE | 15.0 |
| ES1 | SD4 | 469.00 | 469.25 | 33.80 | 0.740 | HDPE | 15.0 |

| NAME | NORTHING | EASTING | RIM ELEV(FT) | INVERT-IN ELEV(FT) | INVERT-OUT ELEV(FT) | STRUCTURE ID |
|------|-----------|------------|--------------|--------------------|---------------------|----------------------------|
| SD3 | 705499.42 | 1113998.27 | 475.50 | N/A | 472.50 | MDSHA TYPE S SINGLE |
| SD2 | 705403.46 | 1113965.21 | 475.50 | 472.17 | 472.17 | MDSHA TYPE S SINGLE |
| MH1 | 705351.38 | 1113934.46 | 476.25 | 471.87 | 471.87 | MDSHA STANDARD 48" MANHOLE |
| SD1 | 705381.65 | 1113883.21 | 472.00 | 468.25 | 468.25 | MDSHA YARD INLET |
| HW1 | 705397.72 | 1113856.02 | 467.50 | N/A | N/A | Headwall-Type C |
| SD6 | 705094.68 | 1114134.82 | 476.50 | N/A | 473.50 | MDSHA TYPE S SINGLE |
| SD5 | 705115.16 | 1114073.14 | 476.50 | 473.18 | 473.18 | MDSHA TYPE S SINGLE |
| MH2 | 705137.40 | 1114036.24 | 476.75 | 472.82 | 472.82 | MDSHA STANDARD 48" MANHOLE |
| SD4 | 705098.53 | 1113989.99 | 473.00 | 468.25 | 468.25 | MDSHA YARD INLET |
| ES1 | 705069.42 | 1113960.57 | 470.25 | N/A | N/A | 15" METAL END SECTION |

- STORM DRAIN NOTES**
- In traffic areas, provide a minimum of 12 inches of initial backfill over the top of the pipe.
 - In traffic areas, bedding and backfill materials shall meet the requirements of AASHTO M145 Soil Class A-1, A-2.4, A-2.5 or A-3.
 - HDPE Pipe shall be Dual Wall N-12 or equivalent. Installation shall be in accordance with ASTM D3231 & D3212 standards and ADS's published installation guidelines.
 - Pipe shall be watertight and sealed with gaskets.



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 49939
Expiration Date: 05/17/2024

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
TEL: 410-326-1111
FAX: 410-326-1112
WWW.FSA-INC.COM

| DATE | DESCRIPTION |
|------------|-----------------------------|
| 11.22.2023 | REVISED PER AGENCY COMMENTS |
| 05.15.2024 | REVISED PER AGENCY COMMENTS |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

PROJECT NO: 6572.1
DWN BY: ABRAM MYERS
DATE: 07.28.2023
PROJECT MANAGER: FREDERICK SEIBERT
EMAIL: FSEIBERT@FSA-INC.COM
TAG MAN - GRID - PARCEL: 0057-0012-0594
SCALE: AS SHOWN

CONSTRUCTION PROFILES

C-401
SHEET 09 OF 12

01 C-501 DETAIL E-9-2 AT-GRADE INLET PROTECTION

STANDARD SYMBOL
AGIP

MAXIMUM DRAINAGE AREA = 1 ACRE

CONSTRUCTION SPECIFICATIONS

- USE NONWOVEN GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS.
- LIFT GRATE AND WRAP WITH NONWOVEN GEOTEXTILE TO COMPLETELY COVER ALL OPENINGS. SECURE WITH WIRE TIES AND SET GRATE BACK IN PLACE.
- PLACE CLEAN 3/4 TO 1 1/2 INCH STONE OR EQUIVALENT RECYCLED CONCRETE 6 INCHES THICK ON THE GRATE.
- STORM DRAIN INLET PROTECTION REQUIRES FREQUENT MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AFTER EACH RAIN EVENT TO MAINTAIN FUNCTION AND AVOID PREMATURE CLOGGING. IF INLET PROTECTION DOES NOT COMPLETELY DRAIN WITHIN 24 HOURS AFTER A STORM EVENT, IT IS CLOGGED. WHEN THIS OCCURS, REMOVE ACCUMULATED SEDIMENT AND CLEAN, OR REPLACE GEOTEXTILE AND STONE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

02 C-501 DETAIL E-1 SILT FENCE

STANDARD SYMBOL
SF

CONSTRUCTION SPECIFICATIONS

- USE WOOD POSTS 1 1/2 X 1 1/2 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD. AS AN ALTERNATIVE TO WOODEN POST USE STANDARD "T" OR "U" SECTION STEEL POSTS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT.
- USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND NO MORE THAN 6 FEET APART.
- USE WOVEN SLIT FILM GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.
- PROVIDE MANUFACTURER CERTIFICATION TO THE AUTHORIZED REPRESENTATIVE OF THE INSPECTION/ENFORCEMENT AUTHORITY SHOWING THAT THE GEOTEXTILE USED MEETS THE REQUIREMENTS IN SECTION H-1 MATERIALS.
- EMBED GEOTEXTILE A MINIMUM OF 8 INCHES VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.
- WHERE TWO SECTIONS OF GEOTEXTILE ADJOIN, OVERLAP, TWIST, AND STAPLE TO POST IN ACCORDANCE WITH THIS DETAIL.
- EXTEND BOTH ENDS OF THE SILT FENCE A MINIMUM OF FIVE HORIZONTAL FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT TO PREVENT RUNOFF FROM GOING AROUND THE ENDS OF THE SILT FENCE.
- REMOVE ACCUMULATED SEDIMENT AND DEBRIS WHEN BULGES DEVELOP IN SILT FENCE OR WHEN SEDIMENT REACHES 25% OF FENCE HEIGHT. REPLACE GEOTEXTILE IF TORN, IF UNDERMINING OCCURS, REINSTALL FENCE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

03 C-501 DETAIL B-1 STABILIZED CONSTRUCTION ENTRANCE

STANDARD SYMBOL
SCE

CONSTRUCTION SPECIFICATIONS

- PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (30 FEET FOR SINGLE RESIDENCE LOT). USE MINIMUM WIDTH OF 10 FEET. FLARE SCE 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- PIPE ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD THE SCE UNDER THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PROTECT PIPE INSTALLED THROUGH THE SCE WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 12 INCHES OF STONE OVER THE PIPE. PROVIDE PIPE AS SPECIFIED ON APPROVED PLAN. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE IS NOT NECESSARY. A MOUNTABLE BERM IS REQUIRED WHEN SCE IS NOT LOCATED AT A HIGH SPOT.
- PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS.
- PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE.
- MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, DROPPED, OR TRACKED ONTO ADJACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

04 C-501 DETAIL B-4-6-B TEMPORARY SOIL STABILIZATION MATTING SLOPE APPLICATION

STANDARD SYMBOL
TSSMS - * lb/ft² (* INCLUDE SHEAR STRESS)

CONSTRUCTION SPECIFICATIONS

- USE MATTING THAT HAS A DESIGN VALUE FOR SHEAR STRESS EQUAL TO OR HIGHER THAN THE SHEAR STRESS DESIGNATED ON APPROVED PLANS.
- USE TEMPORARY SOIL STABILIZATION MATTING MADE OF DEGRADABLE (LASTS 6 MONTHS MINIMUM) NATURAL OR MAN-MADE FIBERS (MOSTLY ORGANIC). MAT MUST HAVE UNIFORM THICKNESS AND DISTRIBUTION OF FIBERS THROUGHOUT AND BE SMOLDER RESISTANT. CHEMICALS USED IN THE MAT MUST BE NON-LEACHING AND NON-TOXIC TO VEGETATION AND SEED GERMINATION AND NON-HARMFUL TO THE SKIN. IF PRESENT, NETTING MUST BE EXTRUDED PLASTIC WITH A MAXIMUM MESH OPENING OF 2x2 INCHES AND SUFFICIENTLY BONDED OR SEWN ON 2 INCH CENTERS ALONG LONGITUDINAL AXIS OF THE MATERIAL TO PREVENT SEPARATION OF THE NET FROM THE PARENT MATERIAL.
- SECURE MATTING USING STEEL STAPLES, WOOD STAKES, OR BIODEGRADABLE EQUIVALENT. STAPLES MUST BE "U" OR "T" SHAPED STEEL WIRE HAVING A MINIMUM GAUGE OF NO. 11 AND NO. 8 RESPECTIVELY. "U" SHAPED STAPLES MUST AVERAGE 1 TO 1 1/2 INCHES WIDE AND BE A MINIMUM OF 6 INCHES LONG. "T" SHAPED STAPLES MUST HAVE A MINIMUM 8 INCH MAIN LEG, A MINIMUM 1 INCH SECONDARY LEG, AND A MINIMUM 4 INCH HEAD. WOOD STAKES MUST BE ROUGH-SAWN HARDWOOD, 12 TO 24 INCHES IN LENGTH, 1 1/2 INCH IN CROSS SECTION, AND WEDGE SHAPED AT THE BOTTOM.
- PERFORM FINAL GRADING, TOPSOIL APPLICATION, SEEDBED PREPARATION, AND PERMANENT SEEDING IN ACCORDANCE WITH SPECIFICATIONS. PLACE MATTING WITHIN 48 HOURS OF COMPLETING SEEDING OPERATIONS UNLESS END OF WORKDAY STABILIZATION IS SPECIFIED ON THE APPROVED EROSION & SEDIMENT CONTROL PLAN.
- UNROLL MATTING DOWNSLOPE. LAY MAT SMOOTHLY AND FIRMLY UPON THE SEEDBED SURFACE. AVOID STRETCHING THE MATTING.
- OVERLAP OR ABUT ROLL EDGES PER MANUFACTURER RECOMMENDATIONS. OVERLAP ROLL ENDS BY 6 INCHES (MINIMUM), WITH THE UPSLOPE MAT OVERLAPPING ON TOP OF THE DOWNSLOPE MAT.
- KEY IN THE UPSLOPE END OF MAT 6 INCHES (MINIMUM) BY DIGGING A TRENCH, PLACING THE MATTING ROLL END IN THE TRENCH, STAPLING THE MAT IN PLACE, REPLACING THE EXCAVATED MATERIAL, AND TAMPING TO SECURE THE MAT END IN THE KEY.
- STAPLE/STAKE MAT IN A STAGGERED PATTERN ON 4 FOOT (MAXIMUM) CENTERS THROUGHOUT AND 2 FOOT (MAXIMUM) CENTERS ALONG SEAMS, JOINTS, AND ROLL ENDS.
- ESTABLISH AND MAINTAIN VEGETATION SO THAT REQUIREMENTS FOR ADEQUATE VEGETATIVE ESTABLISHMENT ARE CONTINUOUSLY MET IN ACCORDANCE WITH SECTION B-4 VEGETATIVE STABILIZATION.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL
U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

SMARTfence® 42 Detail:

05 C-501

SMARTfence® 42 is NTPEP Compliant
GTX-2018-01-187

SMARTfence 42™ SEDIMENT & PERIMETER CONTROL

INSTALLATION INSTRUCTIONS

STEP 1: Excavate trench a maximum of 4" wide and 6" deep. The trench shall be hand-cleaned following excavation to remove bulky debris such as rocks, sticks, and soil clods from the trench. Drive studied metal T-posts with anchor plates having a minimum weight of 1.25 lb/ft with a minimum 5 ft length. Drive post into ground a minimum of 18" depth. Post spacing must be no greater than 6 ft maximum.

STEP 2: Lay SMARTfence® 42 along proposed fence line next to anchor trench. Locate one end of the SMARTfence® 42 and position near the initial post. Position SMARTfence® 42 vertically along the initial post.

STEP 3: For the initial post, place the end of SMARTfence® 42 along the post height and rotate the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with steel wire or nylon ties.

STEP 4: For fastening SMARTfence® 42 to studded, metal T-posts using one of following methods:
- Method I (T-Post): 16-gage wire-attach SMARTfence® 42 to metal T-posts using the 16-gage 304 SS wire with mitered ends, securing the fence to the post using safety pliers.
- Method II (T-Post): 8" nylon heavy-duty, UV-stabilized, cable ties (zip-ties) with minimum 120-lb tensile strength. Puncture two 0.25" openings, spaced at a width apart that is roughly equivalent to the post width, and secure the fence to the post.

STEP 5: Drive the initial post with the attached fence into the ground to a 18" depth.

STEP 6: Drive the interior T-posts of the fence system into the ground at least 18".

STEP 7: Move to the next T-post while pulling SMARTfence® 42 tightly. Position the SMARTfence® 42 in front of the adjacent T-post in preparation for fastening the fence to the post. Fasten fence to post at all four (4) orange-colored band locations as instructed in Step 4.

STEP 8: After the interior posts have been fastened to the SMARTfence® 42, secure the fence to the final post by pulling the final section of fencing taut, then rotating the post 360 degrees, maintaining tension on the fence system. Secure the fence to the post at all four (4) orange-colored band locations with the steel wire or nylon ties per Step 4. Drive the final post into the ground to a 18" depth.

STEP 9: Place bottom 8" of fabric into the trench. Backfill trench (overfill) with soil placed around fabric. Compact soil backfill with either manual tamping (or other manual means) or via mechanical equipment such as the front wheel of a tractor, skid steer, roller, or other device (per Note 5 of ASTM D 6462 Standard Practice for Silt Fence Installation). Do not damage the fabric during compaction (damaged fabric shall be replaced).

Please contact our team at 800-448-3636 or info@acfv.com with any questions regarding the installation process.
LET'S GET IT DONE!™

SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMPs) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
 - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1), and
 - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- All storm drain and sanitary sewer lines not in paved areas are to be mulched and seeded within 3 days of initial backfill unless otherwise specified on plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days after initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B. of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.

For sites 1.0 acre or more, the following are required:

- Maryland Department of the Environment, General Permit for Stormwater Associated with a Construction Activity, NPDES Permit Number MDRC, State Discharge Permit Number 20CP, or an Individual Permit.
- The Maryland Department of the Environment (General/Individual Permit - Notice of Intent-NOI) application and permit shall be posted and/or available on-site at all times.
- During construction, all soil erosion and sediment control practices (BMPs) shall be inspected and recorded on the "Standard Inspection Form", "General Permit for Stormwater Associated with Construction Activity" per the Maryland Department of the Environment (General/Individual Permit - Notice of Intent-NOI).
- Following construction and release of the site for soil erosion and sediment control by the Washington County Soil Conservation District, i.e., all portions of a site have been permanently stabilized, and all stormwater discharges from construction sites that are authorized by the permit are eliminated, the authorized permittee shall submit the Maryland Department of the Environment, General/Individual Permit - Notice of Termination-NOT.

Sinkhole Remediation Detail
Figure 1

Notes:
Inverted Filter 1
Procedure for installing inverted filter to treat sinkhole.

- Remove and properly dispose of materials dumped in and around the sinkhole.
- Excavate loose material from sinkhole and try to expose the solution void(s) in the bottom. Enlarge the sinkhole, as necessary, to allow for installation of filter materials (Figure 1).
- Select a field stone that is about 1.5 times larger than the solution void(s). Place the stone(s) in the void(s) forming a secure "bridge". A geotextile may be needed to "lock" the stone "bridge" in place, as determined by the geotechnical engineer.
- Place a layer of filter material over the "bridge" at a minimum thickness of 18 inches. About 30 percent of the material should be larger than the openings between the bridge and the void(s). (A well placed "bridge" should not have large openings around it.) In most cases this material could be Rip Rap.
- Place a layer of smaller size filter material over the previous layer at a minimum thickness of 9 inches. The size should be 1/4 to 1/2 the size of the previous layer. In most cases this material could be C-33 sand or equivalent.
- Place a layer of sand size filter material over the previous layer at a minimum thickness of 9 inches. The sand has to be compatible in size with the previous layer to prevent piping. In most cases this material could be C-33 sand or equivalent.
- (A non-woven filter cloth with a burst strength between 100 to 200 psi can be substituted for the stone and sand filter materials discussed in 5 and 6.)
- Backfill over the last filter layer (or filter cloth) with soil material to the surface. The reuse of any soil material excavated from sinkhole should be considered. Overfill by about 5 percent to allow for settlement. The material should be soil with at least 50% clay materials and a minimum of 3 feet thick. The fill materials should be compacted to a minimum of 95% of the standard proctor (AASHTO T-99). Any available topsoil should be placed on the surface.
- Stone used for the "bridge" and the filters should have a rock strength at least equal to moderately hard (i.e. resistant to abrasion or cutting by knife blade but can be easily dent or broken with light blows of hammer). Shale or similar soft and non-durable rock is not acceptable.

TEMPORARY SEEDING SUMMARY

| NO. | SPECIES | APPLICATION RATE (lb/ac) | SEEDING DATES | SEEDING DEPTHS | FERTILIZER RATE (10-20-20) | | LIME RATE |
|-----|---------|--------------------------|--|----------------|---------------------------------|---------------------------------|-----------|
| | | | | | N | P205 | |
| 1 | Barley | 96 | Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15 | 1" | 436 lb/ac. (10 lb/1000 s.f.) | 2 tons/ac. (90 lb/1000 s.f.) | |

PERMANENT SEEDING SUMMARY

| NO. | SPECIES | APPLICATION RATE (lb/ac) | SEEDING DATES | SEEDING DEPTHS | FERTILIZER RATE (10-20-20) | | | LIME RATE |
|-----|--------------------|--------------------------|---|----------------|-------------------------------|-------------------------------|-------------------------------|---------------------------------|
| | | | | | N | P205 | K20 | |
| 6 | Tall Fescue | 40 | Zone 6a: Mar 15-May 31/Aug 1-Sept 30 | 1/4"-1/2" | 45 lb/ac. (1 lb/1000 s.f.) | 90 lb/ac. (2 lb/1000 s.f.) | 90 lb/ac. (2 lb/1000 s.f.) | 2 tons/ac. (90 lb/1000 s.f.) |
| | Perennial Ryegrass | 25 | Zone 6b: Mar 1-May 15/Aug 1-Oct 15 | | | | | |
| | White Clover | 5 | | | | | | |

SINKHOLE REMEDIATION DETAIL

IF SINKHOLES OCCUR ON SITE DURING CONSTRUCTION A GEOTECHNICAL ENGINEER SHALL BE CONTACTED. REMEDIATION OF ANY SINKHOLES SHALL BE UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER.

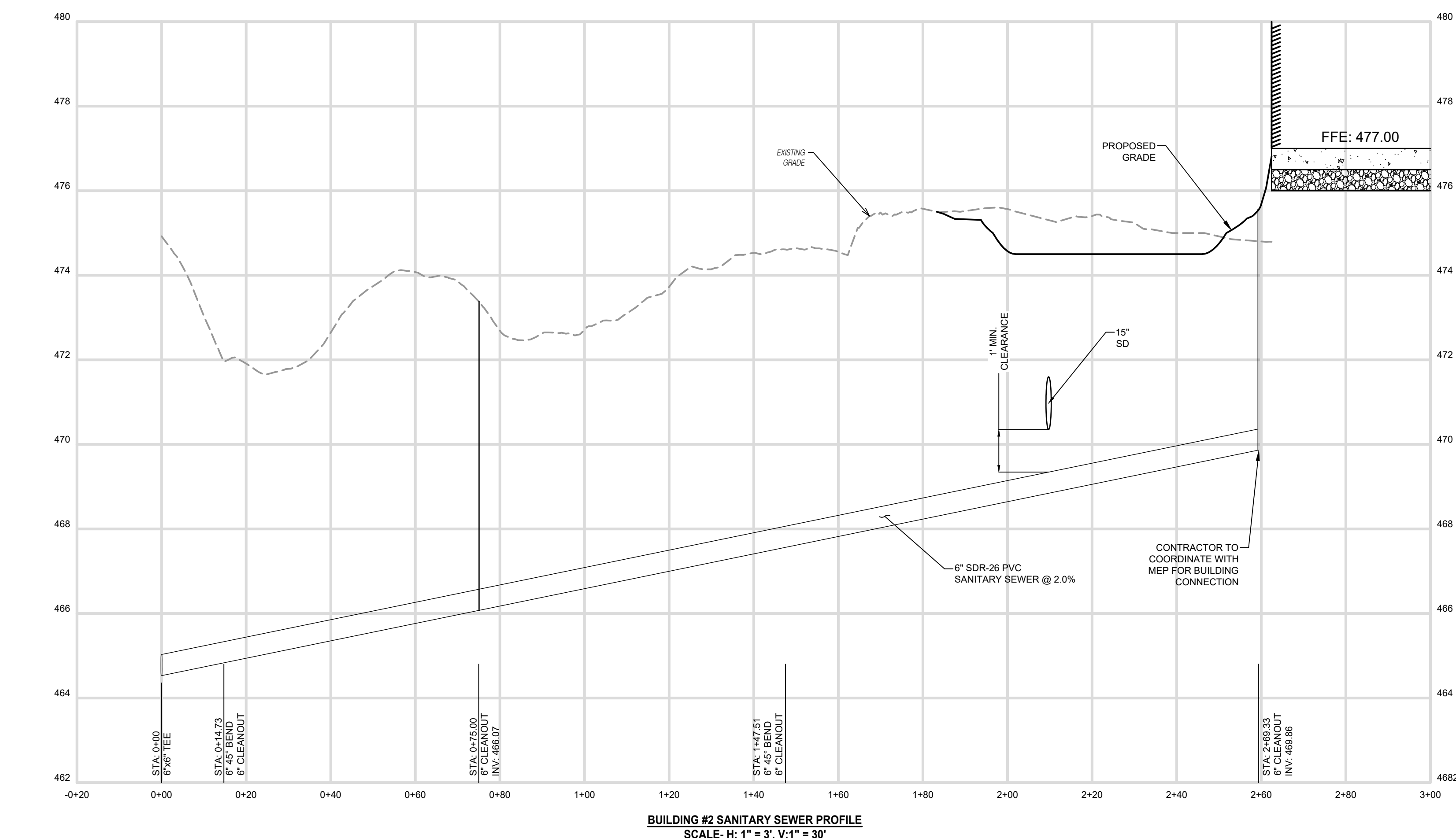
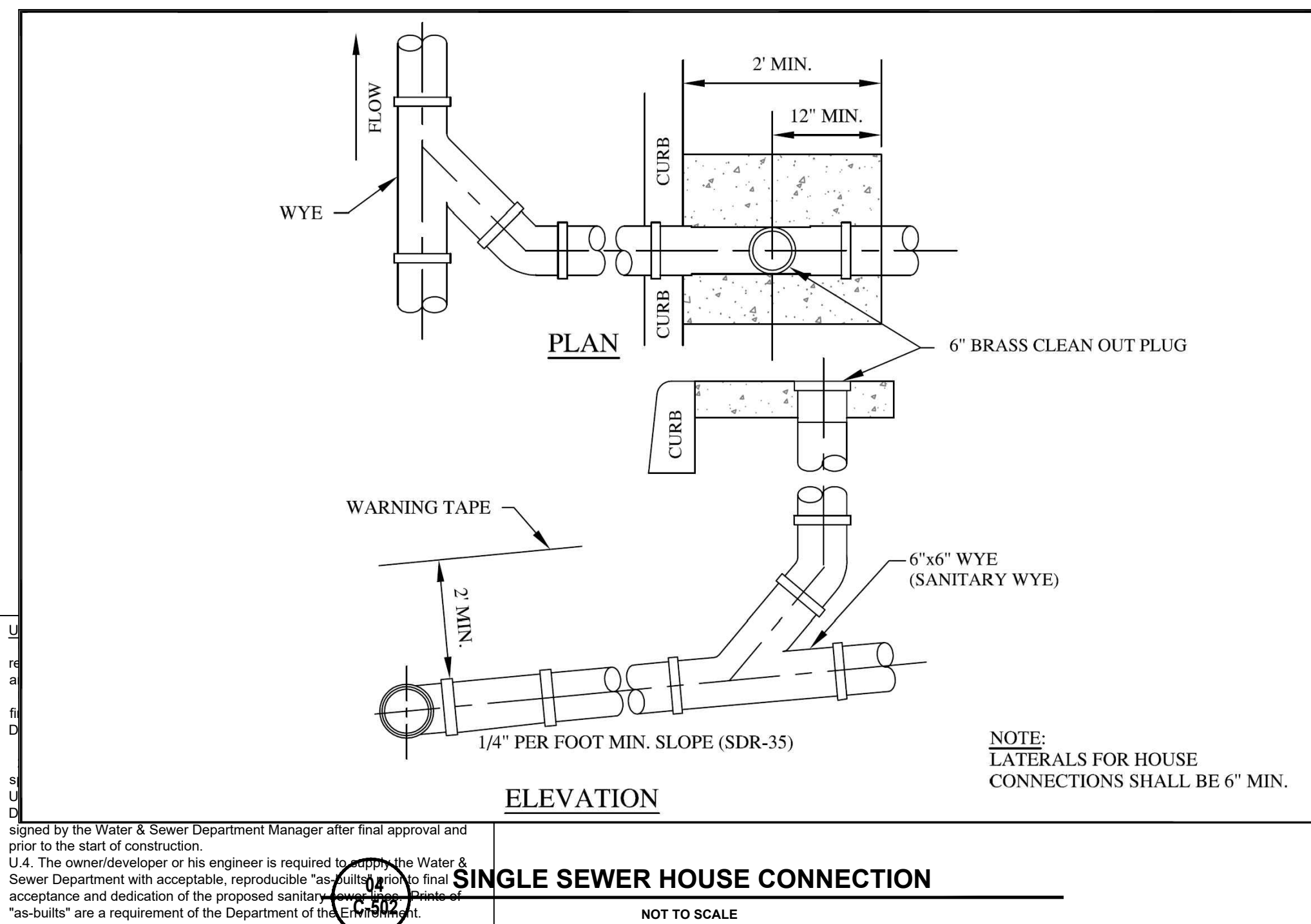
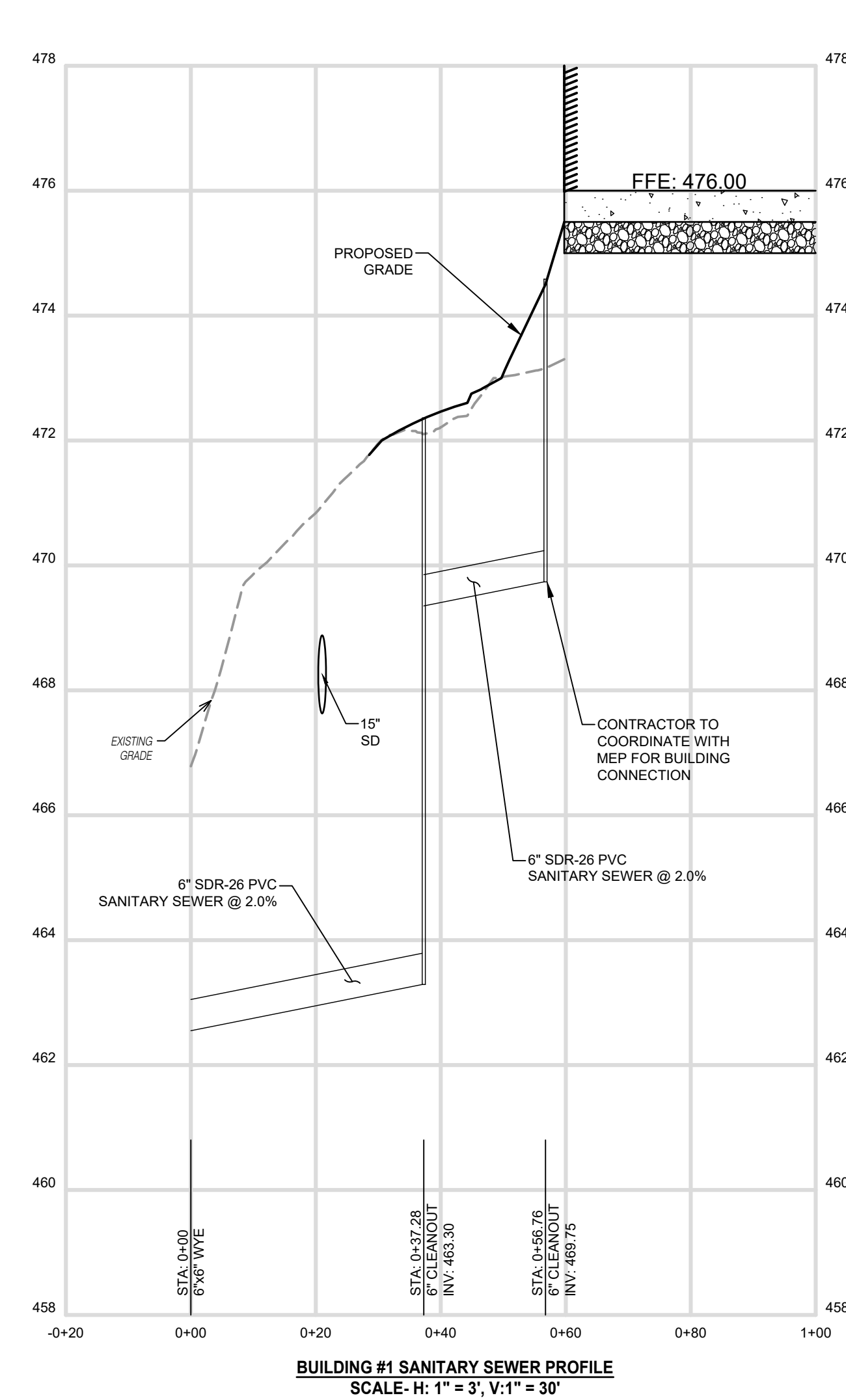
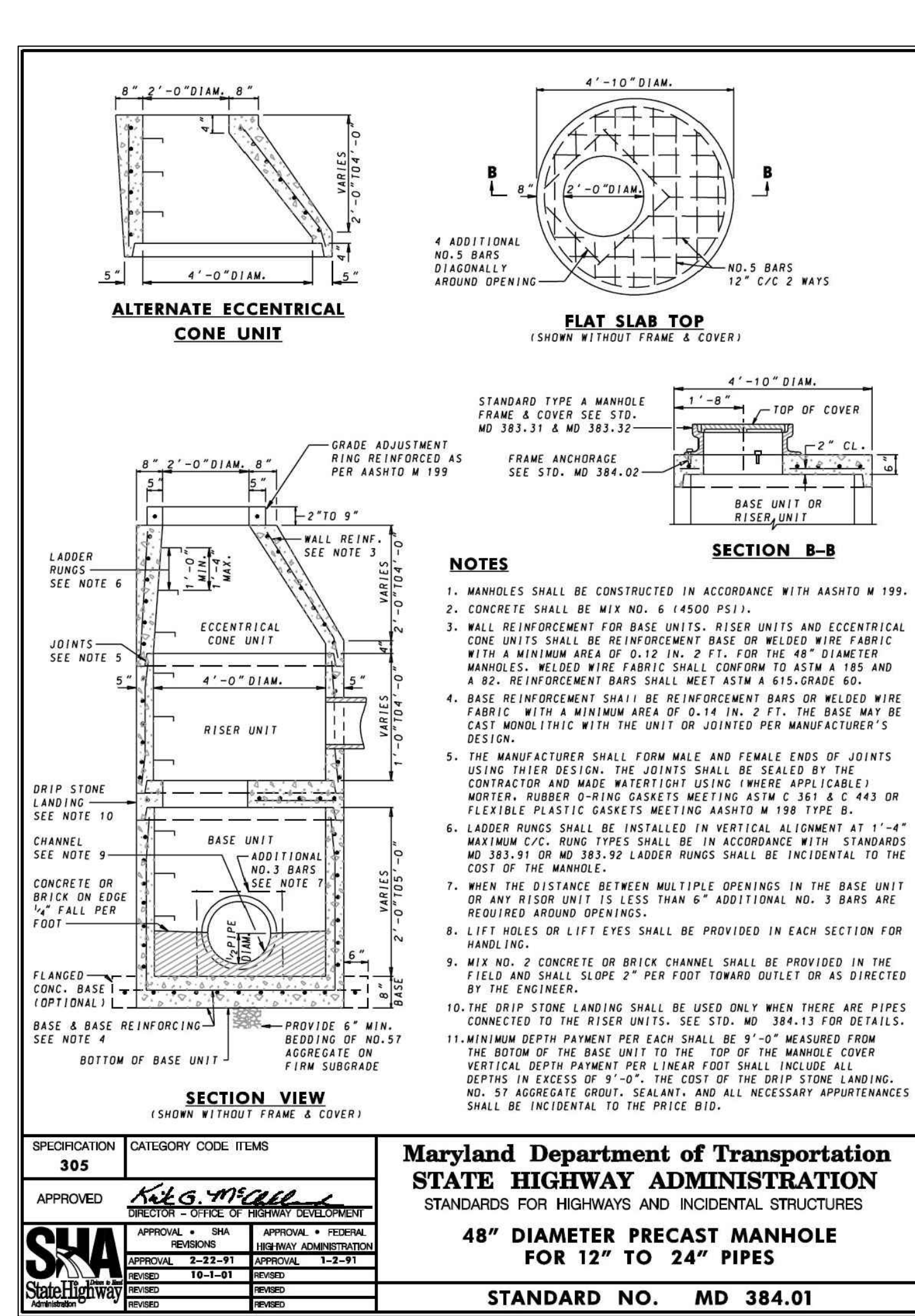
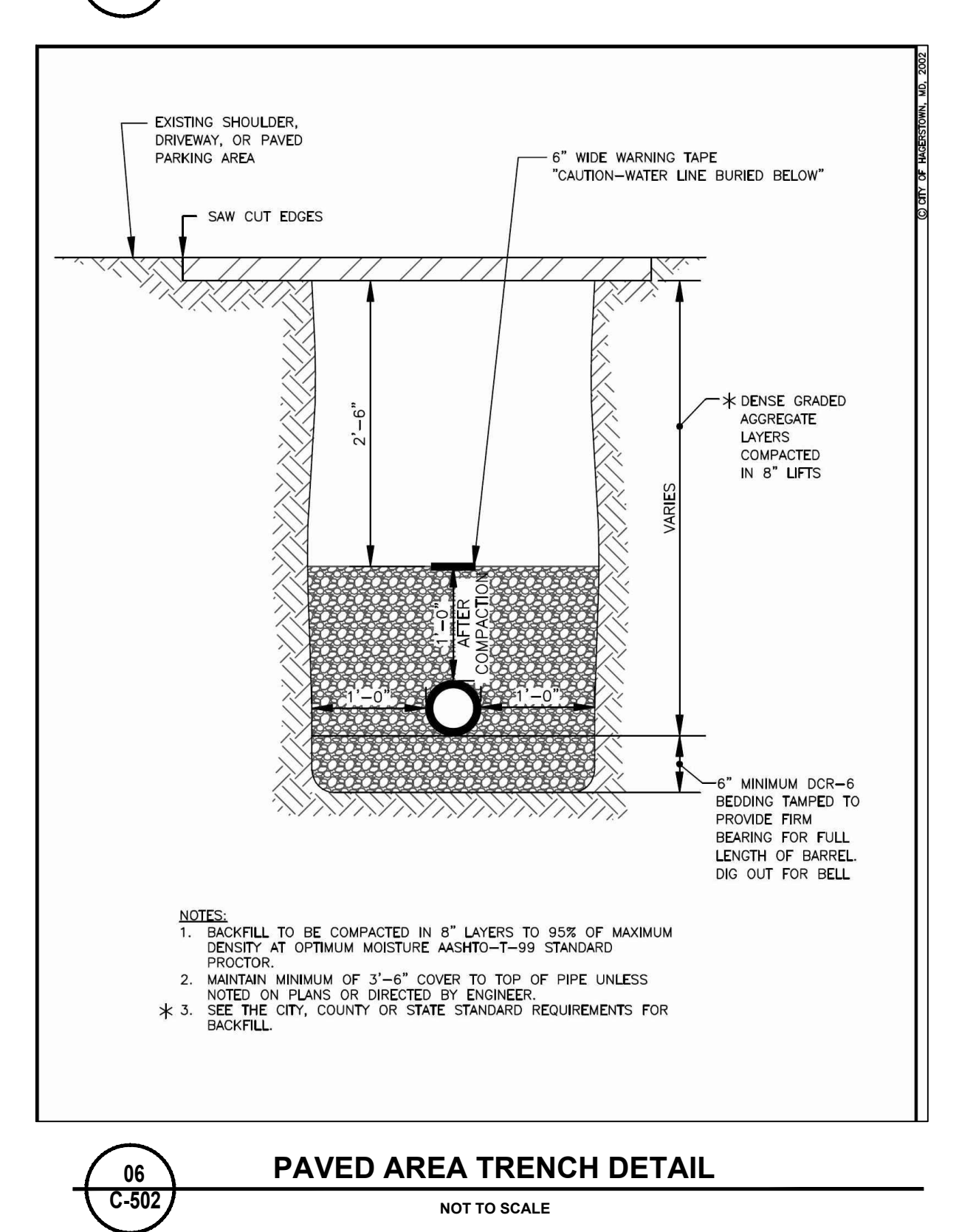
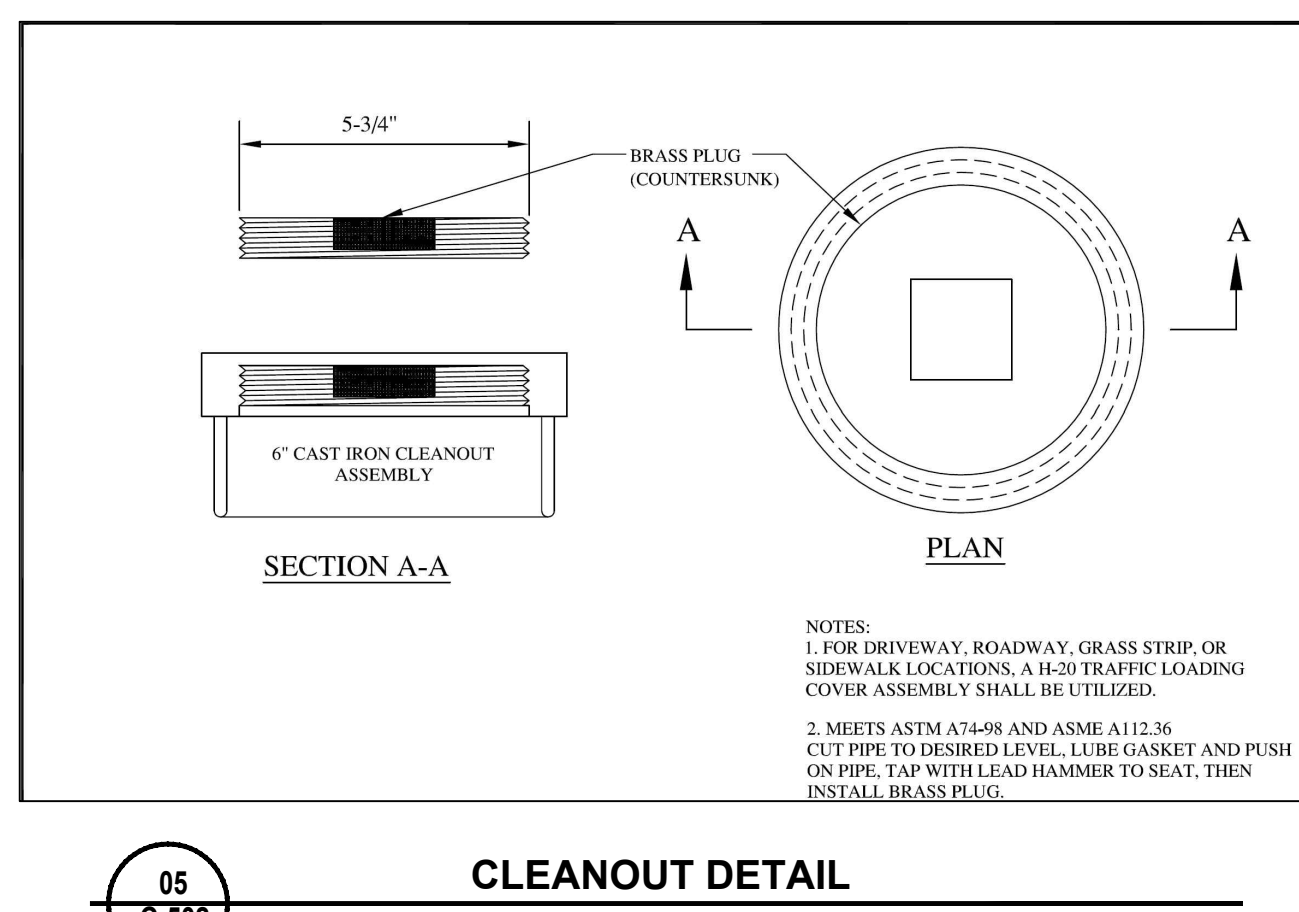
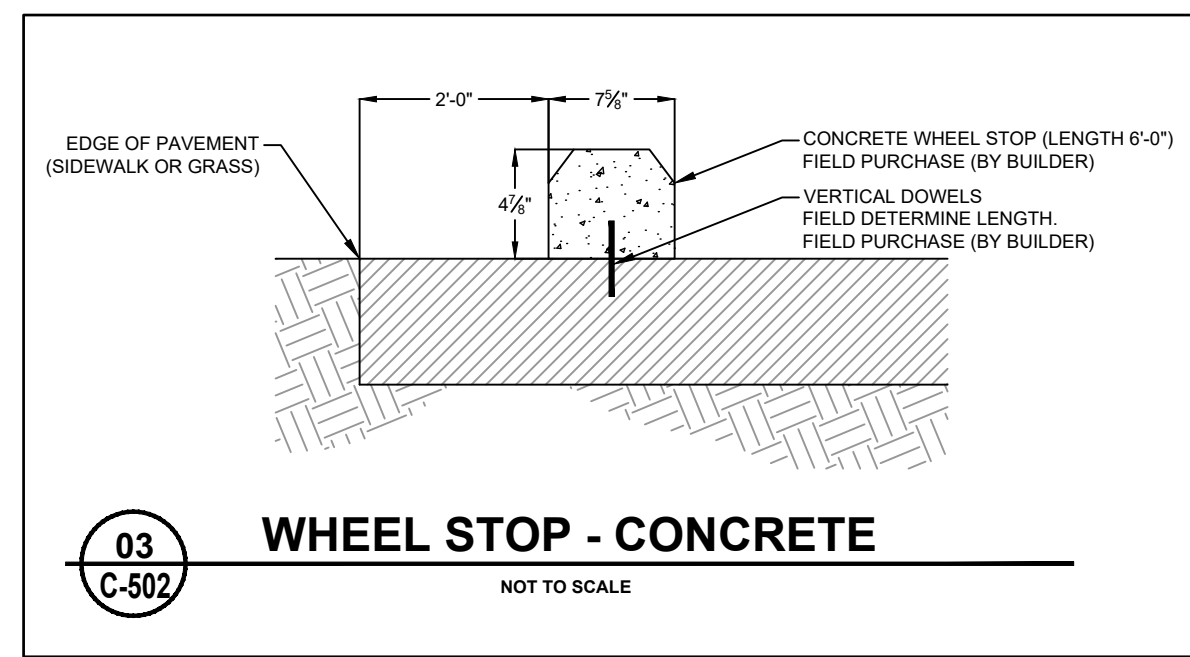
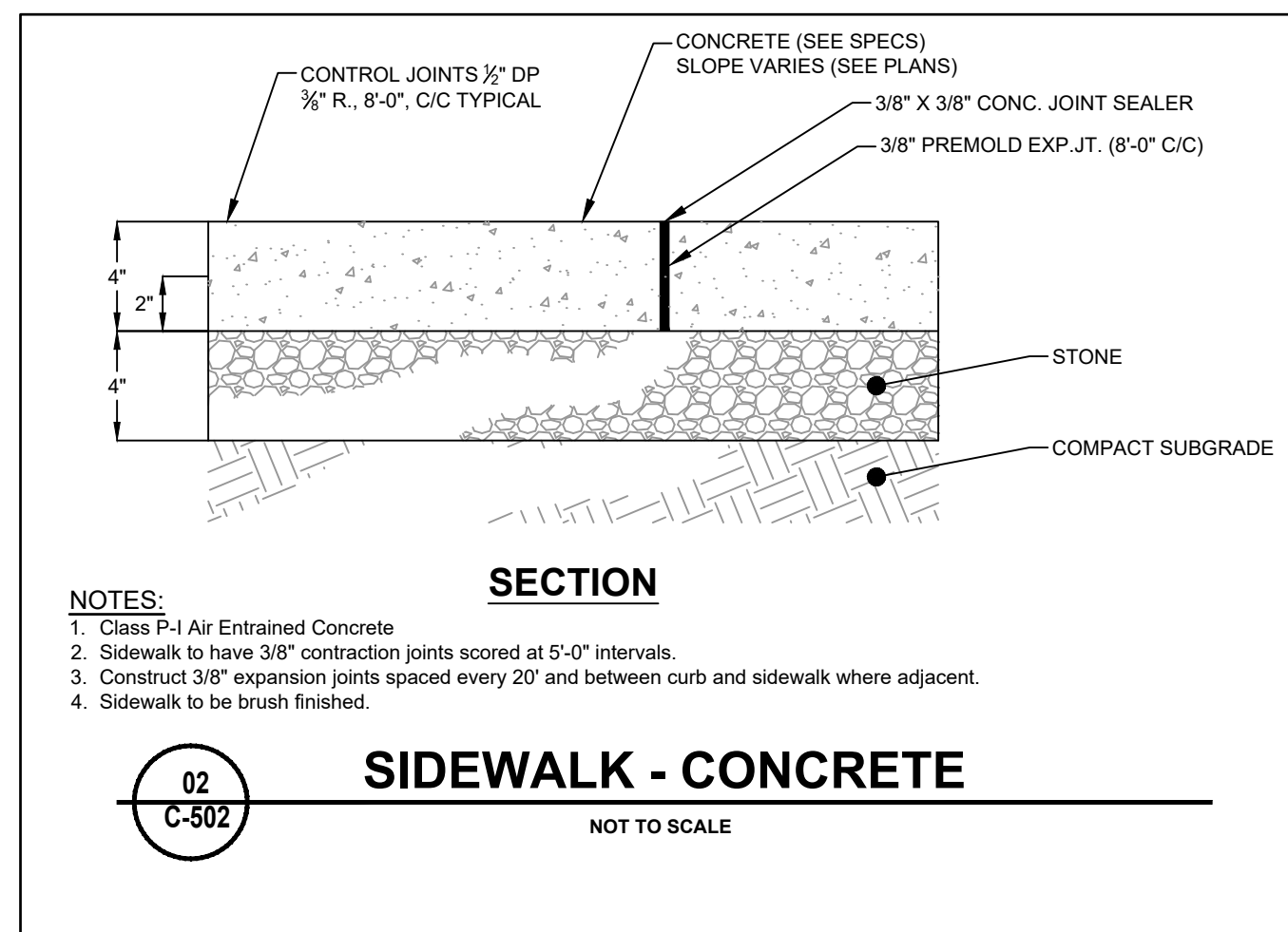
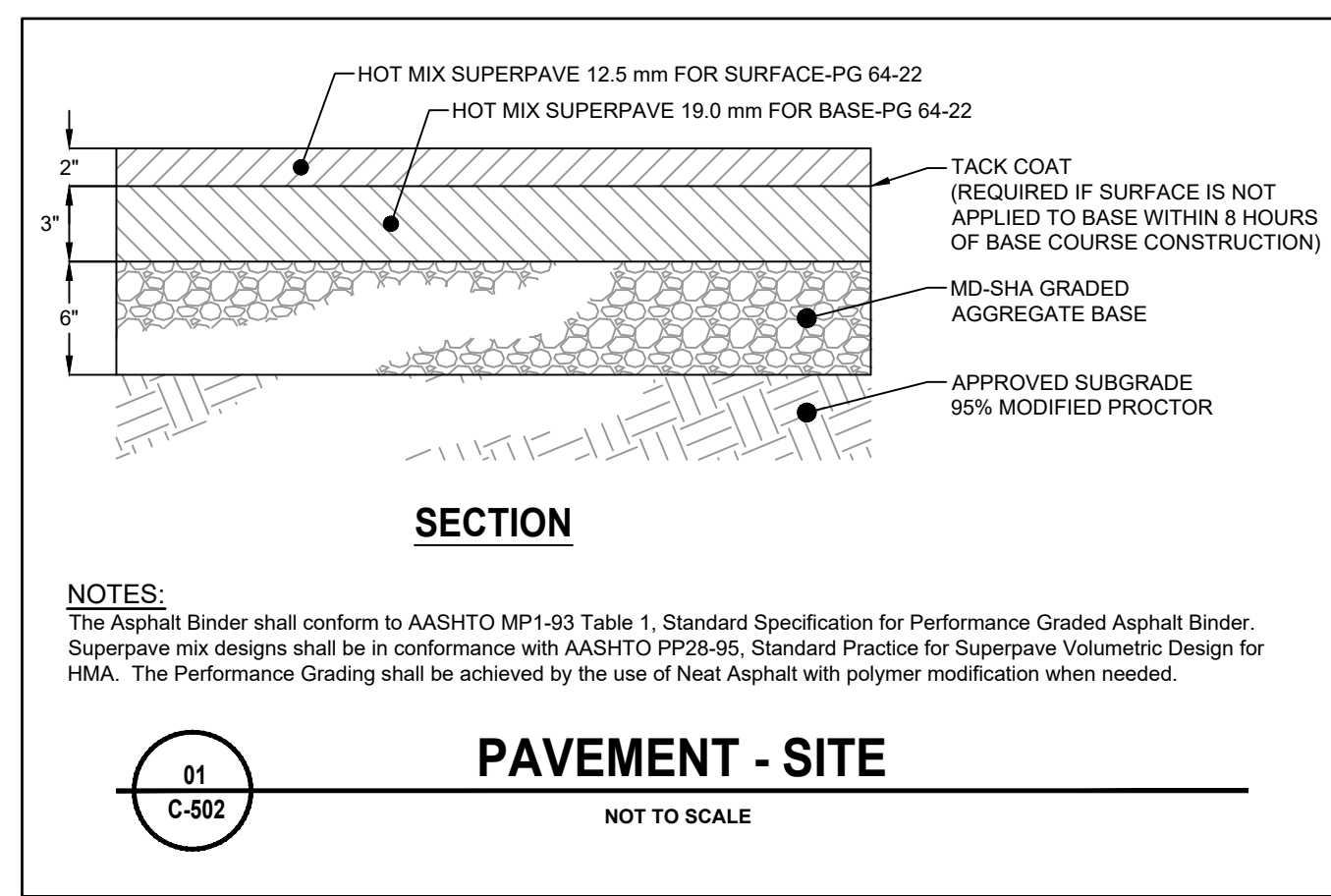
PROJECT NO: 6572.1
DWN BY: ABRAM MYERS
DATE: 07.28.2023
PROJECT MANAGER: TFREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL: 0057-0012-0594
SCALE: N.T.S.
SHEET TITLE

FSA
FREDERICK SEBERT ASSOCIATES, INC.
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

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WASHINGTON COUNTY / MARYLAND
132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

CONSTRUCTION DETAILS & NOTES - E&S
C-501
SHEET 10 OF 12



signed by the Water & Sewer Department Manager after final approval and prior to the start of construction.

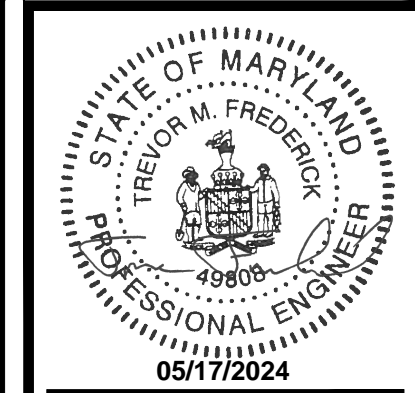
U.4. The owner/developer or his engineer is required to provide the Water & Sewer Department with acceptable, reproducible "as-built" drawings to final acceptance and dedication of the proposed sanitary sewer system. The "as-built" drawings are a requirement of the Department of the Environment & General Services.

U.5. The contractor shall verify the location and elevation of existing utilities before starting construction.

U.6. The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.

U.7. Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.

U.8. Tracer wire to be installed with all 2" HDPE waterline.



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 4892
Expiration Date: 05/17/2024

FSA
FREDERICK SEIBERT ASSOCIATES, INC.
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
132 SOUTH POTOMAC STREET
HAGERSTOWN, MARYLAND 21740
301.797.8800
301.797.8117

| DATE | REVISION/AGENCY COMMENTS |
|------------|--------------------------|
| 11/29/2023 | |

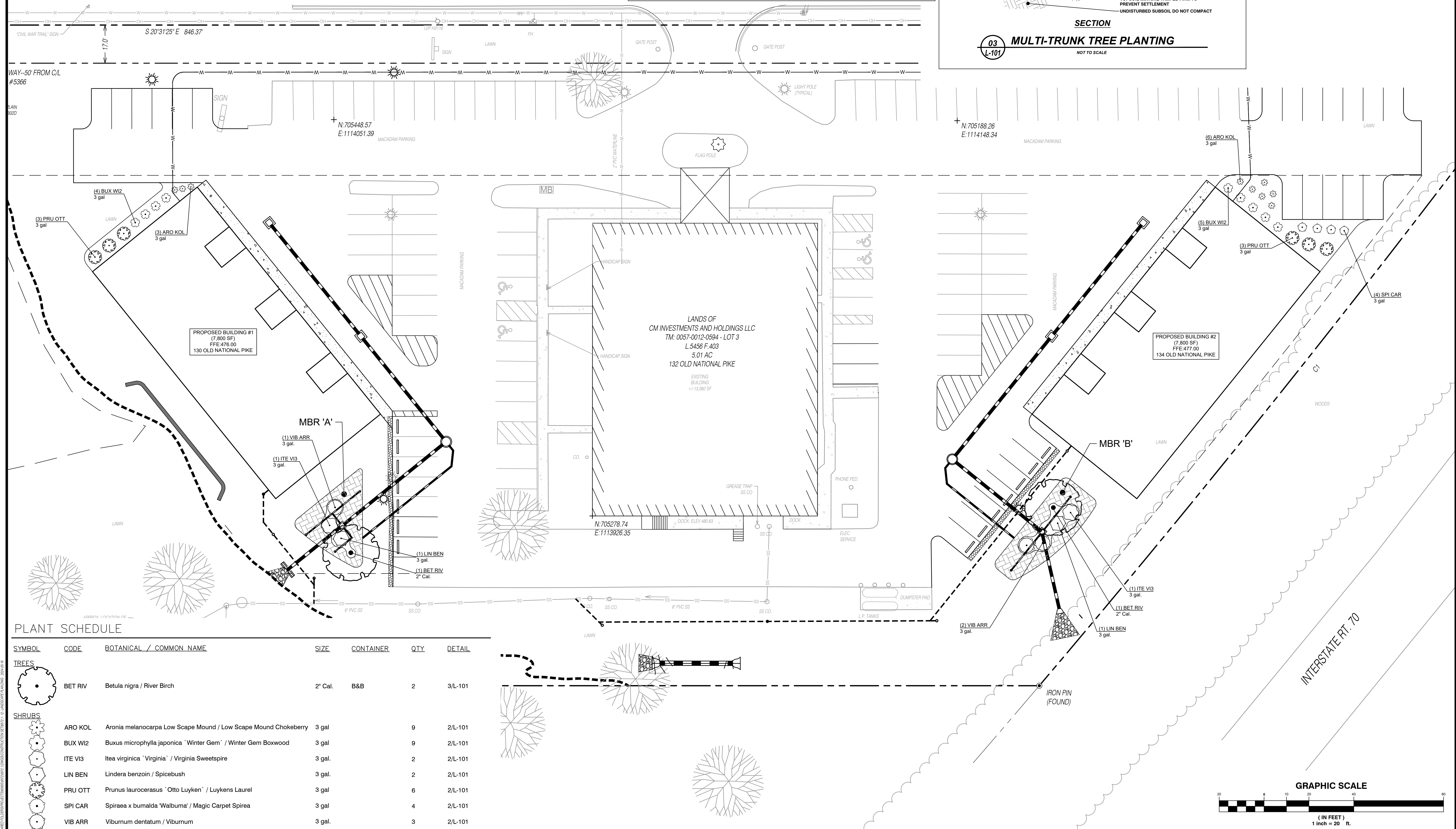
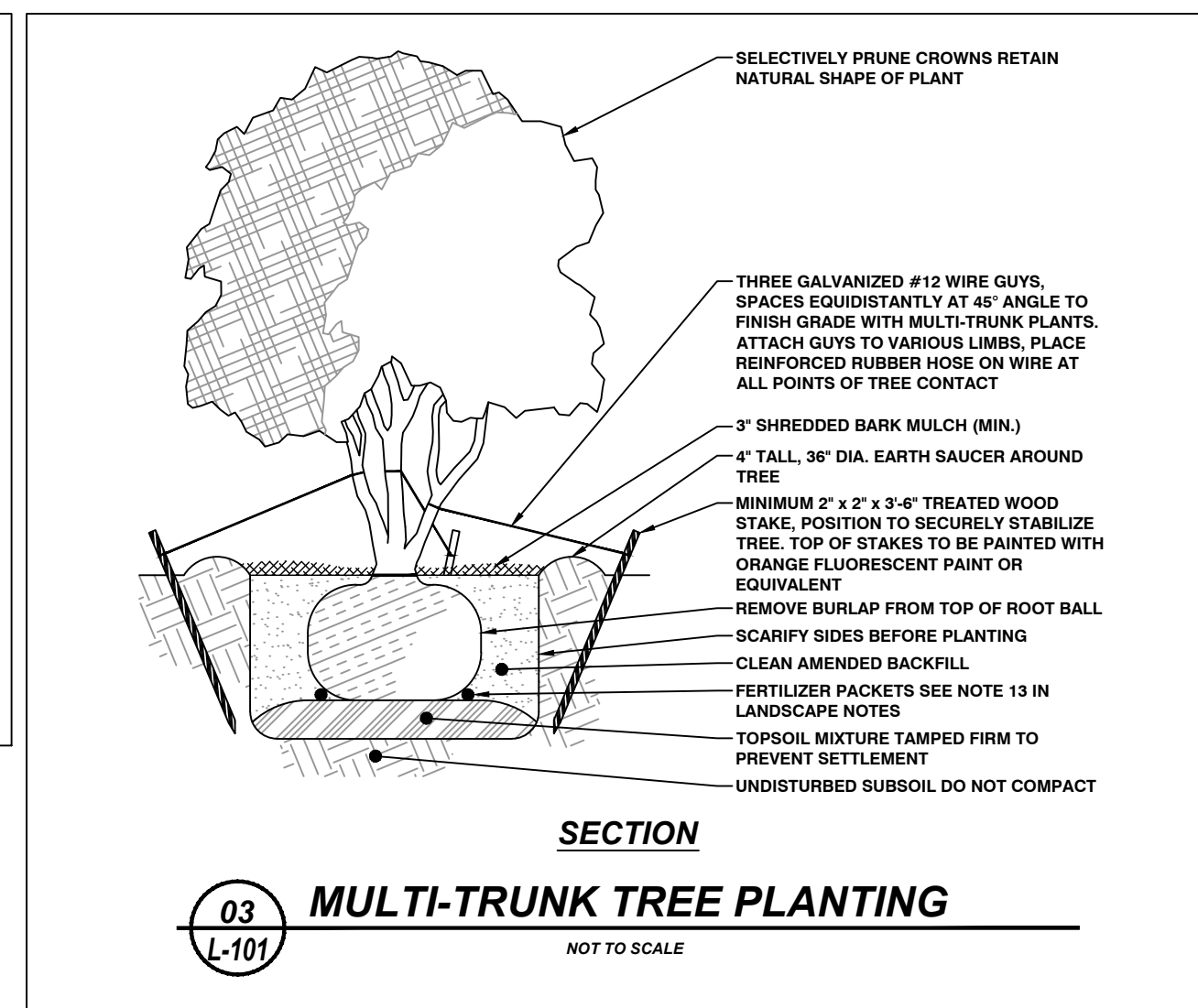
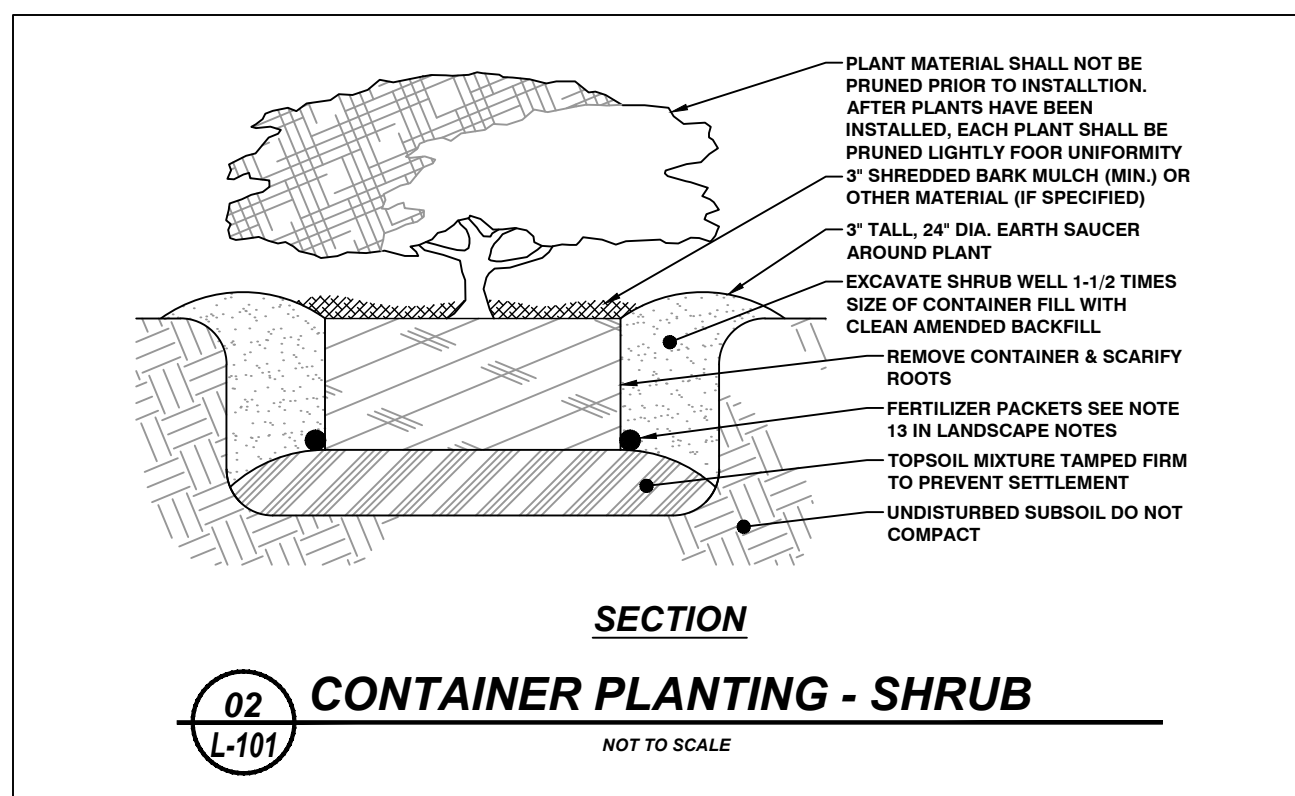
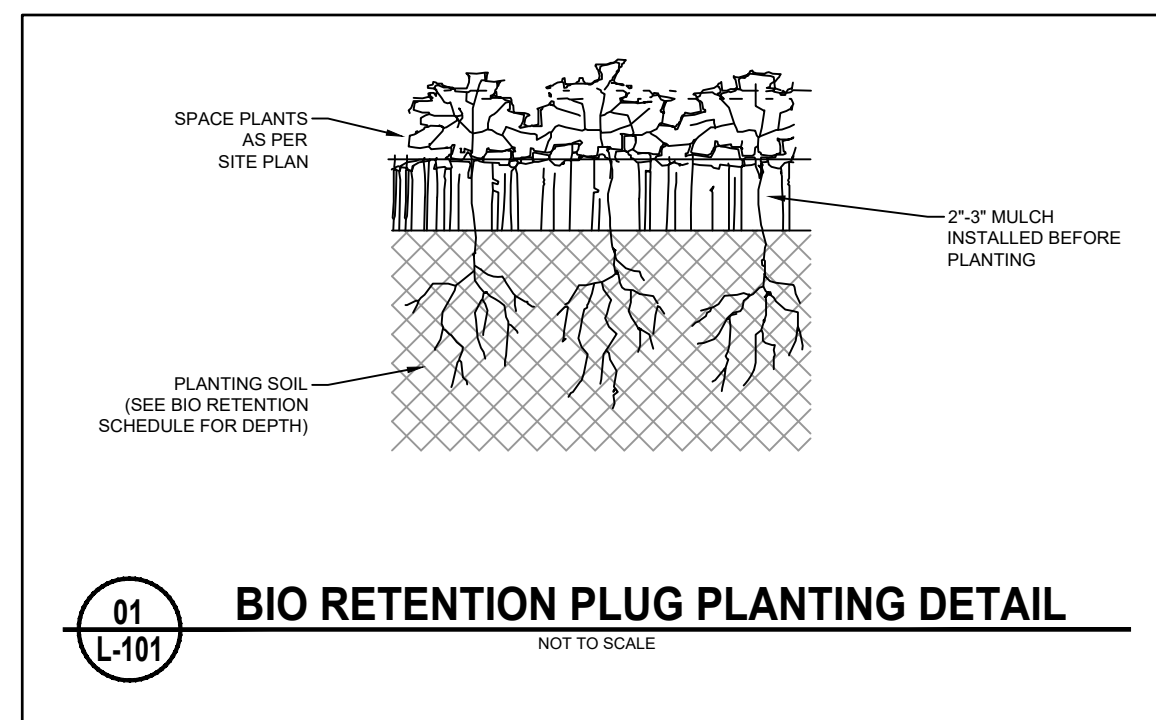
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

| | |
|--------------------------|------------------------|
| PROJECT NO: | 6572.1 |
| DWN BY: | ABRAM MYERS |
| DATE: | 07.28.2023 |
| PROJECT MANAGER: | TFREDERICK |
| EMAIL: | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL: | 0057-0012-0584 |
| SCALE: | N.T.S. |

CONSTRUCTION DETAILS & NOTES - SITE & UTILITY

GENERAL LANDSCAPE NOTES:

- Landscape contractor to call PA One Call and have all underground utilities marked prior to any digging or planting.
- Landscape Contractor shall install all plant material in a timely fashion.
- Landscape Contractor shall be responsible for all watering, weeding, repairs and replacements prior to final acceptance.
- NO Substitutions of plant material without written permission of FSA. Planting plans have been proposed with plant sizes, types, and locations as important design elements.
- Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
- All plants shall be watered thoroughly during installation and prior to final acceptance.
- All bark mulched areas shall be first covered with Typar Weed Barrier or approved equal.
- All planting bed areas on the site shall be mulched with a hardwood bark mulch at a depth of approx. 3", unless noted otherwise.
- Plant material shall be inspected yearly in order to remove and replace dead, diseased vegetation.
- Warranted plant material that is 25% dead or more shall be considered dead and shall be replaced at no charge.
- All plant material shall be warranted for two years.
- The landscape contractor shall conduct a final inspection with the owner or owner's representative at the end of the warranty period.
- Fertilizer Packets are to be Nutri-Pak 16-8-8 or approved equal per manufacturer's recommendations.
- Landscape is recommended to be installed during the two growing seasons. Spring: April 15-June 15, Fall: September 1-November 1.
- Landscaping shall be maintained by the property owner(s). Maintenance shall include actions necessary to keep materials and plant life healthy, neat and orderly in appearance and free of litter and debris. All landscaped areas must be protected from damage by motor vehicles or pedestrians. Replacement of trees, shrubs, plants or other vegetation that do not survive must be replaced as soon as they show signs of dying with trees, shrubs or plants of a like size and type.
- Any changes to the approved landscape design shall be reviewed by the Township engineer to ensure consistency with this section.



PLANT SCHEDULE

| SYMBOL | CODE | BOTANICAL / COMMON NAME | SIZE | CONTAINER | QTY | DETAIL |
|---------------|---------|---|---------|-----------|-----|---------|
| TREES | | | | | | |
| | BET RIV | Betula nigra / River Birch | 2" Cal. | B&B | 2 | 3/L-101 |
| SHRUBS | | | | | | |
| | ARO KOL | Aronia melanocarpa Low Scape Mound / Low Scape Mound Chokeberry | 3 gal | | 9 | 2/L-101 |
| | BUX W12 | Buxus microphylla japonica 'Winter Gem' / Winter Gem Boxwood | 3 gal | | 9 | 2/L-101 |
| | ITE V13 | Itea virginica 'Virginia' / Virginia Sweetspire | 3 gal. | | 2 | 2/L-101 |
| | LIN BEN | Lindera benzoin / Spicebush | 3 gal. | | 2 | 2/L-101 |
| | PRU OTT | Prunus laurocerasus 'Otto Luyken' / Luykens Laurel | 3 gal | | 6 | 2/L-101 |
| | SPI CAR | Spiraea x bumalda 'Walburna' / Magic Carpet Spirea | 3 gal | | 4 | 2/L-101 |
| | VIB ARR | Viburnum dentatum / Viburnum | 3 gal. | | 3 | 2/L-101 |

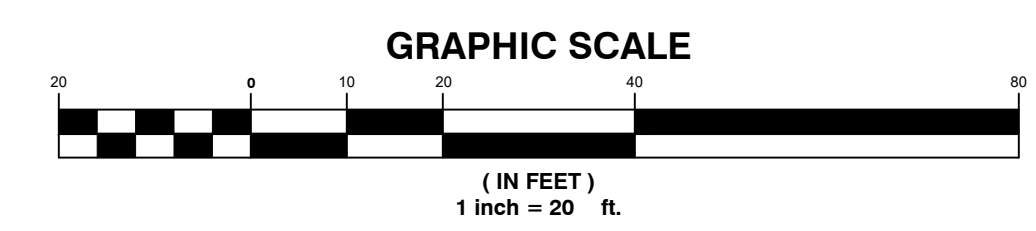
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 051772024
Expire Date 05/31/2024

FREDERICK, SEBERT & ASSOCIATES, INC.
ENGINEERS • ARCHITECTS • LANDSCAPE ARCHITECTS • LAND PLANNERS
115 EAST MAIN STREET
HAGERSTOWN, MARYLAND 21740
410.391.7600
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410.391.7619
410.391.7620

| DATE | REVISION | DESCRIPTION |
|------------|----------|-----------------------------|
| 11.22.2023 | 06 | REVISED PER AGENCY COMMENTS |
| 06.13.2024 | 05 | REVISED PER AGENCY COMMENTS |

CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE
HAGERSTOWN, MARYLAND 21740
WASHINGTON COUNTY / MARYLAND
CM INVESTMENTS AND HOLDINGS LLC
132 OLD NATIONAL PIKE HAGERSTOWN MD 21730

PROJECT NO: 6572.1
OWN BY: ABRAM MYERS
DATE: 07.28.2023
PROJECT MANAGER: TFREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL: 0057-0012-0594
SCALE: 1" = 20'
SHEET TITLE: LANDSCAPE PLAN
L-101
SHEET 12 OF 12



ELECTRICAL SYMBOL LEGEND (SYMBOLS ARE STANDARD AND MAY NOT ALL BE USED FOR EVERY PROJECT)

| | | | | | | | | | | | |
|--|--|-----------------|--|--|---------------------------------------|--|---|--|---|--|---|
| | SINGLE FACE EXIT SIGN | S | SINGLE POLE SWITCH | | PANEL - 120/208V | | 20A-120V DUPLEX RECEPTACLE | | FIRE ALARM CONTROL PANEL | | WALL MOUNTED FIRE ALARM HORN/STROBE 15/30/75/115 |
| | DOUBLE FACE EXIT SIGN | S ₃ | THREE WAY SWITCH | | PANEL - 277/480V | | 20A-120V DOUBLE DUPLEX RECEPTACLE | | FIRE ALARM ANNUNCIATOR PANEL | | WALL MOUNTED STROBE 15/30/75/115 |
| | EMERGENCY BATTERY UNIT | S ₄ | FOUR WAY SWITCH | | PANEL - 120/240V | | 20A-120V SIMPLEX RECEPTACLE | | FIRE ALARM EVACUATION CONTROL PANEL | | WALL MOUNTED FIRE ALARM HORN |
| | SINGLE / DUAL HEAD REMOTE LAMP | S ₀ | DIMMER SWITCH | | TRANSFORMER | | SPECIAL PURPOSE RECEPTACLE | | FIRE ALARM NOTIFICATION APPLIANCE PANEL | | CEILING MOUNTED FIRE ALARM HORN/STROBE 15/30/75/115 |
| | 2'X2' RECESSED VOLUMETRIC LIGHT FIXTURE / WITH EMERGENCY | S ₃₀ | THREE WAY DIMMER SWITCH | | CEILING MOUNTED CORD REEL | | SWITCHED 20A-120V DUPLEX RECEPTACLE | | FIRE ALARM SPEAKER AMPLIFIER | | CEILING MOUNTED STROBE 15/30/75/115 |
| | 2'X4' RECESSED VOLUMETRIC LIGHT FIXTURE / WITH EMERGENCY | S _k | KEYED SWITCH | | CEILING MOUNTED CORD DROP | | 20A-120V SIMPLEX CEILING MOUNTED RECEPTACLE | | FIRE ALARM BATTERY CABINET | | CEILING MOUNTED FIRE ALARM SPEAKER |
| | 2'X4' RECESSED PRISMATIC LENS LIGHT FIXTURE / WITH EMERGENCY | S _L | LOW VOLTAGE SWITCH | | POWER POLE | | 20A-120V DUPLEX CEILING MOUNTED RECEPTACLE | | DUCT DETECTOR REMOTE TEST STATION | | WALL MOUNTED FIRE ALARM SPEAKER |
| | 2'X2' RECESSED PRISMATIC LENS LIGHT FIXTURE / WITH EMERGENCY | S _M | MOMENTARY CONTACT SWITCH | | JUNCTION BOX | | 20A-120V DOUBLE DUPLEX CEILING MOUNTED RECEPTACLE | | DUCT SMOKE DETECTOR | | WALL MOUNTED FIRE ALARM SPEAKER/STROBE |
| | STRIP LIGHT FIXTURE / WITH EMERGENCY | | WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR | | NON-FUSED DISCONNECT SWITCH | | FLOOR BOX | | SMOKE DETECTOR | | CEILING MOUNTED FIRE ALARM SPEAKER |
| | ROUND DECORATIVE PENDANT LIGHT FIXTURE | | WALL SWITCH MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR | | FUSED DISCONNECT SWITCH | | WALL BOX | | SMOKE DETECTOR WITH SOUNDER | | CEILING MOUNTED FIRE ALARM SPEAKER/STROBE |
| | DECORATIVE PENDANT LIGHT FIXTURE | | WALL SWITCH MOUNTED PASSIVE INFRARED OCCUPANCY SENSOR | | COMBINATION STARTER DISCONNECT SWITCH | | GROUND CONNECTION | | BEAM SMOKE DETECTOR SENDING UNIT | | KNOX BOX |
| | INDUSTRIAL PENDANT LIGHT FIXTURE / WITH EMERGENCY | | CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR | | STARTER | | GROUND ROD | | BEAM SMOKE DETECTOR RECEIVER UNIT | | |
| | ROUND RECESSED DOWNLIGHT / WITH EMERGENCY | | CEILING MOUNTED PASSIVE INFRARED OCCUPANCY SENSOR | | MOTOR | | GROUND TEST WELL | | HEAT DETECTOR | | |
| | SQUARE RECESSED DOWNLIGHT / WITH EMERGENCY | | JUNCTION BOX WITH LOW VOLTAGE POWER SUPPLY FOR OCCUPANCY SENSORS | | LINE VOLTAGE THERMOSTAT | | VOICE OUTLET WITH 3/4" EMPTY CONDUIT TO ABOVE ACCESSIBLE CEILING | | ADDRESSABLE INPUT MODULE | | |
| | LINEAR PENDANT LIGHT FIXTURE | | LIGHTING EMERGENCY RELAY | | MOTOR OPERATED DAMPER | | DATA OUTLET WITH 3/4" EMPTY CONDUIT TO ABOVE ACCESSIBLE CEILING | | OUTPUT RELAY | | |
| | WALL MOUNTED LIGHT FIXTURE | | PHOTOCELL | | PUSH BUTTON | | VOICE/DATA OUTLET WITH 3/4" EMPTY CONDUIT TO ABOVE ACCESSIBLE CEILING | | CONNECTION TO WATER FLOW SWITCH | | |
| | EXTERIOR WALL PACK | | LIGHTING CONTROL PANEL | | MANUAL MOTOR STARTER SWITCH | | CABLE TV OUTLET WITH 3/4" CONDUIT TO ACCESSIBLE OUT CEILING | | CONNECTION TO TAMPER SWITCH | | |
| | SINGLE POLE MOUNTED AREA LIGHT FIXTURE | | TIME CLOCK | | 30A MANUAL MOTOR STARTER SWITCH | | POE WIRELESS ACCESS POINT | | LOW TEMPERATURE SWITCH | | |
| | DOUBLE POLE MOUNTED AREA LIGHT FIXTURE | | CONTACTOR - SIZE & TYPE AS NOTED | | | | | | PRESSURE SWITCH | | |
| | TRIPLE POLE MOUNTED AREA LIGHT FIXTURE | | DOCUMENT BOX | | | | | | MAGNETIC DOOR HOLDER | | |
| | QUAD POLE MOUNTED AREA LIGHT FIXTURE | | FAN / LIGHT COMBO | | | | | | MANUAL PULL STATION | | |

ELECTRICAL ABBREVIATIONS

| | | | |
|-------|---------------------------|------|-------------------------------|
| A | AMPERES | MCC | MOTOR CONTROL CENTER |
| AC | ALTERNATING CURRENT | MH | MANHOLE |
| AFF | ABOVE FINISHED FLOOR | MOD | MOTOR OPERATED DAMPER |
| AFG | ABOVE FINISHED GRADE | NL | NIGHT LIGHT |
| AL | ALUMINUM | NO | NUMBER |
| ATS | AUTOMATIC TRANSFER SWITCH | P | POLE |
| BFG | BELOW FINISHED GRADE | PCS | PROCESS CONTROL SYSTEM |
| BLDG | BUILDING | PLC | PROGRAMMABLE LOGIC CONTROLLER |
| C | CONDUIT | PH | PHASE |
| CTR | COUNTERTOP MOUNTED | PMD | PROGRAMMABLE MESSAGE DISPLAY |
| D | DEEP | PRI | PRIMARY |
| DC | DIRECT CURRENT | RS | RIGID STEEL |
| DISC | DISCONNECT | SCH | SCHEDULE |
| DO | DISSOLVED OXYGEN | SEC | SECONDARY |
| DWG | DRAWING | SHLD | SHIELDED |
| EX | EXISTING | SN | SOLID NEUTRAL |
| F | FUSE | SS | STAINLESS STEEL |
| FLA | FULL LOAD AMPS | SW | SWITCH |
| GFI | GROUND FAULT INTERRUPTER | T | TOE SPACE MOUNTED |
| GRD | GROUND | TYP | TYPICAL |
| H | HIGH | V | VOLTS |
| HP | HORSEPOWER | VFD | VARIABLE FREQUENCY DRIVE |
| INSTR | INSTRUMENTATION | W | WATTS, WIDE |
| I/O | INPUT/OUTPUT | WP | WEATHERPROOF |
| KW | KILOWATTS | XFMR | TRANSFORMER |

LIGHT FIXTURE SCHEDULE

| SYMBOL | TAG | MANUFACTURER | MODEL NUMBER | VOLTAGE | FIXTURE DATA | | MOUNTING HEIGHT | DESCRIPTION |
|--------|----------------|--------------|---|---------|--------------|--------|-----------------|-------------------------------------|
| | | | | | WATTAGE | LUMENS | | |
| | WA1 | LITHONIA | DSXW1 LED 20C 1000 40K TFTM MVOLT | MVOLT | 73.2 | 7,712 | 10'-0" | WALL MOUNTED LED |
| | WA2 | LITHONIA | DSXW1 LED 20C 1000 40K T3M MVOLT | MVOLT | 73.2 | 7,573 | 10'-0" | WALL MOUNTED LED |
| | SL4 | LITHONIA | DSX0 LED P5 40K 70CRI T4M HS MVOLT SPA POLE: SSS 22 4G DM19AS DBLXD | MVOLT | 90.1 | 12,271 | 25'-0" | POLE MOUNTED LED |
| | SL5 | LITHONIA | DSX0 LED P5 40K 70CRI T3M HS MVOLT SPA POLE: SSS 22 4G DM19AS DBLXD | MVOLT | 90.1 | 12,091 | 25'-0" | POLE MOUNTED LED |
| | SL1 (EXISTING) | COOPER | NFFLD-C25-D-UN-V-66 LED 40K 70 CRI | MVOLT | 255 | 31,590 | 23'-0" | EXISTING TRI-HEAD POLE MOUNTED LED |
| | SL2 (EXISTING) | COOPER | NFFLD-C25-D-UN-V-66 LED 40K 70 CRI | MVOLT | 340 | 42,120 | 23'-0" | EXISTING QUAD-HEAD POLE MOUNTED LED |
| | SL3 (EXISTING) | COOPER | NFFLD-C25-D-UN-V-66 LED 40K 70 CRI | MVOLT | 85 | 10,530 | 23'-0" | EXISTING POLE MOUNTED LED |
| | C2 (EXISTING) | LITHONIA | CNY LED P0 40K MVOLT | MVOLT | 26.4 | 3,669 | 10'-0" | EXISTING CANOPY LED |

* INCLUDE ALL LIGHT FIXTURES WITH LAMPS.
 * COORDINATE MOUNTING HEIGHTS WITH ARCHITECTURAL DRAWINGS PRIOR TO INSTALLATION.
 * VERIFY ALL CEILING TYPES SHOWN ON THE ARCHITECTURAL DRAWINGS AND PROVIDE ALL NECESSARY MOUNTING ACCESSORIES.
 * EXIT SIGNS SHALL BE CEILING, WALL, OR END MOUNTED. FIELD COORDINATE FINAL MOUNTING REQUIREMENTS. EXIT SIGNS IN WAREHOUSE SHALL NOT EXCEED A MOUNTING HEIGHT OF 30'-0" TO TOP OF FIXTURE. SUSPENDED EXIT SIGNS SHALL BE MOUNTED TO A 4" SQUARE BOX SUSPENDED FROM A 1" RIGID CONDUIT.
 * EXIT SIGNS SHALL HAVE DIRECTIONAL CHEVRONS AS SHOWN ON PLANS.
 * PROVIDE APPROPRIATE CORD/CABLE LENGTH FOR ALL PENDANT MOUNTED FIXTURES. REFER TO ARCHITECTURAL FLOOR PLAN, SECTIONS, AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION WHEN MOUNTING HEIGHT OF FIXTURES IS NOT CLEARLY STATED OR SHOWN ON DRAWINGS.
 * PRIOR TO LIGHT FIXTURE SUBSTITUTIONS, CONTRACTOR SHALL PROVIDE POINT-BY-POINT CALCULATION FOR EACH INDIVIDUAL SPACE IN WHICH A SUBSTITUTION IS REQUESTED. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PROFESSIONAL PREPARED CALCULATIONS.
 * CONNECT EXIT SIGNS TO LOCAL LIGHTING CIRCUIT AHEAD OF SWITCHES.

STATISTICS

| DESCRIPTION | AVG | MAX | MIN | MAX / MIN | AVG / MIN |
|----------------|--------|--------|--------|-----------|-----------|
| OVERALL | 0.7 FC | 9.8 FC | 0.0 FC | N/A | N/A |
| PROPERTY LINE | 0.1 FC | 0.6 FC | 0.0 FC | N/A | N/A |
| PARKING LOT(S) | 2.3 FC | 9.8 FC | 0.2 FC | 49:1 | 11.5:1 |



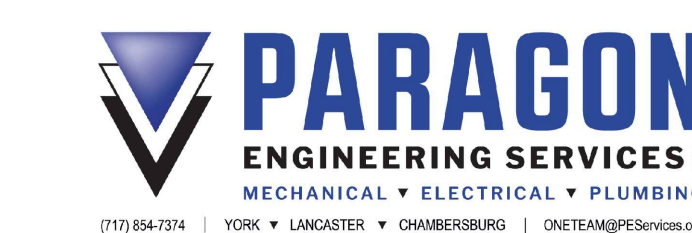
FREDERICK, SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
 128 SOUTH POTOMAC STREET
 GREENBELT, MARYLAND 21740
 301.761.3800

CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE
 HAGERSTOWN, MARYLAND 21740
 WASHINGTON COUNTY / MARYLAND
 CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

PROJECT NO: 1659-23-001
 DWN BY: ACB DATE: 2023-12-11
 PROJECT MANAGER:
 EMAIL:
 PROPERTY INFORMATION
 SCALE: AS NOTED
 SHEET TITLE:

SYMBOLS, ABBREVIATIONS, & SCHEDULE

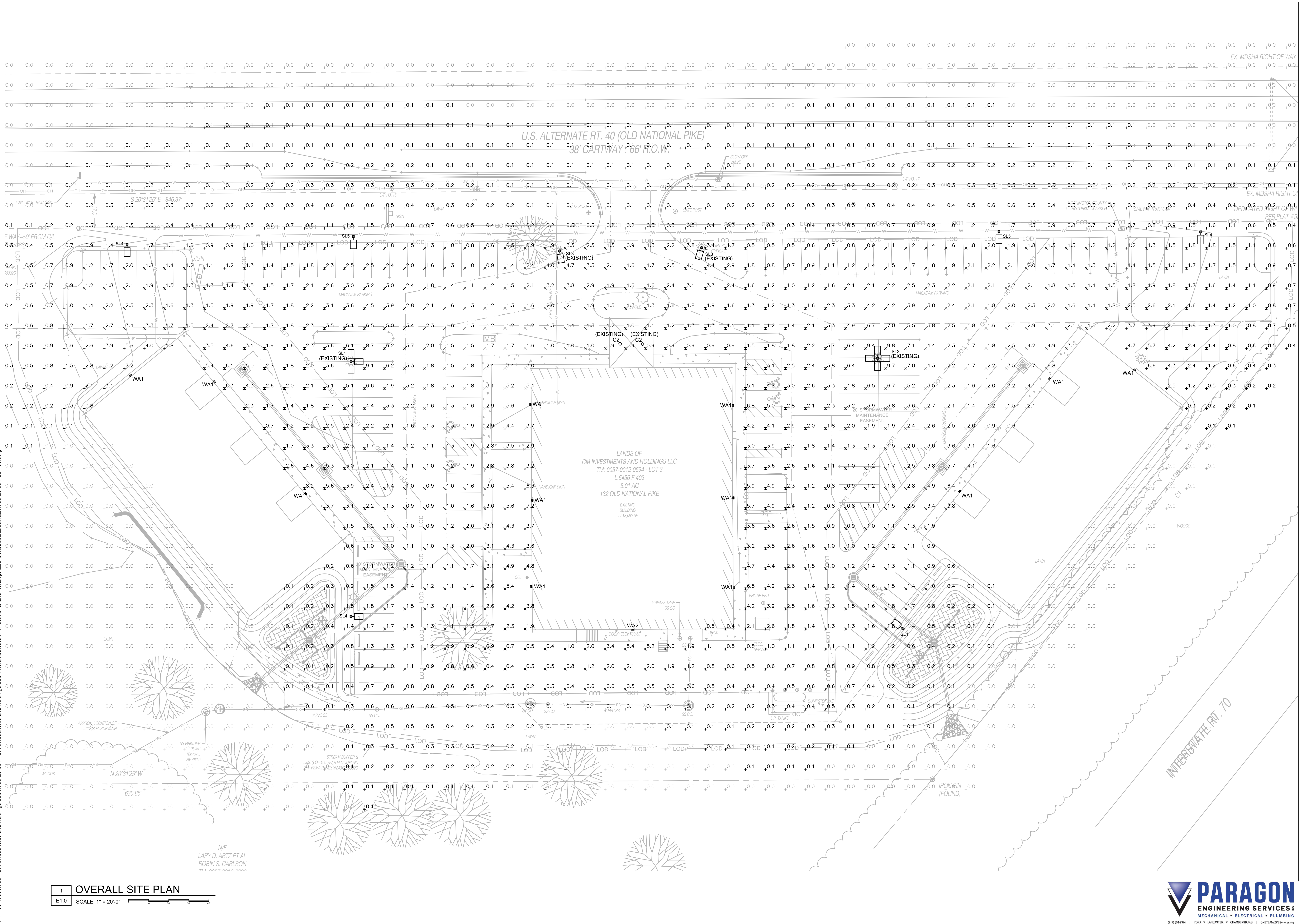
SL-001



Dec 19, 2023 - 7:06pm - ACB
 P:\1700-1799\1736 - CM Investments and Holdings LLC\Constructs\Electrical\1736-23-001-SL-001.dwg

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Dec 19, 2023 - 7:06pm - ACB
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1 OVERALL SITE PLAN
 E10 SCALE: 1" = 20'-0"

N/F
 LARY D. ARTZ ET AL
 ROBIN S. CARLSON

LANDS OF
 CM INVESTMENTS AND HOLDINGS LLC
 TM: 0057-0012-0094 - LOT 3
 L5456 F.403
 5.01 AC
 132 OLD NATIONAL PIKE
 EXISTING BUILDING
 +/- 13,982 SF



CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE
 HAGERSTOWN, MARYLAND 21740

WASHINGTON COUNTY / MARYLAND
 CM INVESTMENTS AND HOLDINGS LLC
 132 OLD NATIONAL PIKE HAGERSTOWN MD 21740

| | |
|----------------------|-------------|
| PROJECT NO. | 1659-23-001 |
| DWN BY | ACB |
| DATE | 2023-12-11 |
| PROJECT MANAGER | |
| EMAIL | |
| PROPERTY INFORMATION | |
| SCALE | AS NOTED |
| SHEET TITLE | |

OVERALL SITE PLAN
 SL-100

FSAI
 FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS
 108 SOUTH HANOVER STREET
 HAGERSTOWN, MARYLAND 21740
 (410) 391-3800
 (410) 391-3801

DATE: _____
 MARK: _____
 DESCRIPTION: _____

Paragon Engineering Services Inc. shall retain all common law, statutory and other reserved rights, including copyright to all drawings, specifications, electronic data, and any other instruments of services furnished to the Owner for use with respect to this project. These documents may not be used by any other party for any other project without written consent from Paragon Engineering Services Inc.

SP-23-031 Take 5 Oil

- Presented is a site plan for Take 5 Oil located at 10306 Sharpsburg Pike in Hagerstown.
- There will be 1 access point from Sharpsburg Pike.
- Water to be provided by City of Hagerstown, and sewer by Washington County.
- Proposed lighting is pole mounted and building mounted.
- Proposed signage to be building mounted.
- Site has 8 parking spots, 7 are required
- Hours of operation will be M-F 7AM-7PM, Sat 8AM-6PM, Sun 9AM-5PM
- This site plan is exempt from Forest Conservation.
- All approvals are in on this project
- Trevor Frederick is here if you have any questions regarding this plan.



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Site Plan for Take 5 Oil
NUMBER.....: SP-23-031

OWNER.....: WASHCO ARNETT FARM LLC
LOCATION.....: 10306 SHARPSBURG Pike
 HAGERSTOWN, MD 21740

DESCRIPTION.....: Site plan for 1,336 SF oil change facility on previously developed property.

ZONING.....: Highway Interchange
COMP PLAN LU.....: Commercial
PARCEL.....: 10010969
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 10

TYPE.....: Commercial
GROSS ACRES.....:
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Scott A Stotemyer
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: August 22, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

SITE DESIGN

| Impervious Area Plan | Impervious Maximum Allowed | Open Space Area Planned |
|--|------------------------------------|-------------------------------------|
| Staff Comments: | | |
| Open Space Minimum Required <i>Not Applicable</i> | Residential Amenity Plans | Solid Waste Disposal Plans |
| Materials Stored on Site | Buffer Design Meets Requirements | Landscaping Meets Requirements |
| Lighting Plan Meets Requirements | Pedestrian Access is Adequate | Bus Stop is Within Walking Distance |
| Loading Area Meets Requirements | | Not Fast Track |
| Parking Spaces - Total Planned | Parking Spaces - Per Dwelling Unit | |
| Parking Spaces - Minimum Required | Recreational Parking Provided | |



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

SCHOOL INFORMATION

| | ELEMENTARY | MIDDLE | HIGH |
|---------------------------|-------------------|-----------------|------------------|
| SCHOOL DISTRICT | Rockland Woods | E Russell Hicks | South Hagerstown |
| PUPIL YIELD | | | |
| CURRENT ENROLLMENT | | | |
| MAXIMUM CAPACITY | | | |

PUBLIC FACILITIES INFORMATION

| | |
|---------------------------------|------------|
| FIRE DISTRICT.....: | FUNKSTOWN |
| AMBULANCE DISTRICT.....: | HAGERSTOWN |

WATER & SEWER INFORMATION

| | WATER | SEWER |
|-----------------------------------|--------------------|--------------------|
| METHOD.....: | City | County |
| SERVICE AREA.....: | City | County |
| PRIORITY.....: | 1-Existing Service | 1-Existing Service |
| NEW HYDRANTS.....: | | |
| GALLONS PER DAY SEWAGE...: | | |
| PLANT INFO.....: | | Conococheague |

APPROVALS

MD-ENG-6A
1/89

USDA
SCS

UTILITY NOTIFICATION
The Soil Conservation District makes no representation as to the existence or nonexistence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified. It is the responsibility of the landowners or operators and contractors to assure themselves that no hazard exists or damage will occur to utilities. It is suggested that Miss Utility be contacted at: Phone No. 1-800-257-7777

OWNER / DEVELOPERS CERTIFICATION
"I/we certify all any parties responsible for clearing, grading, construction and/or development will be done pursuant to this plan and responsible personnel involved in the construction project will have a Certificate of Training at a Maryland Dept. of the Environment approved training program for the control of soil erosion and sediment."

11.22.2023 Elizabeth Weiner
Date Printed Name
Signature

DISTURBED AREA QUANTITY
THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0.90 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 89 CU. YDS. OF EXCAVATION AND APPROXIMATELY 205 CU. YDS. OF FILL.

OWNER / DEVELOPERS CERTIFICATION
"I/we hereby certify that all clearing, grading, construction and/or development will be done pursuant to this plan and in accordance with the Stormwater Management Ordinance of Washington County and the policy on construction of subdivision infrastructure for acceptance and ownership by Washington County (S-3)."

11.22.2023 Elizabeth Weiner
Date Printed Name
Signature

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
This plan/plot has been reviewed by the Washington County Department of Water Quality for inclusion into the county capacity management plan for the system that serves this project. Allocation granted for construction shown on this plan/plot shall be in accordance with the capacity management plan developed for this system based on availability of allocation remaining in the facility.

ENGINEER / ARCHITECT DESIGN CERTIFICATION
I hereby certify this plan for soil erosion and sediment control has been designed in accordance with local ordinances, COMAR 26.17.01.07, and Maryland Standards and Specifications for Soil Erosion and Sediment Control.

04.15.2024 49808
DATE REG. NO. SIGNATURE

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest edition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION
This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE DATE

ENGINEER'S STORMWATER MANAGEMENT CERTIFICATION
"I verify and affirm that the Construction for the Stormwater Management Facilities as performed either meets or exceeds the requirements and design intent of this plan, including all specifications and referenced standards, and has been completed in accordance with good construction practices. I also verify and affirm that I have reviewed the construction inspection documentation and the as-built information; that it has been done in accordance with Washington County requirements and at a level deemed necessary to assure the Verification made herein; and all discrepancies between the as-built information and approved plans have been noted and are considered acceptable to the Consultant."

SIGNATURE DATE

AS-BUILT CERTIFICATION
I hereby certify that the stormwater management facilities (both BMPs and ESD practices) shown on the plans have been constructed in accordance with the plans approved by the Maryland Department of the Environment, except as noted in red on the "AS-BUILT" drawings.

Name Signature
Maryland Registration Number (PE or LS) Date
MDE No.
Facilities being certified (list each individually using facility ID number and/or description):
"Certify" means to state or declare a professional opinion based on sufficient and appropriate onsite inspections and material tests conducted during construction.

STORMWATER MANAGEMENT AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT FACILITY (FACILITIES) SHOWN ON THE PLANS AND INDIVIDUALLY IDENTIFIED BELOW HAS (HAVE) BEEN CONSTRUCTED IN ACCORDANCE WITH THE PLANS INCLUDED UNDER THE MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVAL NUMBER SF EXCEPT AS NOTED IN GREEN ON THE "AS-BUILT" DRAWINGS. FURTHERMORE, THE GREEN-NOTED EXCEPTIONS DO NOT ADVERSELY AFFECT THE DESIGN AND/OR THE INTENDED PERFORMANCE OF THE FACILITY (FACILITIES).
MICRO-BIORETENTION # (MDSHA SWMFAC NO. XXXXXX)

Name (Printed) Signature
Maryland Registration Number Date

PROFESSIONAL CERTIFICATION: "I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. , EXPIRATION DATE "

"CERTIFY" MEANS TO STATE OR DECLARE A PROFESSIONAL OPINION BASED ON SUFFICIENT AND APPROPRIATE ONSITE INSPECTIONS AND MATERIAL TESTS CONDUCTED DURING CONSTRUCTION.

NOTE: AS-BUILT CHECKLISTS CONTAINED IN THE CONTRACT DRAWINGS SHALL BE COMPLETED BY THE AS-BUILT INSPECTOR AND SUBMITTED TO THE SHA ALONG WITH THIS CERTIFICATION.

COMBINED STORMWATER CONCEPT AND SITE PLAN

FOR TAKE 5 OIL

SITUATE AT
10306 SHARPSBURG PIKE, HAGERSTOWN
WASHINGTON COUNTY, MARYLAND

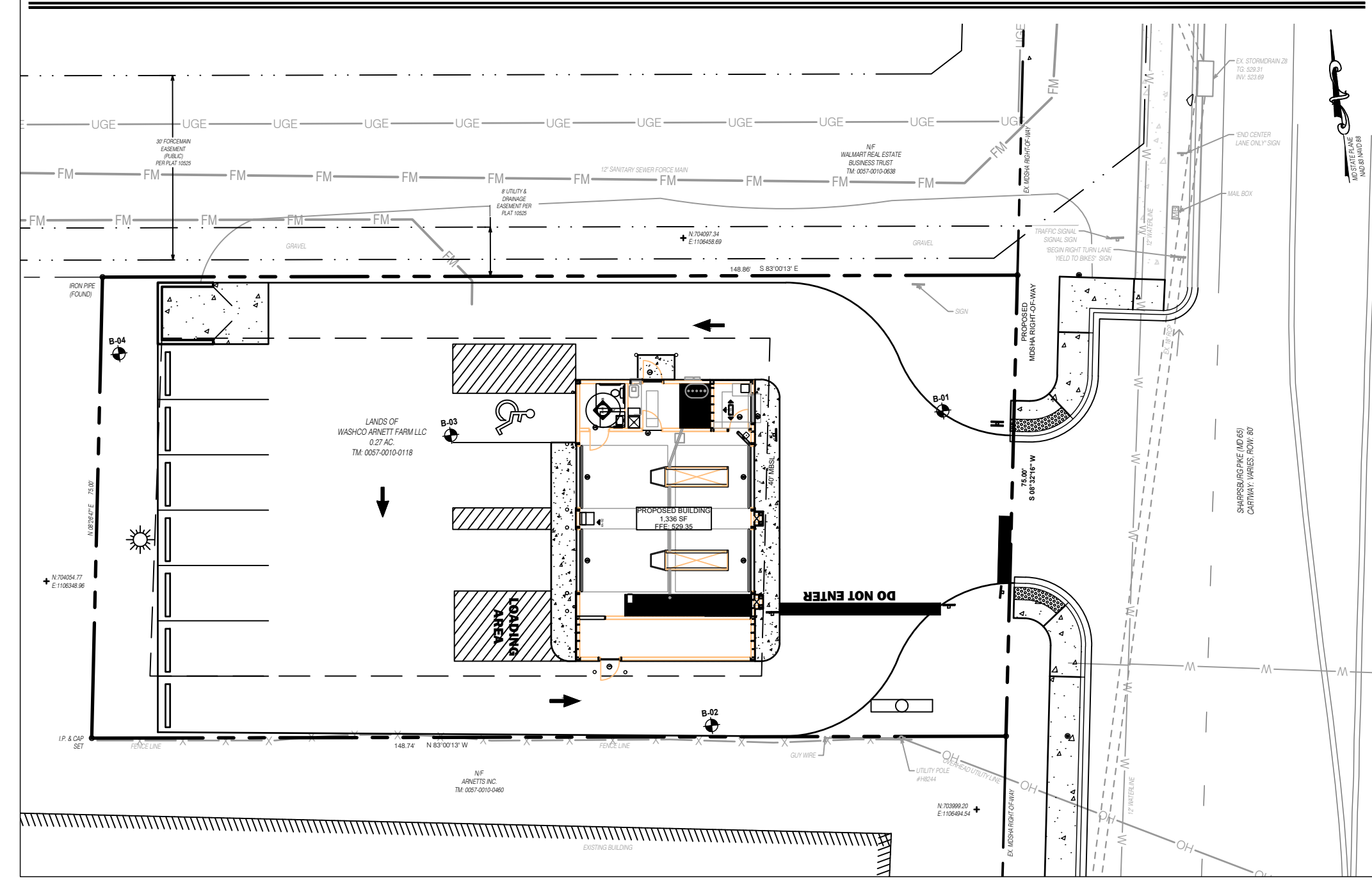
DEVELOPER:
CORE PROPERTIES CAPITAL LLC
3340 PEACHTREE ROAD, SUITE 1660
ATLANTA, GEORGIA 30326

ATTN: ELIZABETH WEINER
EMAIL: EWEINER@COREPROPERTYCAPITAL.COM
PHONE: 770.205.9944

CIVIL ENGINEER / SURVEYOR:
FSA INC.
128 SOUTH POTOMAC STREET
HAGERSTOWN, MARYLAND 21740

PROJECT MANAGER: TREVOR FREDERICK
EMAIL: TFREDERICK@FSA-INC.COM
PHONE: 301.791.3650

LOCATION PLAN
SCALE: 1" = 20'



ESD PRACTICES SUMMARY TABLE

| CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION): REDEVELOPMENT | | | | | | |
|--|-----|-----------------------|----------------------------------|-----------|---------------|-------------------|
| ESD PRACTICES (CHAPTER 5 - STRUCTURAL PRACTICES) | | | | | | |
| TYPE | NO. | DA TO STRUCTURE (AC.) | IMPERVIOUS DA TO STRUCTURE (AC.) | ESDv (CF) | ESDv (AC. FT) | Pe ADDRESSED (IN) |
| MICRO-BIORETENTION | A | 0.05 | 0.04 | 174 | 0.004 | 1.32 |
| MICRO-BIORETENTION | B | 0.12 | 0.11 | 209 | 0.004 | 0.49 |

The following standards (construction and temporary traffic control) are required for this project:

- MD-104.00-01 - MD-104.00-18 - General Notes
- MD-104.01-01 - 104.01-88 - Temporary Traffic Control Applications
- MD-104.06-09A - MD-104.06-09D - Pedestrian Detours
- MD-104.02-01 - Shoulder work/ 2-lane, 2-way, greater than 40 MPH
- MD-374.68 - Precast or Cast-in-Place COG/COS Opening for 8" Curb 5' or 10' Only
- MD-384.01 - 48" Diameter Precast Manhole for 12" to 24" Pipes
- MD-620.02 - Standard Types A & B Concrete Curb and Combination Concrete Curb & Gutter
- MD-655.11 - Sidewalk Ramps Perpendicular

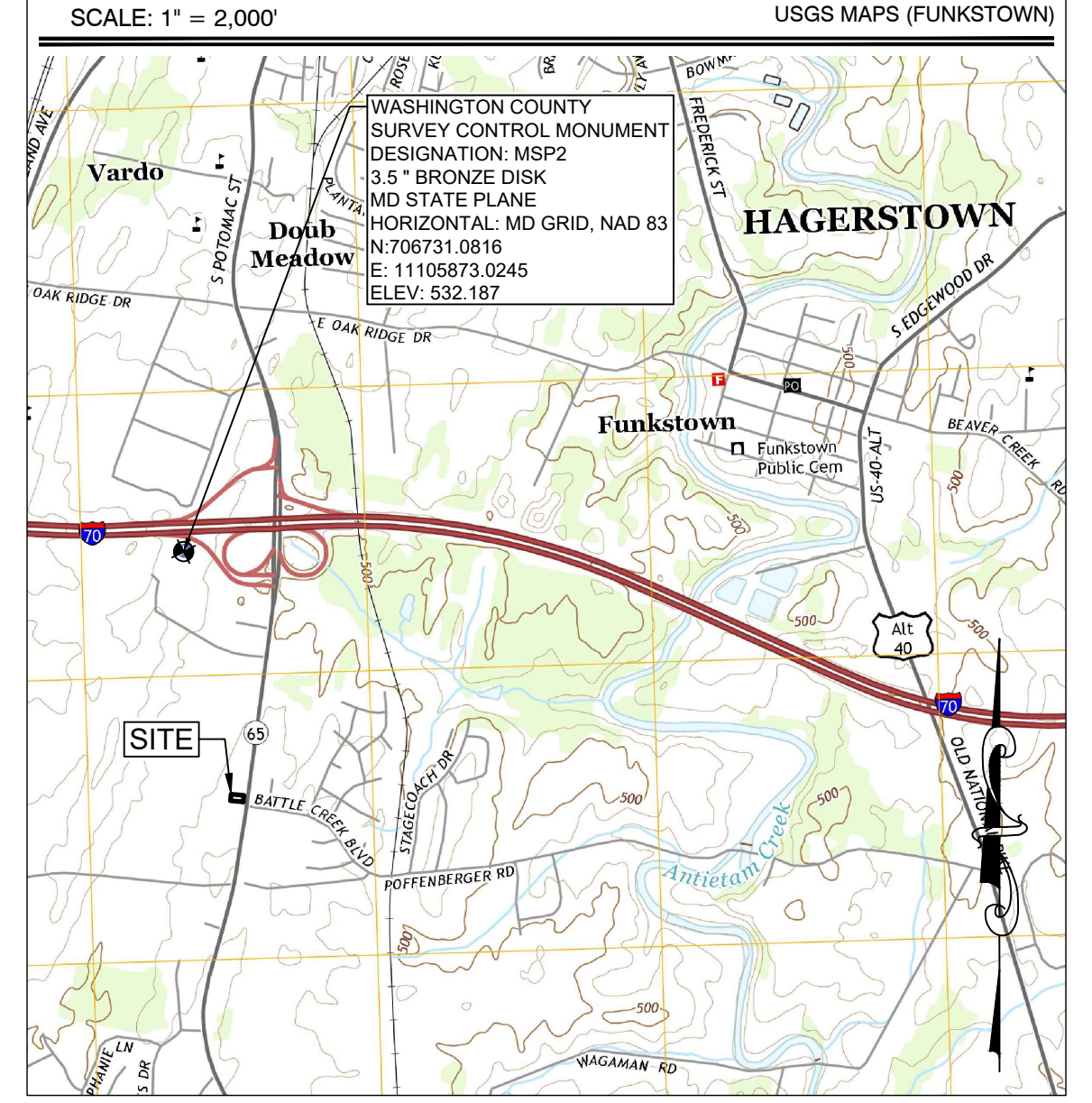
For all standards referred to on the plans the contractor must go to the Book of Standards which will have the most current version. The Book of Standards can be accessed at:
<http://apps.roads.maryland.gov/BusinessWithSHA/bizStdsSpecs/desManualStdPub/publicationsonline/ohd/bookstd/index.asp>

All items are to be constructed in accordance with the current version of the referenced standard at the time of construction.

MDSHA ACCESS PERMIT NUMBER:
23APWA010XX

The purpose of this site plan is for the construction of a 1,336 SF vehicle oil change facility with associated employee parking facilities, and associated grading on a previously developed site. Plans have been prepared in accordance with the Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance dated May 4th, 2010 and Maryland Stormwater Design Manual, Volumes 1 and II (October 2000, Revised 2009). The project must comply with both requirements. On-site stormwater management will consist of micro bioretentions.

VICINITY MAP



SHEET INDEX

| TYPE | NUMBER | TITLE |
|-----------|----------|---|
| C-001 | SHEET 01 | COVER SHEET |
| C-002 | SHEET 02 | NOTES & LEGENDS |
| C-101 | SHEET 03 | EXISTING CONDITIONS |
| C-102 | SHEET 04 | EROSION & SEDIMENT CONTROL PLAN |
| C-103 | SHEET 05 | GRADING & UTILITY PLAN |
| C-104 | SHEET 06 | SITE & DIMENSIONING PLAN |
| C-301 | SHEET 07 | STORMWATER MANAGEMENT PLAN |
| C-302 | SHEET 08 | STORMWATER MANAGEMENT DETAILS & NOTES |
| C-401 | SHEET 09 | MDSHA CONSTRUCTION PROFILES |
| C-501 | SHEET 10 | CONSTRUCTION DETAILS & NOTES - E & S CONTROLS |
| C-502 | SHEET 11 | CONSTRUCTION DETAILS & NOTES - WATER & SEWER |
| BY OTHERS | | |
| PH1 | SHEET 01 | SITE PHOTOMETRIC PLAN |
| SG-01 | SHEET 01 | TRAFFIC SIGNAL PLAN |

INITIAL SUBMITTAL: 08.16.2023
2ND SUBMITTAL: 12.12.2023
3RD SUBMITTAL: 02.05.2024
4TH SUBMITTAL: 04.15.2024



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 2859
Expiration Date 04/15/2024

FSA INC.
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

128 SOUTH POTOMAC STREET
HAGERSTOWN, MD 21740
301.791.3650

| DATE | REVISION | REVISION PER AGENCY COMMENTS |
|------------|----------|------------------------------|
| 11.17.2023 | | |
| 08.26.2024 | | |

TAKE 5 OIL
LOCATED AT 10306 SHARPSBURG PIKE
HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
3340 PEACHTREE ROAD, SUITE 1660, ATLANTA, GA 30326
ATTN: ELIZABETH WEINER, EMAIL: EWEINER@COREPROPERTYCAPITAL.COM, PHONE: 770.205.9944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 8618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | AS SHOWN |
| SHEET TITLE | COVER SHEET |

C-001
SHEET 01 OF 11



GENERAL NOTES

- Any damage to adjoining public roads, utilities, etc. during construction will be repaired in kind by the contractor.
- No subsurface investigation has been performed by Frederick, Seibert and Associates, Inc. to determine ground water, rock, sinkholes or any other natural or man-made existing features. See geotech report by ECS for sub-surface findings.
- FSA, Inc. assumes no liability for the location of any above ground and below ground utilities. Existing utilities are shown from the best available information. Contractor to field verify location and depth of all above and below ground utilities prior to construction.
- The contractor shall locate existing utilities in advance of construction operations in the vicinity of proposed utilities.
- The contractor shall take all necessary precautions to protect the existing utilities and to maintain uninterrupted service. Any damage incurred due to the contractor's operation shall be repaired immediately at the contractor's expense. Contractor to use caution in areas where low hanging wires exist.
- All utilities shall be cleared by a minimum of 1'-0". All utility poles shall be cleared by a minimum of 2'-0" or tunneled if required.
- The Contractor shall notify the following utilities or agencies at least five (5) days before starting work shown on these drawings:

| | |
|---|-------------------------|
| Miss Utility | 1-800-257-7777 |
| Potomac Edison | 1-800-255-3443 |
| Columbia Gas (New Business) | 1-800-440-6111 |
| Columbia Gas (Conflicts) | (301) 964-1065 |
| Verizon | (301) 790-7124 |
| Antitelm Cable | (240) 420-2082 |
| City of Hagerstown Utilities Department | (301) 739-4577 Ext. 650 |
| Washington County Soil Conservation District | (301) 797-6821 |
| Washington County Planning and Permitting | (240) 313-2460 |
| Washington County Department of Water Quality | (240) 313-2600 |

- The contractor shall be responsible for coordination of his construction with the construction of other contractors.
- Benchmark to be existing water meter as shown on Sheet C-101.
- The contractor shall notify the Architect/Engineer, before construction, of any conflicts between the plans and actual field conditions.
- The contractor shall protect all utilities and culvert pipes during construction by insuring proper cover, increasing cover, or constructing roadway and parking through base course before loading site with heavy vehicles.
- Job site safety is the sole responsibility of the contractor. The Contractor shall perform all excavation in accordance with O.S.H.A. Regulations for trench safety.
- The contractor shall perform his own field inspection and surveys (if necessary) to determine the limit of earthwork needed to complete this project. Any earthwork quantities that may be shown hereon are preliminary estimates only, and are intended for Soil Erosion Control plan review, if required. There has been no correction made to the earthwork quantities shown hereon due to the completion of fill.
- The contractor shall be aware that in the event of discrepancy between scaled and figured dimensions shown on the plan, the figured dimensions shall govern.
- Sediment erosion control measures shall be installed per sediment erosion control plans, details and specifications.
- Please refer to Geotechnical Report completed by ECS for load bearing fills, etc.
- The entire area included within the proposed limits of cut and fill shall be stripped of all root material, trash and other organic and otherwise objectionable, non-complying and unsuitable soils and materials.
- It shall be distinctly understood that failure to mention specifically any work which would naturally be required to complete the project shall not relieve the contractor of his responsibility to complete such work.
- All handicapped parking spaces shall be designed, ramped and signed to meet the minimum requirements of the Maryland code for the handicapped.
- The existing site contours shown hereon are LIDAR 1" contours and field checked by FSA in May 2023. (Contour accuracy is to plus or minus one half the contour interval).
- Limit of disturbed areas are to be the limit of property ownership, unless otherwise noted.
- Exterior lighting will consist of building mounted lights and pole mounted lights as shown on the photometrics plans and utility plan.
- The contractor shall provide MOSH safety assistance for City Utilities Department, Water and Wastewater Division Inspectors.
- Applicant to provide as built mylars at the completion of the project.
- This project has a projected start date of March 2024 and a completion date of August 2024.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County.
- There are no Board of Zoning Appeals Cases for this property.
- Proposed SWM will consist of on-site micro-bioretention facilities.
- There are no parks, open space within or adjoining the tract.
- All existing drainage culverts and drainage easements are to be maintained and unaltered.
- A Stormwater Pollution Prevention Plan will be required for this site.

DIVISION OF PLAN REVIEW & PERMITTING NOTES

- In conformance with the Stormwater Management Ordinance of Washington County, a performance security and executed maintenance agreement shall be required from the developer prior to issuance of any building or grading permit for construction per these plans.
- This project will require a third party qualified professional to be present at the preconstruction meeting. Construction inspection will be required for this project per the "Roadway and Stormwater Management Construction Verification Procedures" dated October 17, 2008.
- A complete set of approved plans and a copy of the grading permit must be on site and available for use by the inspector, or other representative of Washington County Division of Public Works.
- Developer/Contractor shall contact the certifying engineer and the County at least 5 days prior to the start of construction of the stormwater management system to schedule and coordinate inspection time tables.
- This development plan must comply with the current Washington County Stormwater Management, Grading, Soil Erosion and Sediment Control Ordinance.
- All grading for this project shall be the full responsibility of the property owner.
- No permanent structures (e.g., fences, sheds, play equipment, retaining walls) shall be permitted within any stormwater or storm drainage easement on this property.

FIRE DEPARTMENT NOTES

- Construction occurring on this site shall comply with NFPA 241, standard for safeguarding construction, alteration, and demolition operations, and chapter 16 of NFPA 1, uniformed fire code.
- No open burning is permitted. Permits are required to perform blasting operations within the city of Hagerstown.
- New buildings shall have approved address numbers placed in a position to be plainly legible and visible from the street or road fronting the property (NFPA 1-10.13.1).
- A fire department access box (knob box) shall be installed. This box will be required to contain keys to the building, gates, fire protection system keys and other areas as requested by the fire department. Plans should reflect the location of box near the main entrance. Application information may be obtained from this office by the general contractor or online at www.knoxbox.com.

PARKING, LOADING & BICYCLE DATA

| USE | REQUIREMENT | CALCULATION | REQUIRED |
|--|--|---|----------------------|
| AUTO SERVICE | 2 SPACES PER SERVICE BAY PLUS 1 SPACE PER EMPLOYEE | 2 SERVICE BAY * 2 SPACES 3 EMPLOYEES * 1 SPACE | 4 SPACES 3 SPACES |
| TOTAL REQUIRED SPACES | | | 7 SPACES |
| TOTAL PROVIDED ADA PARKING SPACES | | | 1 SPACE |
| TOTAL PROVIDED PARKING SPACES | | | 8 SPACES |

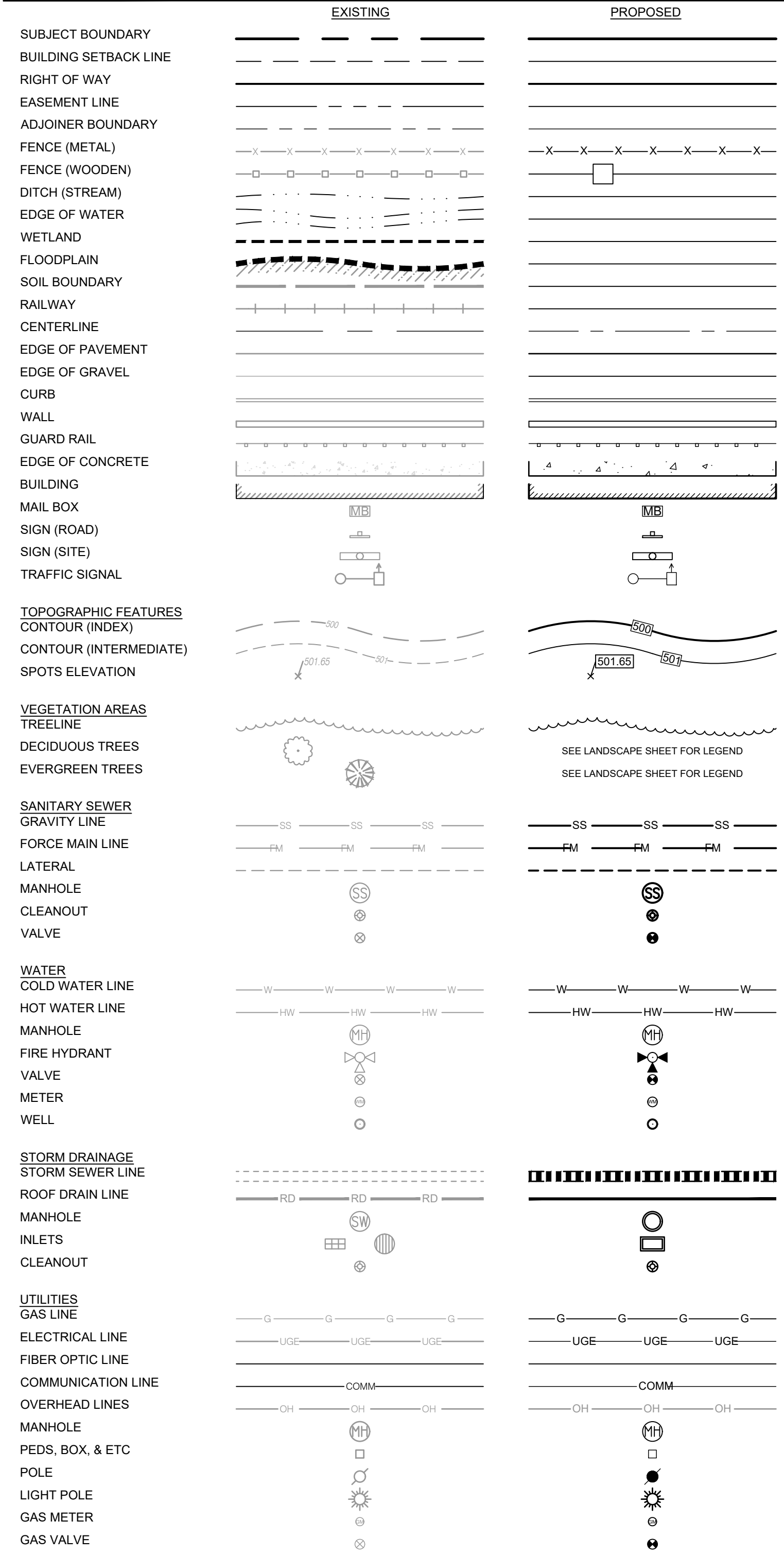
ZONING DATA

| | |
|-------------------------------|-----------------------------------|
| ZONING DISTRICT | HI - HIGHWAY INTERCHANGE DISTRICT |
| BUILDING HEIGHT | 75 FT |
| MINIMUM YARD SETBACK: | |
| FRONT | 40 FT. |
| SIDE | 10 FT. |
| REAR | 10 FT. |
| BOARD OF ZONING APPEALS' CASE | NONE |

SITE DATA

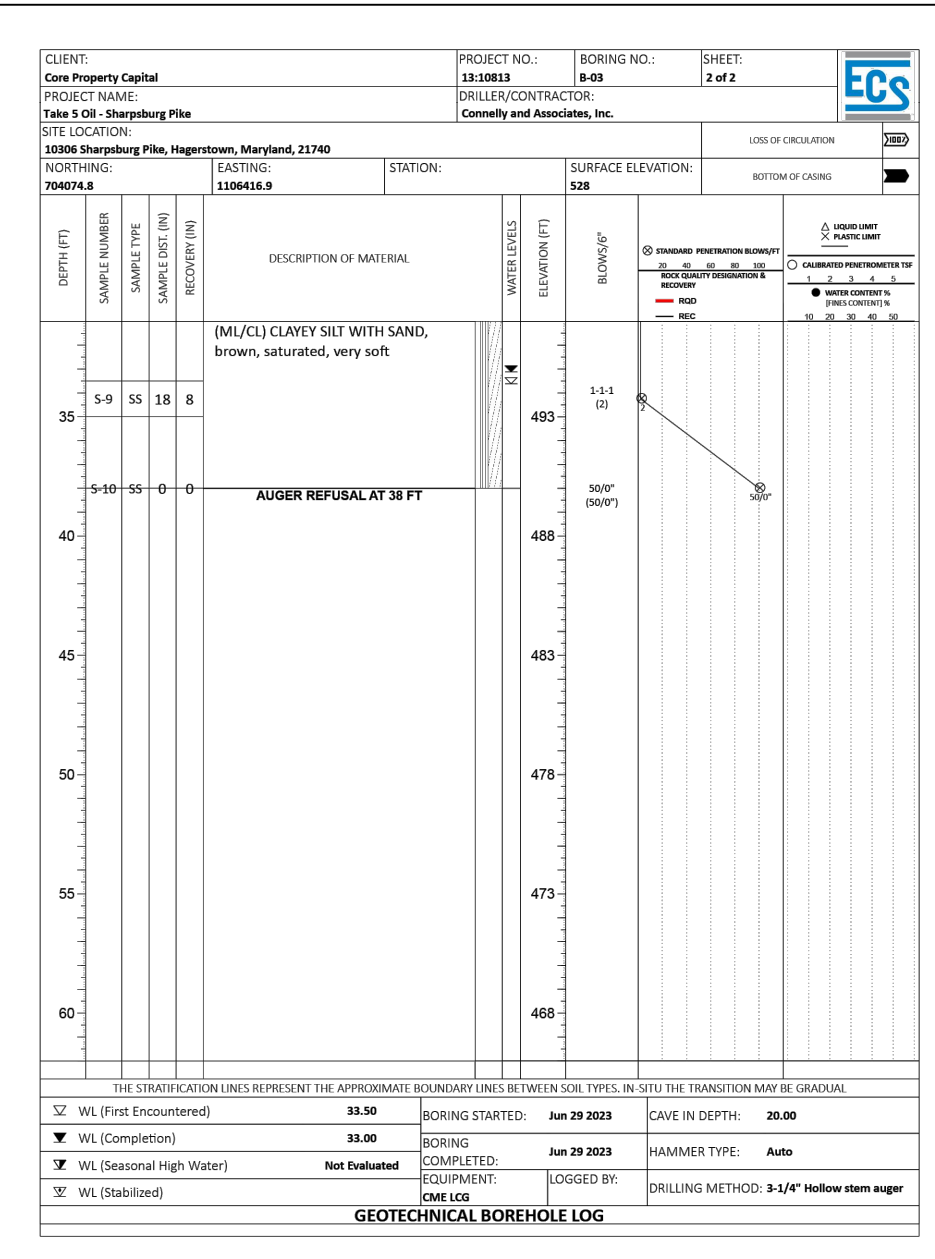
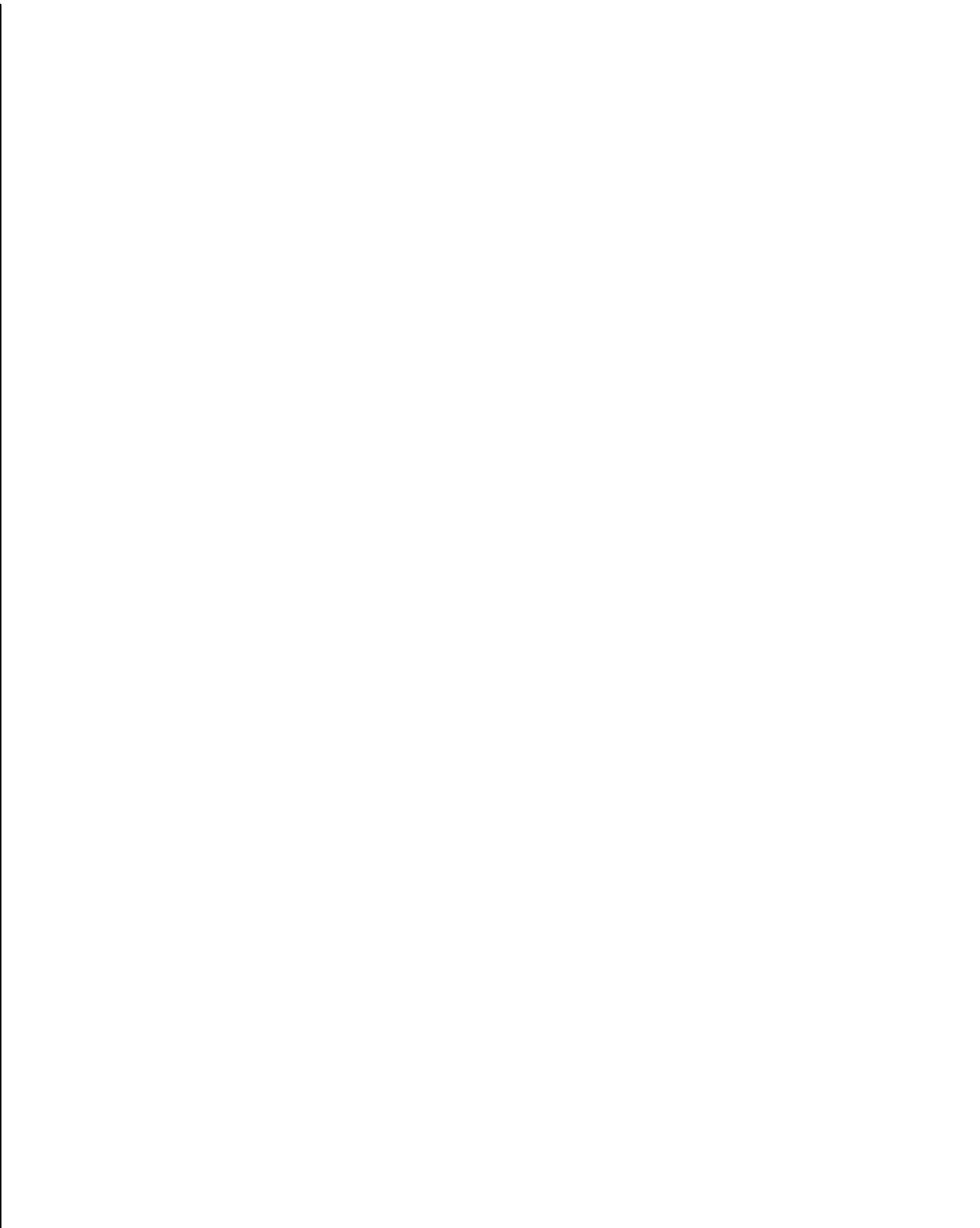
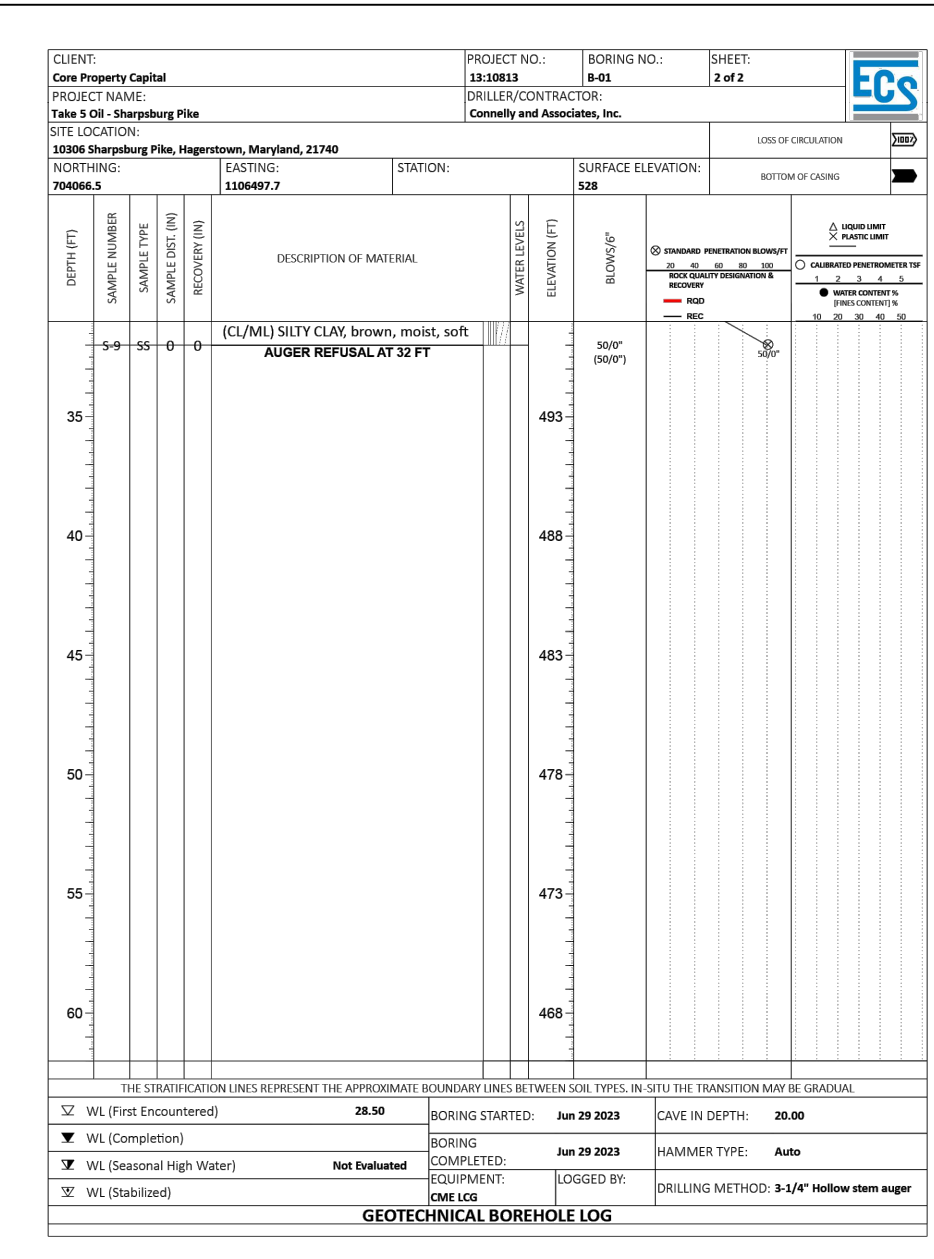
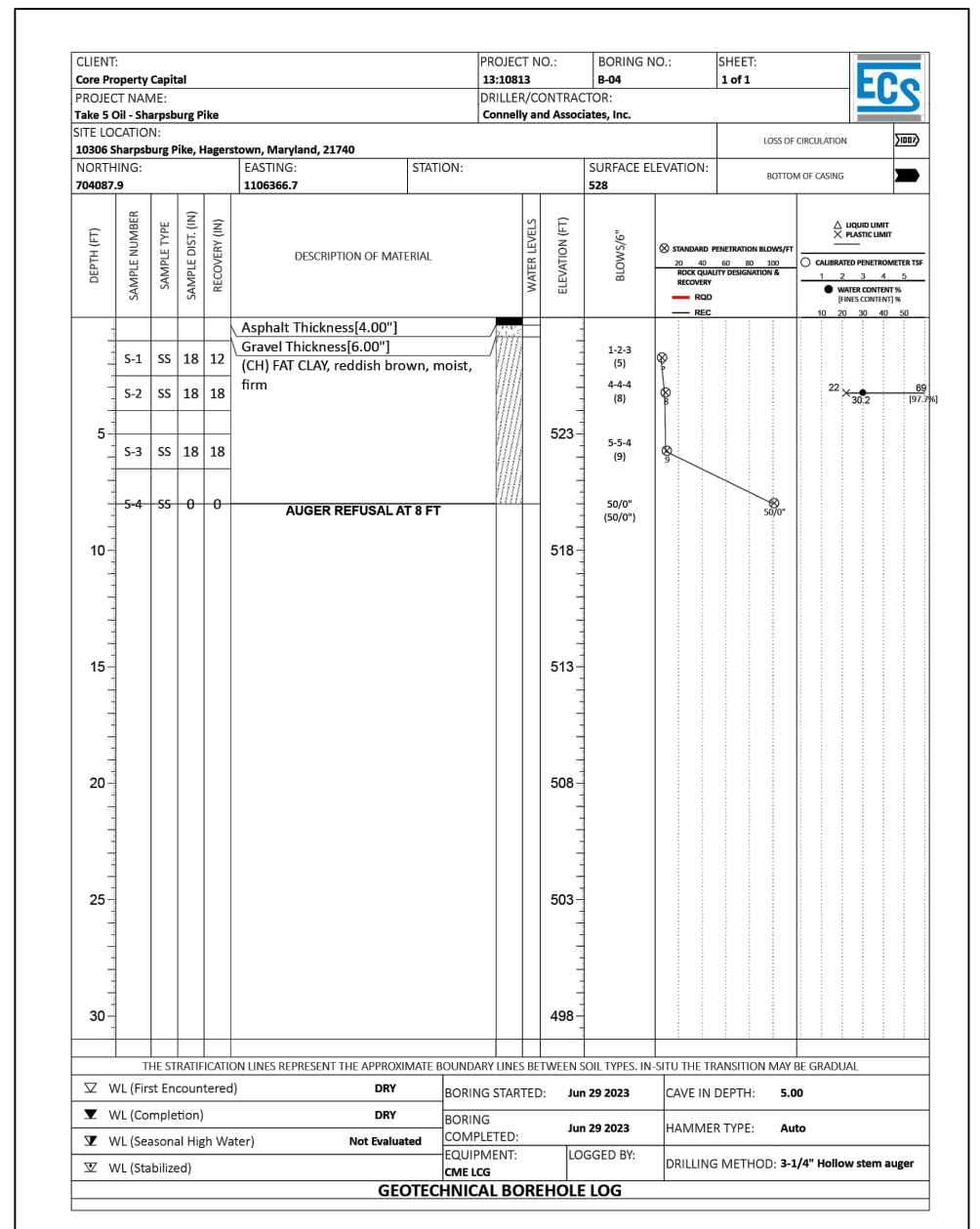
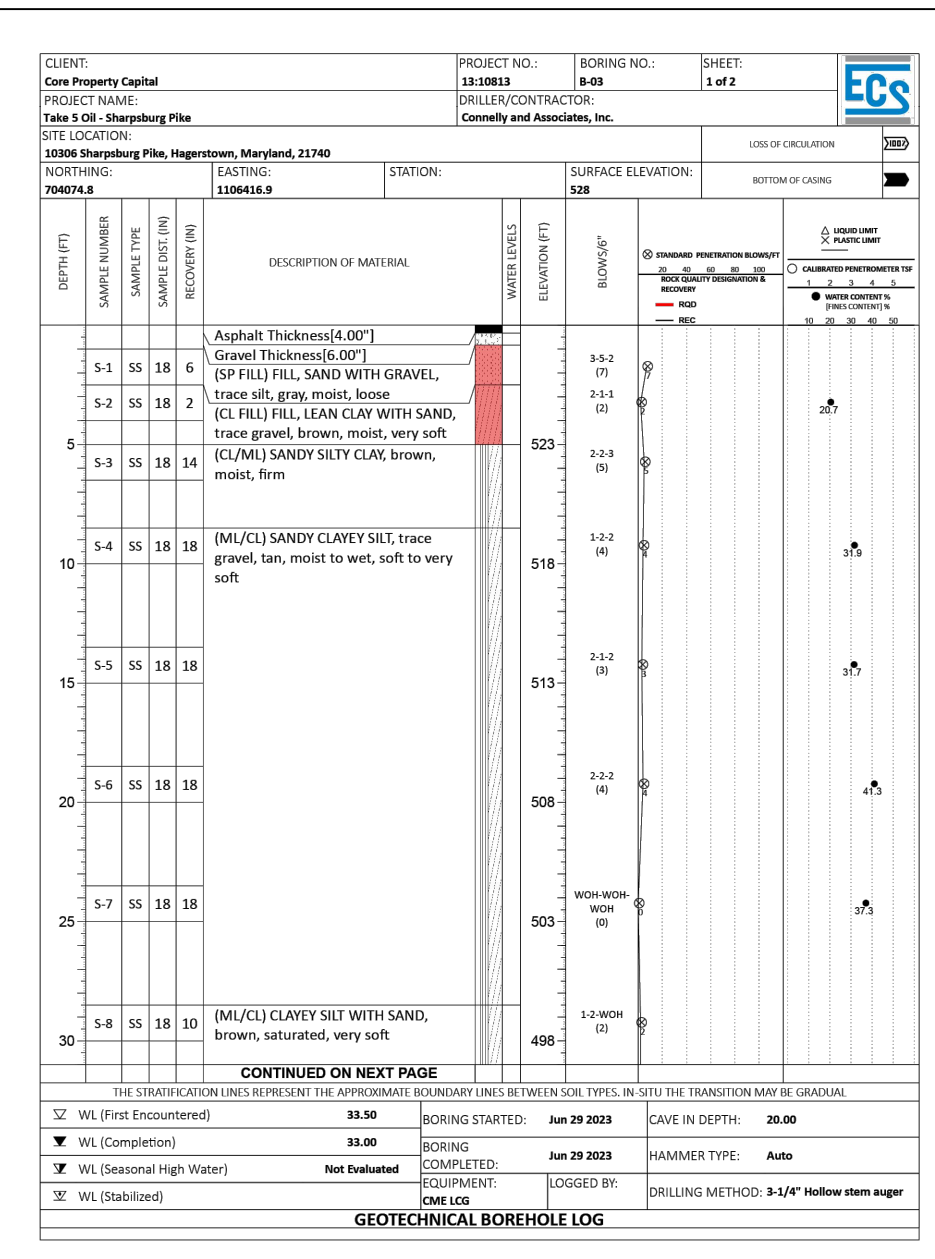
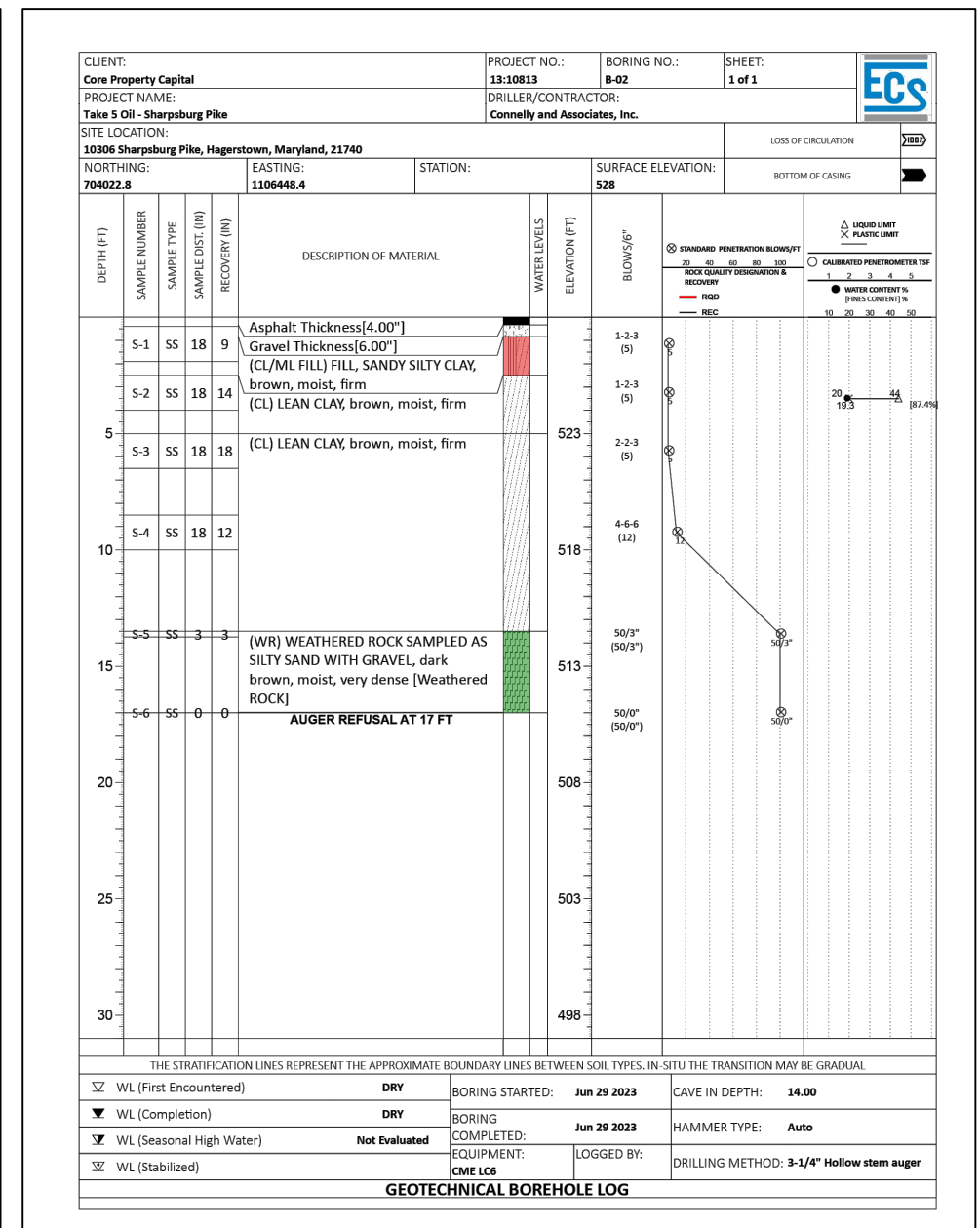
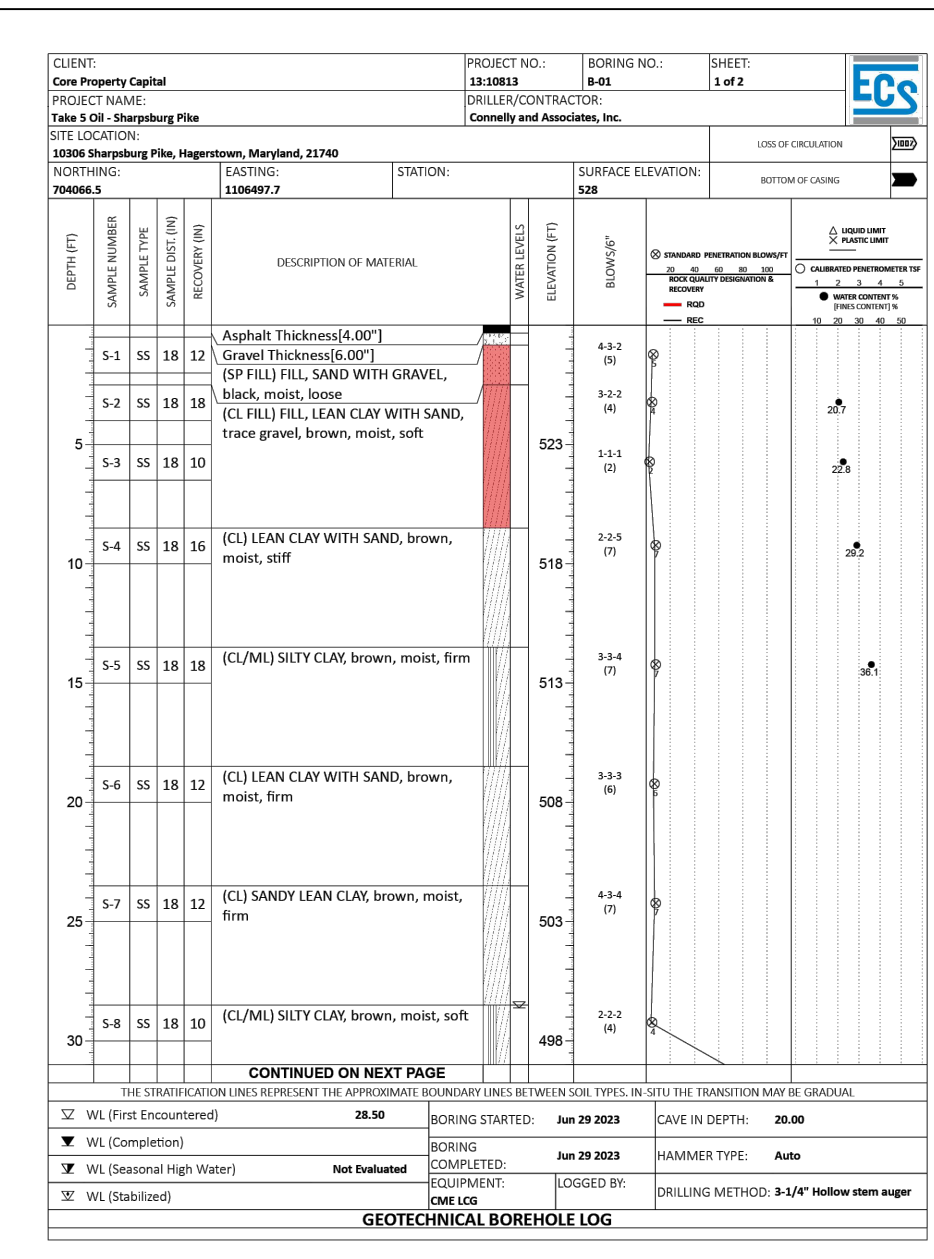
| | |
|---------------------------|--|
| TAX MAP - GRID - PARCEL | 0057-0010-0018 |
| ELECTION DISTRICT | 10 |
| ACCOUNT NUMBER | 010969 |
| LIBERY / FOLIO | 06013 / 00270 |
| AREA SUMMARY: | |
| PARCEL | 0.27 Ac |
| DISTURBED AREA | 21,780 SF / 0.50 Ac |
| EXISTING IMPERVIOUS | 11,761 SF / 0.27 AC (100%) |
| PROPOSED TOTAL IMPERVIOUS | 9,583 SF / 0.22 AC (81%) |
| BUILDING SUMMARY: | |
| FOOTPRINT | 1,336 SF |
| OFFICE SPACE | 500 SF |
| AUTO SERVICE SPACE | 836 SF |
| HEIGHT | +1.27 FT |
| PROPOSED USE | AUTO SERVICE STATION |
| HOURS OF OPERATION | MON. THRU FRI: 7AM-7PM, SAT: 8AM-6PM, SUN: 9AM-5PM |
| EMPLOYEE SUMMARY: | |
| VEHICLE SERVICE | 3 |
| WATER & SEWER USAGE: | |
| WATER PROVIDED | CITY OF HAGERSTOWN WATER DIVISION |
| SEWER PROVIDED | WASHINGTON COUNTY DEPT. OF WATER QUALITY |
| EXISTING ALLOCATION | 200 GPD |
| PROPOSED ALLOCATION | 200 GPD |
| WASTE & RECYCLABLES: | |
| SOLID WASTE REMOVAL | ON SITE DUMPSTER |
| RECYCLE REMOVAL | ON SITE DUMPSTER |
| SITE LIGHTING: | |
| EXISTING | NONE |
| PROPOSED | POLE & BUILDING MOUNTED |
| SITE SIGNAGE: | |
| EXISTING | POLE & BUILDING MOUNTED |
| PROPOSED | BUILDING MOUNTED |
| ADDRESS ASSIGNMENT | 10306 SHARPSBURG PIKE HAGERSTOWN, MD 21740 |
| WAIVER AND/OR VARIANCE | NONE |
| FOREST CONSERVATION | EXEMPT; LOT AREA IS LESS THAN 0.50 AC. |
| WATERSHED: | |
| NAME | ANTIETAM CREEK |
| NUMBER | 02-14-05-02 |
| FEMA PANEL # | 24043C0305D |

LEGEND



LEGEND - ABBREVIATIONS

| | | | |
|--------|--|------|----------------------------------|
| AASHTO | AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS | OC | ON CENTER |
| ADS | ADVANCED DRAINAGE SYSTEM | PC | POINT OF CURVE |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | PCC | POINT OF COMPOUND CURVE |
| AWWA | AMERICAN WATER WORKS ASSOCIATION | PGL | PROPOSED GRADE LINE |
| BLDG | BUILDING | PRC | POINT OF REVERSE CURVE |
| BOT | BOTTOM | PT | POINT OF TANGENT |
| CIP | CAST IRON PIPE | PVC | POINT OF VERTICAL CURVE |
| CL | CENTERLINE | PVI | POINT OF VERTICAL INTERSECTION |
| CMP | CORRUGATED METAL PIPE | PVT | POINT OF VERTICAL TANGENT |
| CO | SANITARY SEWER CLEAN-OUT | ROW | RIGHT-OF-WAY |
| COMM | COMMUNICATION | SAN | SANITARY |
| CONC | CONCRETE | SCE | STABILIZED CONSTRUCTION ENTRANCE |
| DA | DRAINAGE AREA | SDR | STANDARD DIMENSION RATIO |
| DIA | DIAMETER | SIP | SET IRON PIN |
| EGL | EXISTING GRADE LINE | SD | STORM DRAINAGE |
| EX | EXISTING | SDMH | STORM DRAIN MANHOLE |
| EIP | EXISTING IRON PIN | SE | SQUARE FEET |
| FFE | FINISH FLOOR ELEVATION | SS | SANITARY SEWER |
| FH | FIRE HYDRANT | SSMH | SANITARY SEWER MANHOLE |
| GV | GATE VALVE | STA | STATION |
| HGL | HYDRAULIC GRADE LINE | STD | STANDARD |
| HDPE | HIGH DENSITY POLYETHYLENE | SY | SQUARE YARDS |
| INV | INVERT | TAN | TYPE AS NOTED |
| LF | LINEAR FEET | TEMP | TEMPORARY |
| MAX | MAXIMUM | TS | TOP OF STRUCTURE |
| MB | MAIL BOX | TG | TOP OF GRATE |
| MIN | MINIMUM | TR | TOP OF RIM |
| MJ | MECHANICAL JOINT | TYP | TYPICAL |
| NO | NOT IN CONTRACT | UP | UTILITY POLE |
| NTS | NOT TO SCALE | VIF | VERIFY IN FIELD |
| OAC | OR APPROVED EQUAL | WL | WATERLINE |
| | | WM | WATER METER |
| | | WV | WATER VALVE |



Professional Engineer
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland.
License # 2859
Expiration Date: 04/15/2024

FREDERICK SEIBERT & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

1401 W. 10th St.
HAGERSTOWN, MD 21740
301.797.1007

| DATE | REVISION | DESCRIPTION |
|------------|----------|-------------|
| 11.17.2023 | | |

REVIEWED PER AGENCY COMMENTS

TAKE 5 OIL
LOCATED AT 10306 SHARPSBURG PIKE
HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
1540 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30308
ATTN: ELIZABETH WENIG, EMAIL: EWENIG@COREPROPERTIASCAPITAL.COM, PHONE: 770.295.8944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | N.T.S. |

GENERAL NOTES
C-002
SHEET 02 OF 11

SEQUENCE OF CONSTRUCTION

- Pre-Construction Notification - The contractor shall notify the Washington County Soil Conservation District (301-797-6821), Washington County Division of Construction (240-313-2600), Maryland State Highway Administration (301-729-9465) and Frederick Seibert & Associates (301-791-3650) at least 5 days prior to start of any work shown on these plans to schedule a pre-construction meeting. All borrow material must come from and/or go to a site with a current and approved Sediment and Erosion Control Plan.
- Site Benchmark Notification - The contractor shall contact Frederick Seibert & Associates (301-791-3650) prior to any construction activities beginning at the site to verify the site benchmark.
- Prior to beginning construction limit of disturbance to be staked.
- Note: Any excavated material hauled offsite must be taken to a site with an approved permit from the Maryland Department of the Environment to accept contaminated soil.
- Contractor to access site through existing paved driveway. If tracking of mud onto public roads becomes an issue, a stabilized construction entrance may be required.
 - Contractor to install perimeter controls as shown on plans.
 - With perimeter controls in place, contractor to begin site demolition. Material to be hauled offsite and must go to an MDE approved site.
 - Contractor to begin rough grading site. As site is brought to grade, contractor to install utilities as shown on plans.
 - Contractor to prepare for building pads.
 - Contractor to install storm drain system from MH1 to SD2. Inlet protection to be installed on inlet SD1 and SD2.
 - Contractor to begin building construction. Upon completion of building contractor to pave site.
 - After the site has been stabilized, the contractor shall contact the Washington County Soil Conservation District (301-797-6821), the Washington County Inspector (240-313-2460), and design engineer (301-791-3650) for an interim inspection of the micro bioertenters before placing the filtering media in micro bioertenters facilities.
 - Contractor shall use light-weight equipment to avoid compaction of the filtering media during construction. No equipment shall be permitted on the BMPs after the soil layer has been installed.
 - Contractor to landscape site as shown on plans and seed and mulch any disturbed areas.
 - Contact the Washington County Soil Conservation District (301-797-6821) to verify site is adequately stabilized before removing perimeter controls.
 - Remove all sediment control devices and stabilize any disturbed area.

- General E&S Notes:**
- Contractor to only open up length of trench that can be constructed and backfilled in one working day in paved areas.
 - Contractor to remove excavated materials to an approved location to waste materials.
 - All fill material should be brought from a location with an approved and current sediment erosion control plan.
 - Contractor to backfill trench with approved materials and stabilize disturbed areas the same working day.
 - If dewatering of the trench is required, contractor to pump water to a filter bag to dewater.
 - Contractor to sweep streets immediately of any debris or sediments caused by construction operations and dispose of at an approved location.
 - Contractor to stabilize all disturbed areas with seed and mulch or appropriate street repair.
 - All slopes 3:1 or greater to be stabilized with temporary matting immediately.
 - Place 4" minimum topsoil in all green areas before permanent seeding is performed.
 - The USDA soil survey of Washington County shows the soils on this site as being karst landscape soils. Please be alert to the possibility of sinkhole formation.
 - All sinkholes that are present or develop during construction must be remediated and certified by the site Geotechnical Engineer. Contractor to contact Geotechnical Engineer immediately after the discovery of any sinkhole.

- NOTE:**
- ALL TEMPORARY SLOPE MATTING TO BE NORTH AMERICAN GREEN 5758N BIONET OR EQUIVALENT.
 - ALL PERMANENT SLOPE MATTING TO BE NORTH AMERICAN GREEN P300 ERONET OR EQUIVALENT.

FILTER LOG TABLE

| TYPE | NUMBER | LENGTH (FT) | AVERAGE SLOPE (%) | SLOPE LENGTH (FT) | MAX SLOPE LENGTH (FT) | DETAIL REFERENCE |
|------------|--------|-------------|-------------------|-------------------|-----------------------|------------------|
| FILTER LOG | 1 | 173 | 2.00 | 65 | UNLIMITED | 05/C-501 |

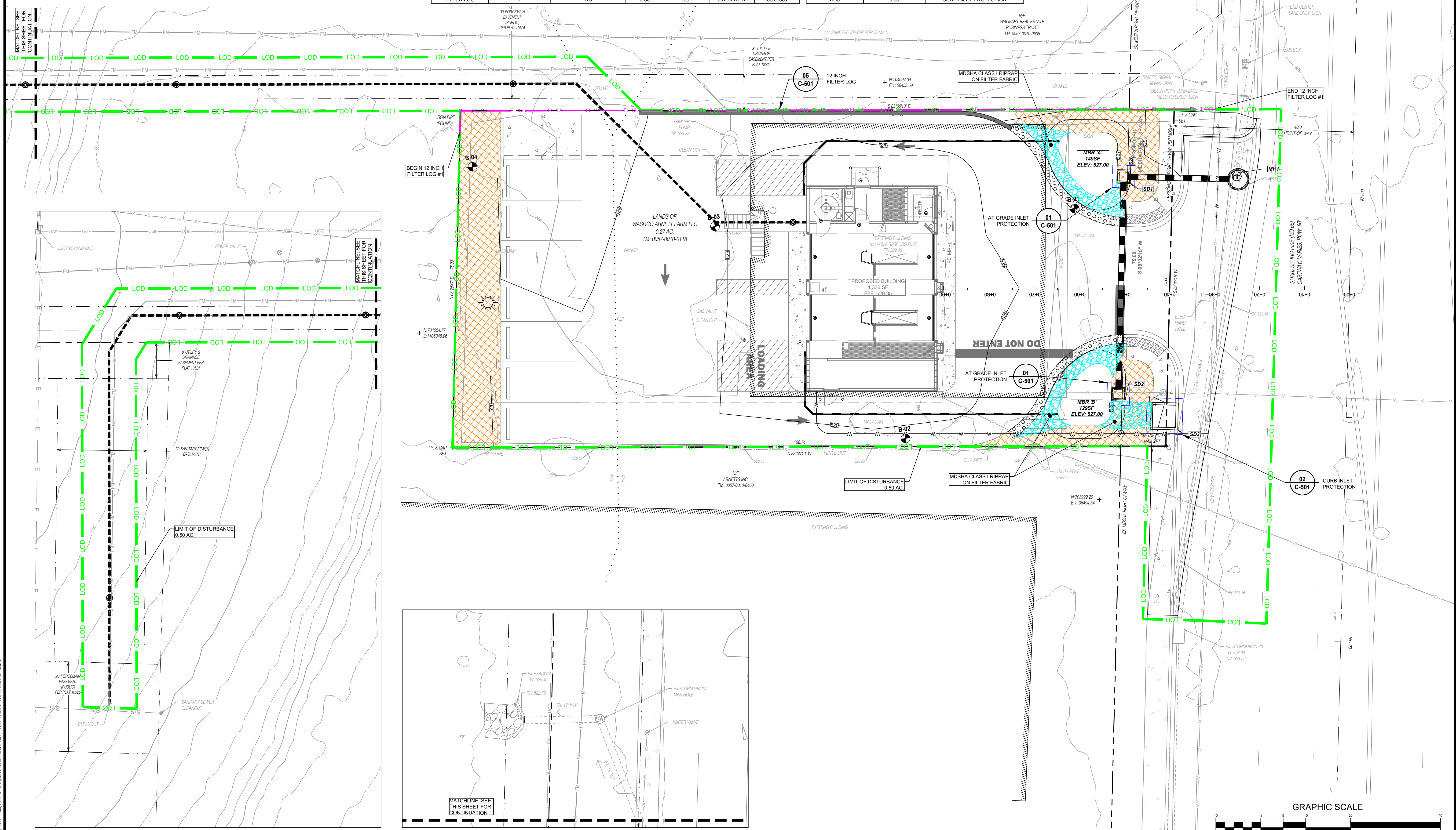
INLET PROTECTION TABLE

| INLET ID | DRAINAGE AREA (AC.) | PROTECTION TYPE |
|----------|---------------------|---------------------------|
| SD1 | N/A | AT GRADE INLET PROTECTION |
| SD2 | N/A | AT GRADE INLET PROTECTION |
| SD3 | 0.08 | CURB INLET PROTECTION |

LEGEND

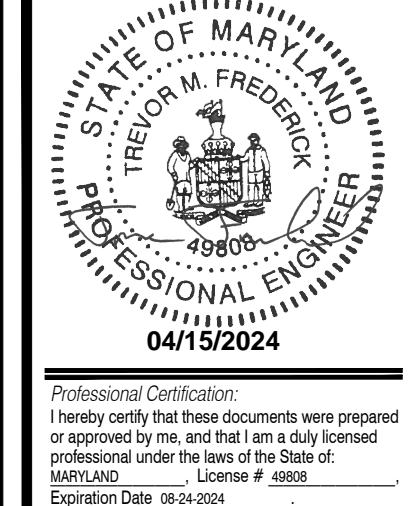
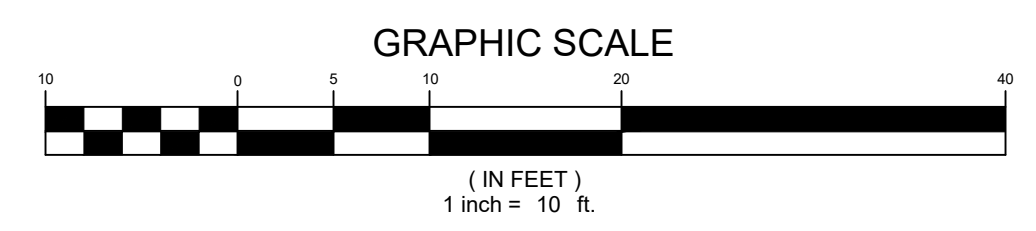
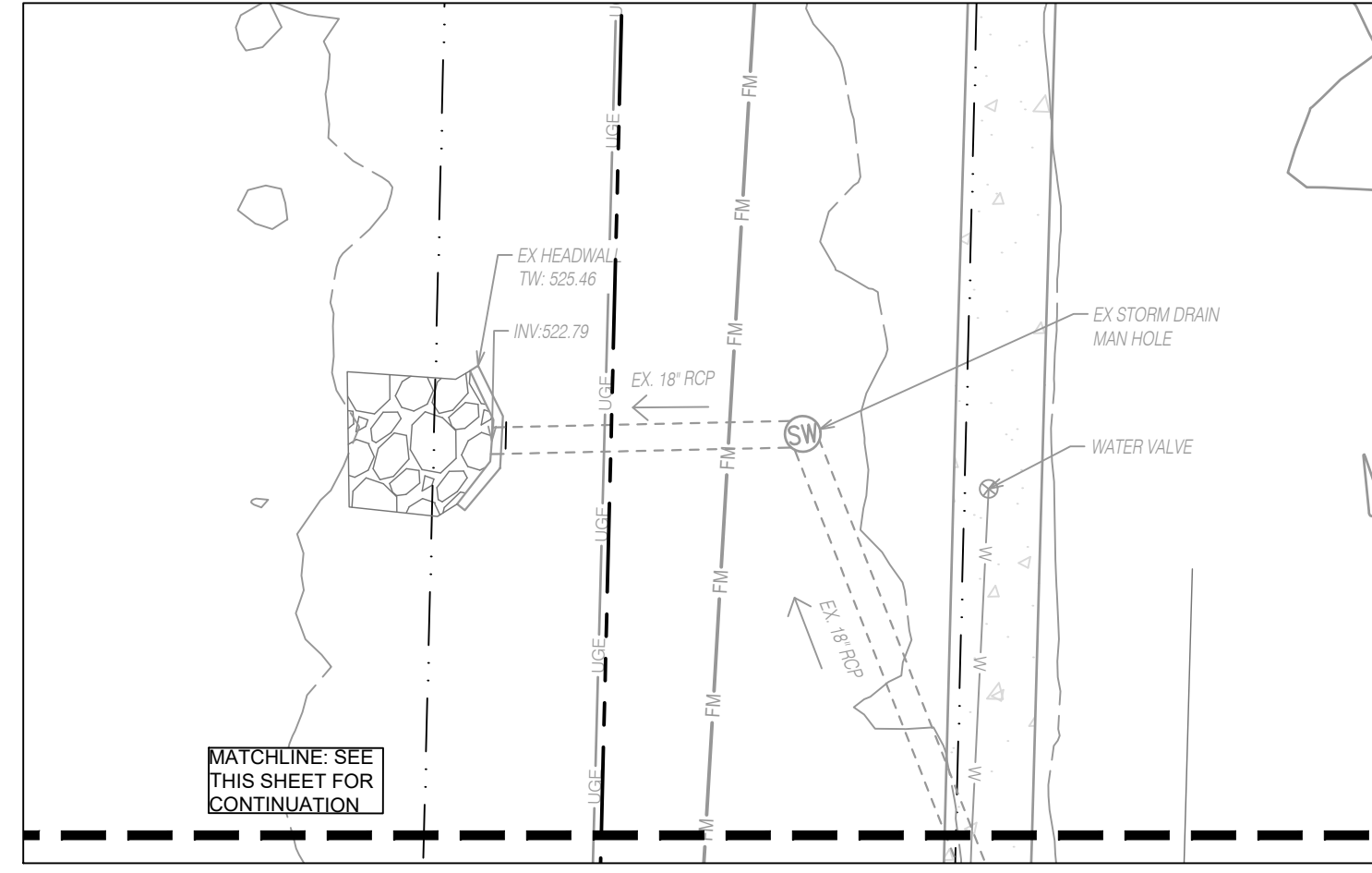
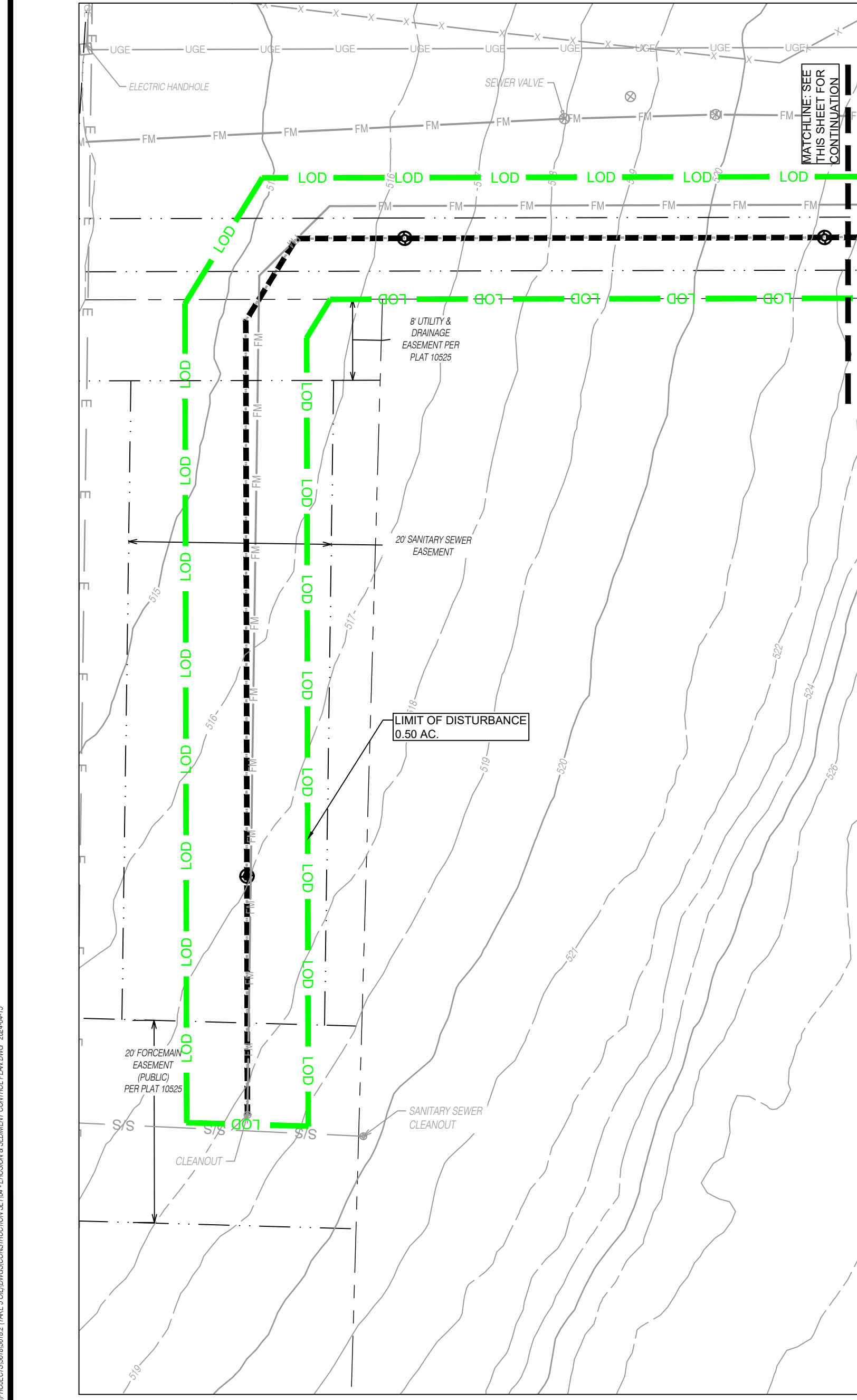
- FL-12 - 12 INCH FILTER LOG
- LOD - LIMIT OF DISTURBANCE (0.50 AC)
- PERMANENT SEEDING & STRAW AND NET MATTING
- RIPRAP INFLOW/ OUTLET PROTECTION
- EXISTING CONTOURS
- EXISTING TEXT
- FINISHED GRADE SPOT ELEVATION
- FINISHED GRADE INDEX CONTOUR
- FINISHED GRADE INTERMEDIATE CONTOUR
- SOIL BOUNDARY

MATCHLINE: SEE THIS SHEET FOR CONTINUATION



MATCHLINE: SEE THIS SHEET FOR CONTINUATION

MATCHLINE: SEE THIS SHEET FOR CONTINUATION



FSA
 FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

138 SOUTH POTOMAC STREET
 SUITE 200 BALTIMORE STREET
 WASHINGTON, D.C. 20004
 301.791.3650

REVISIONS

| DATE | DESCRIPTION |
|------------|-------------|
| 11.17.2023 | |
| 02.02.2024 | |

TAKE 5 OIL
 LOCATED AT 10308 SHARPSBURG PIKE
 HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
 CORE PROPERTIES CAPITAL, LLC
 3540 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30328
 ATTN: ELIZABETH WENGER, EMAIL: EWENGER@COREPROPERTICAPITAL.COM, PHONE: 770.255.8944

PROJECT INFORMATION

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | 1" = 10' |
| SHEET TITLE | |

EROSION & SEDIMENT CONTROL PLAN

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
 This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest addition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION
 This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

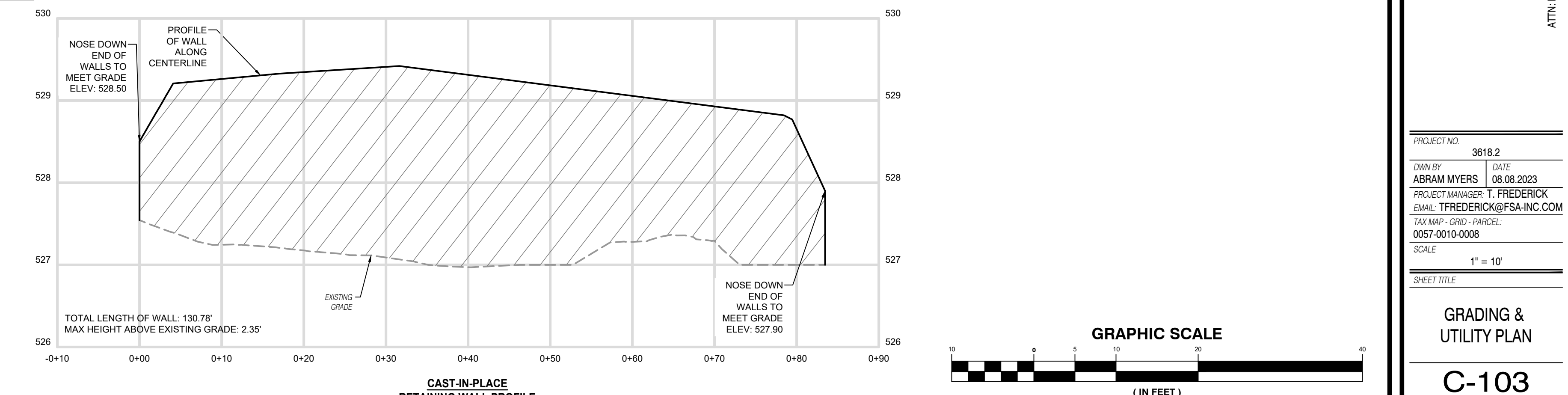
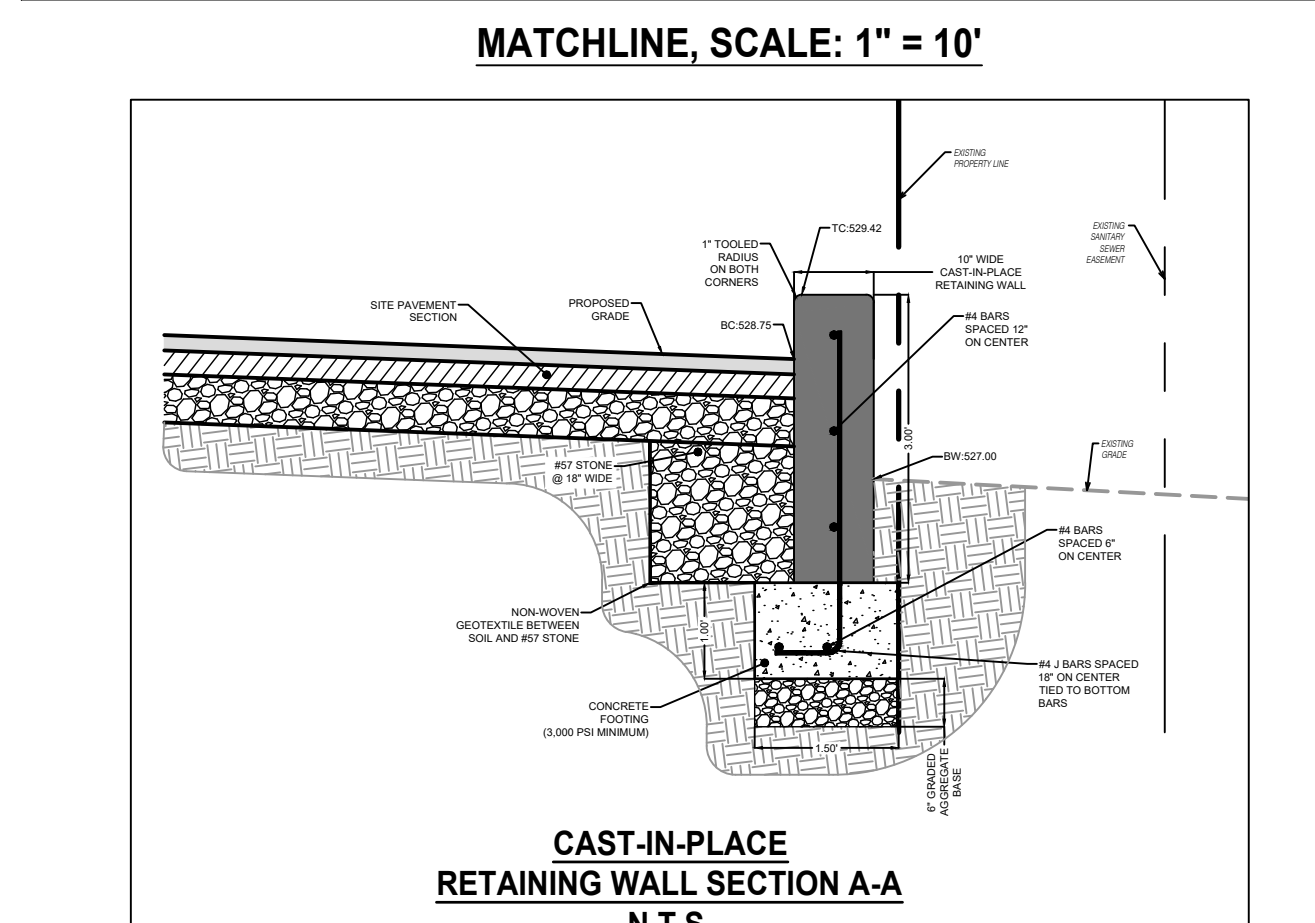
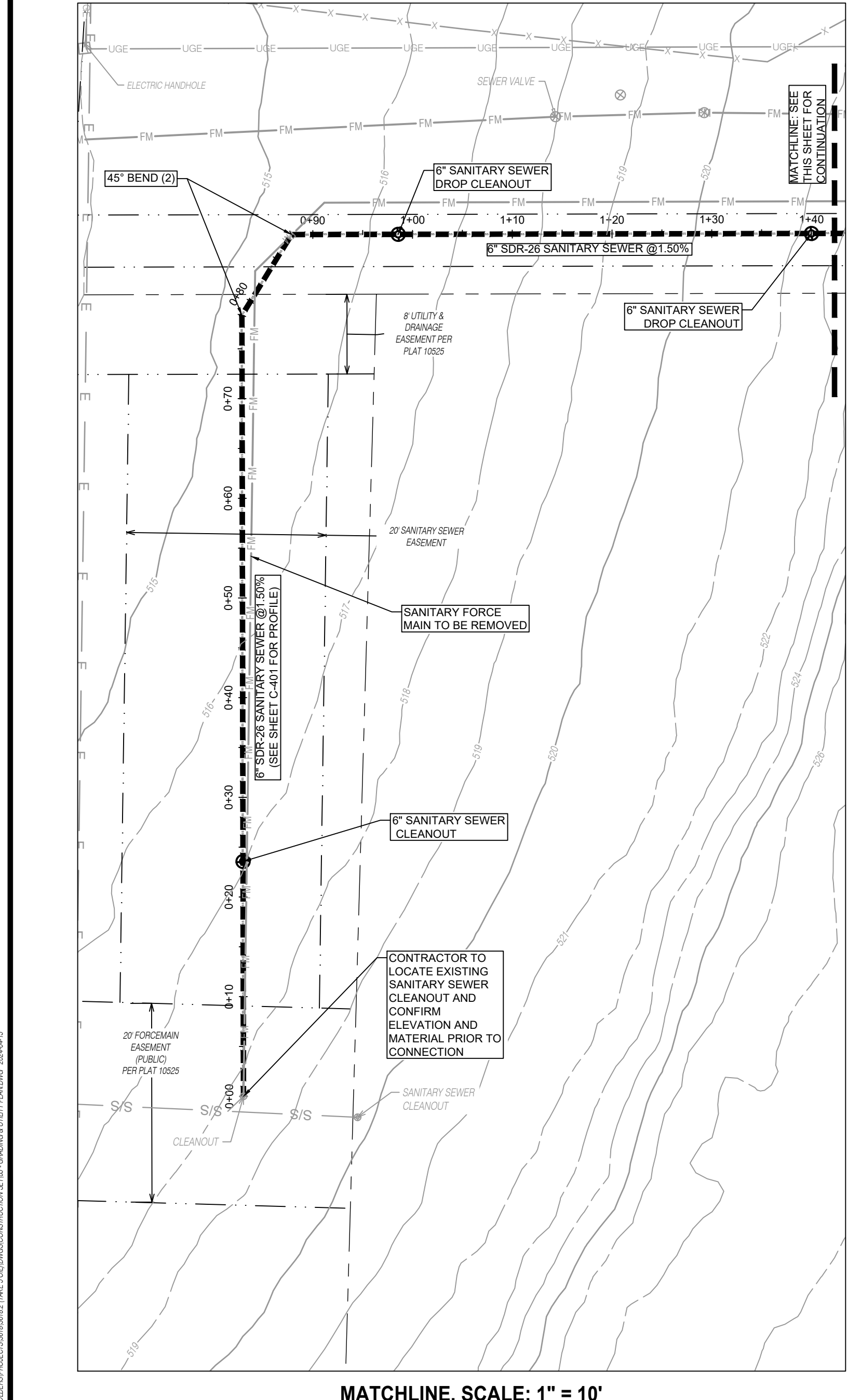
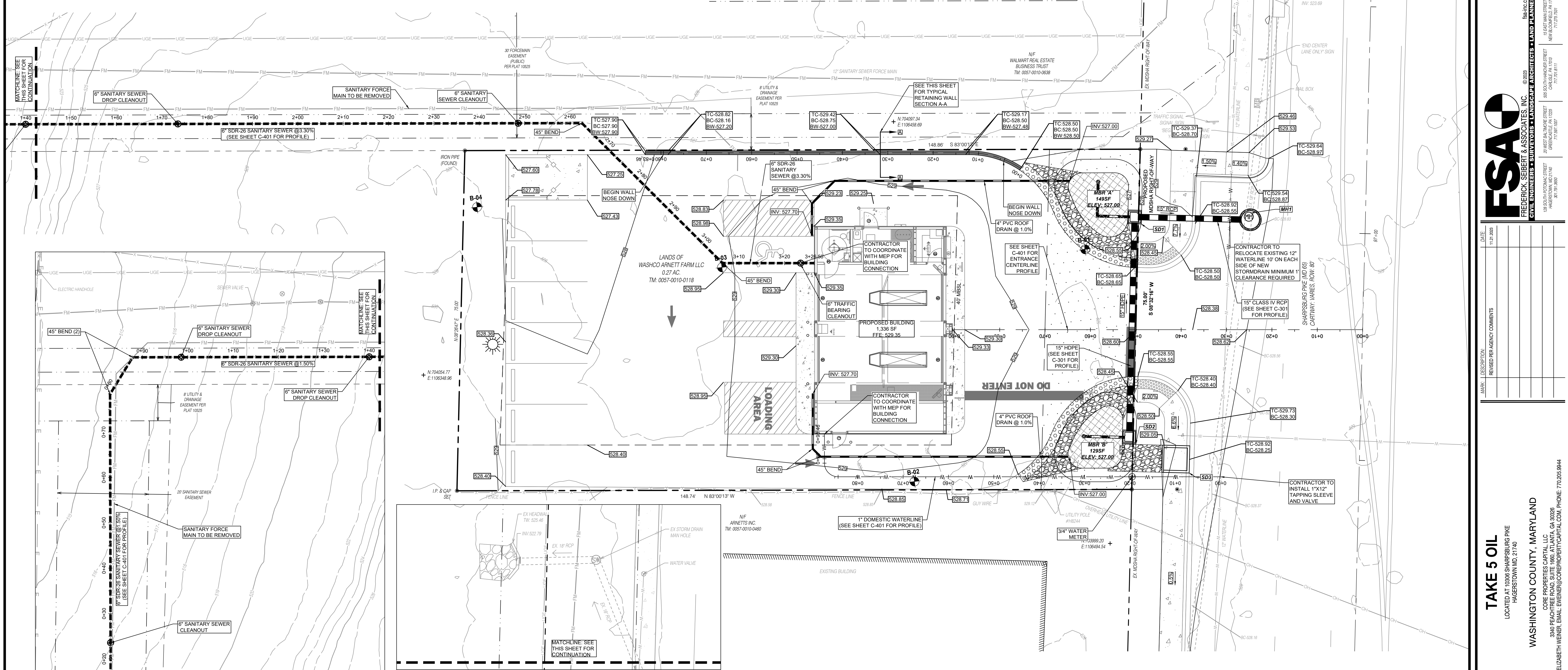
Utility Notes:
 U.1. All fittings, bends, and appurtenances shall be installed with proper and required concrete buttresses. All dead end services shall be properly capped and buttressed.
 U.2. All underground water lines are to be installed with 3' - 6" of cover below finished grade.
 U.3. All sewer lines to be PVC-SDR-26.
 U.4. All bedding and embedment material and compaction shall meet Water specifications.
 U.5. The owner/developer or his engineer is required to supply the Water Division with one (1) set of mylars and three (3) sets of prints approved and signed by the Water & Sewer Department Manager after final approval and prior to the start of construction.
 U.6. The owner/developer or his engineer is required to supply the Water & Sewer Department with acceptable, reproducible "as-builts" prior to final acceptance and dedication of the proposed sanitary sewer lines. Prints of "as-builts" are a requirement of the Department of the Environment.
 U.7. The contractor shall verify the location and elevation of existing utilities before starting construction.
 U.8. The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.
 U.9. Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.
 U.10. Tracer wire to be installed with all 3" PVC waterline.

A CONSTRUCTION PERMIT SHALL BE OBTAINED FROM THE CITY OF HAGERSTOWN UTILITIES DEPARTMENT PRIOR TO BEGINNING CONSTRUCTION OF THE WATERLINE. CONTACT THE UTILITIES ENGINEERING DEPARTMENT AT 301-739-8577, EXT 653 FOR THE PERMIT APPLICATION

STORMWATER MANAGEMENT EASEMENT

| NAME | NORTHING | EASTING | RIM ELEV(FT) | INVERT-IN ELEV(FT) | INVERT-OUT ELEV(FT) | STRUCTURE ID | MDSHA DETAIL # |
|------|-----------|------------|--------------|--------------------|---------------------|------------------------------|----------------|
| SD1 | 704069.93 | 1106508.82 | 527.50 | 524.07 | 524.07 | MDSHA YARD INLET | MD-381.02 |
| SD2 | 704021.98 | 1106501.63 | 527.50 | N/A | 524.30 | MDSHA YARD INLET | MD-381.02 |
| SD3 | 704015.41 | 1106514.20 | 528.92 | 528.25 | N/A | MDSHA COG TYPE I (6"X5.67"W) | MD-374.68 |
| MH1 | 704066.15 | 1106534.03 | 528.80 | 523.95 | 523.95 | MDSHA STANDARD 48" MANHOLE | MD-384.01 |

| DN STRUCTURE | UP STRUCTURE | DOWN INVERT (FT) | UP INVERT (FT) | LENGTH (FT) | SLOPE (%) | MATERIAL | SIZE (IN) |
|--------------|--------------|------------------|----------------|-------------|-----------|--------------|-----------|
| SD1 | SD2 | 524.07 | 524.30 | 47.98 | 0.50 | HDPE | 15.0 |
| MH1 | SD1 | 523.95 | 524.07 | 22.83 | 0.50 | CLASS IV RCP | 15.0 |



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 CIVIL ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS • LAND PLANNERS

| DATE | DESCRIPTION | REVIEW/REVISION COMMENTS |
|------------|-------------|--------------------------|
| 11.17.2023 | | |

TAKE 5 OIL
 LOCATED AT 10528 SHARPSBURG PIKE
 HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
 CORE PROPERTIES CAPITAL, LLC
 3540 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30328
 ATTN: ELIZABETH WEAVER, EMAIL: EWEAVER@COREPROPERTICAPITAL.COM, PHONE: 770.205.8944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | 1" = 10' |
| SHEET TITLE | |

GRADING & UTILITY PLAN
C-103
 SHEET 05 OF 11

| HATCH LEGEND | | |
|--------------|---------------------------|--------------|
| HATCH | DESCRIPTION | SHEET/DETAIL |
| [Pattern] | SITE PAVEMENT | C-104/03 |
| [Pattern] | MDSHA FULL DEPTH PAVEMENT | C-104/06 |
| [Pattern] | MILL AND OVERLAY | C-104/02 |
| [Pattern] | CONCRETE SIDEWALK | C-104/05 |
| [Pattern] | DUMPSTER PAD | C-104/07 |
| [Pattern] | GORE HATCHING | N/A |

STRIPING NOTES:

- FINAL APPLICATION OF WHITE AND YELLOW WATERBORNE PAVEMENT MARKINGS SHALL BE AFTER COMPLETION OF ALL ASSOCIATED PROJECT ROADWAY CLEAN-UP.
- ALL LONGITUDINAL WATERBORNE PAVEMENT MARKINGS SHALL REQUIRE TWO COATS.

STRIPING LEGEND:

- A 24" WHITE STOP BAR
- B WHITE LINE FOR PARKING
- C WHITE DIRECTIONAL ARROW
- D WHITE ADA SYMBOL

EXISTING MDSHA IMPERVIOUS AREA
WITHIN SITE IMPROVEMENTS: 0.06 AC.

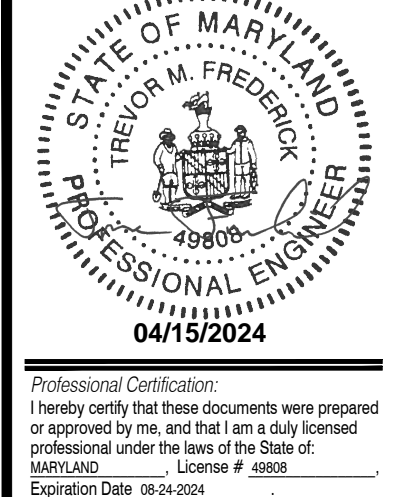
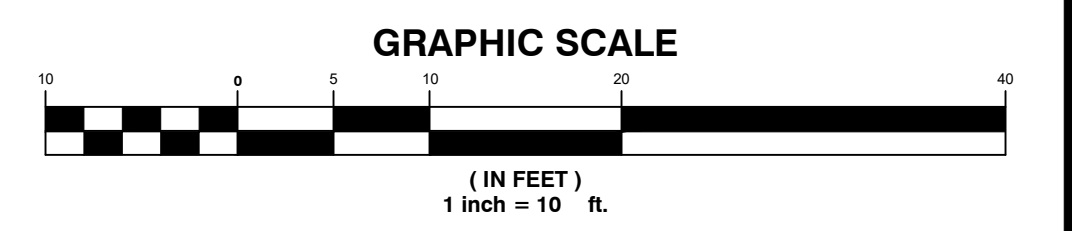
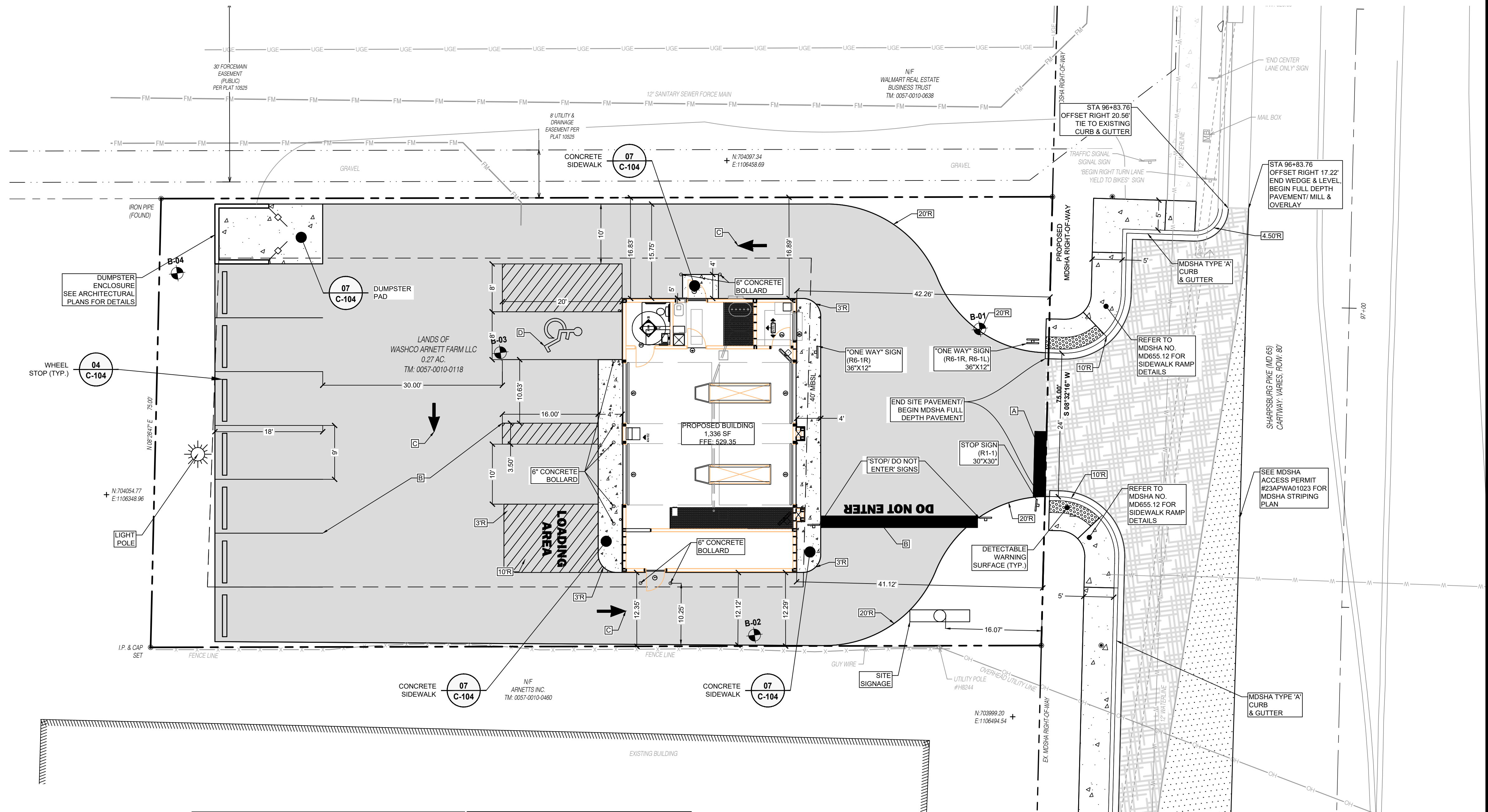
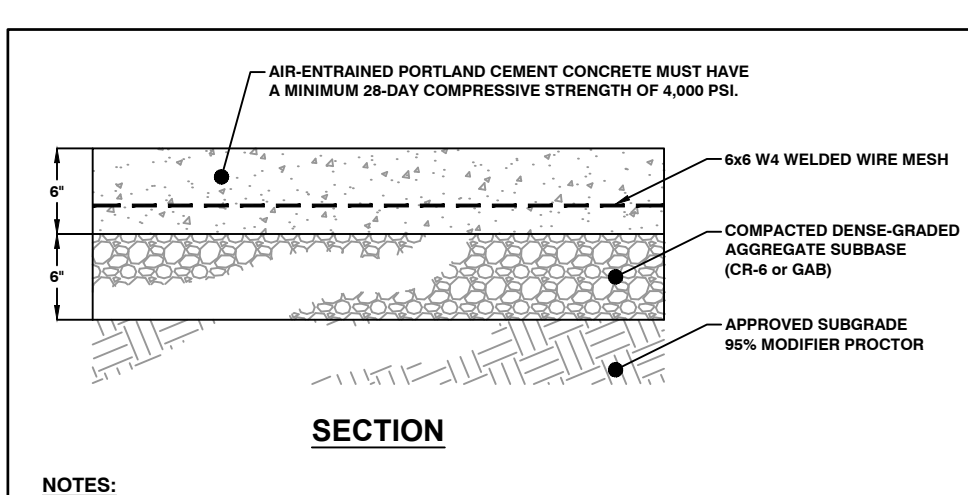
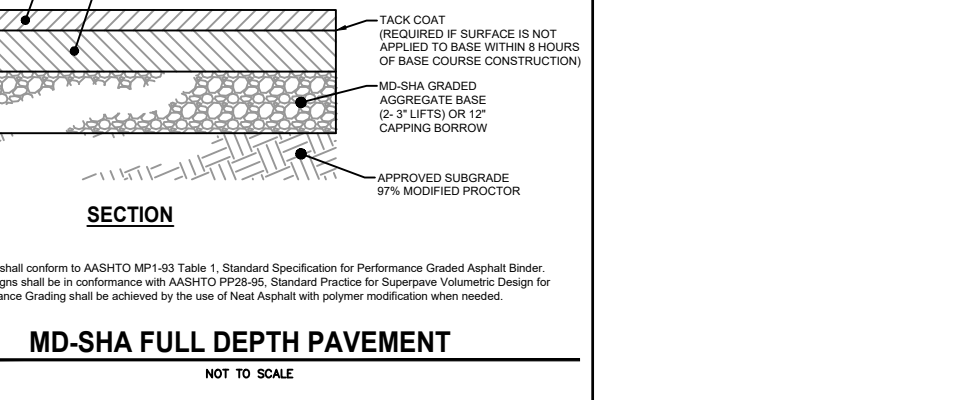
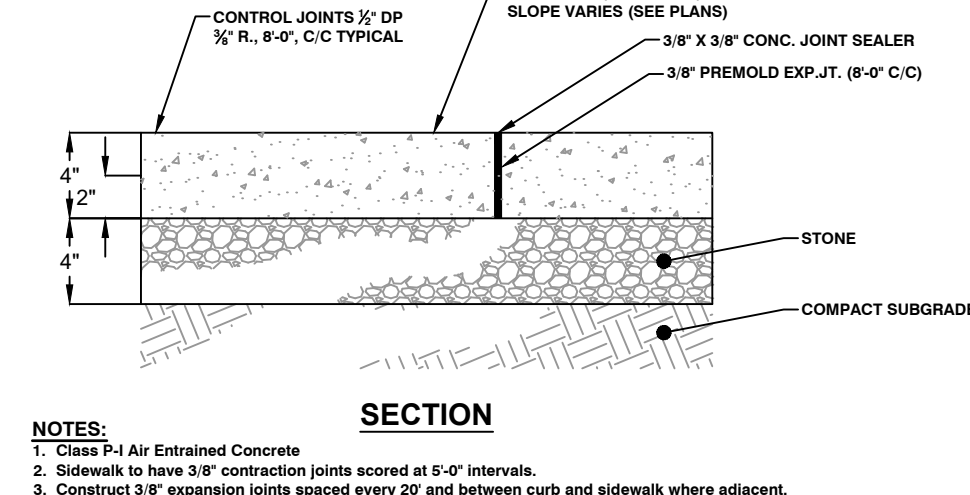
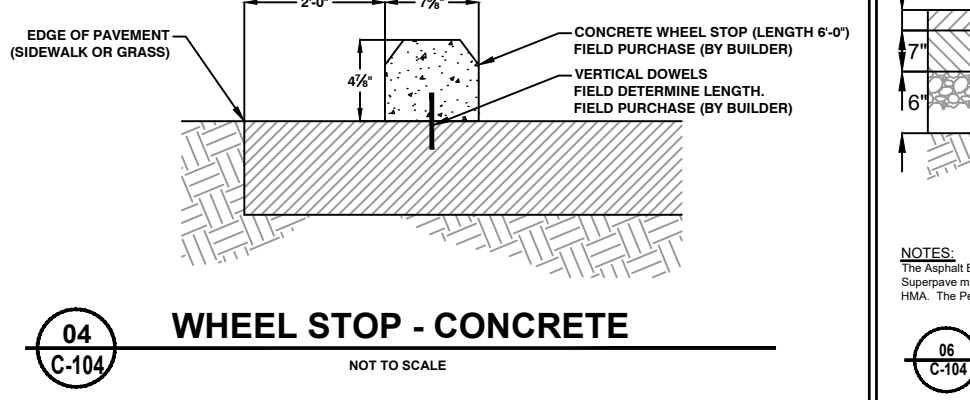
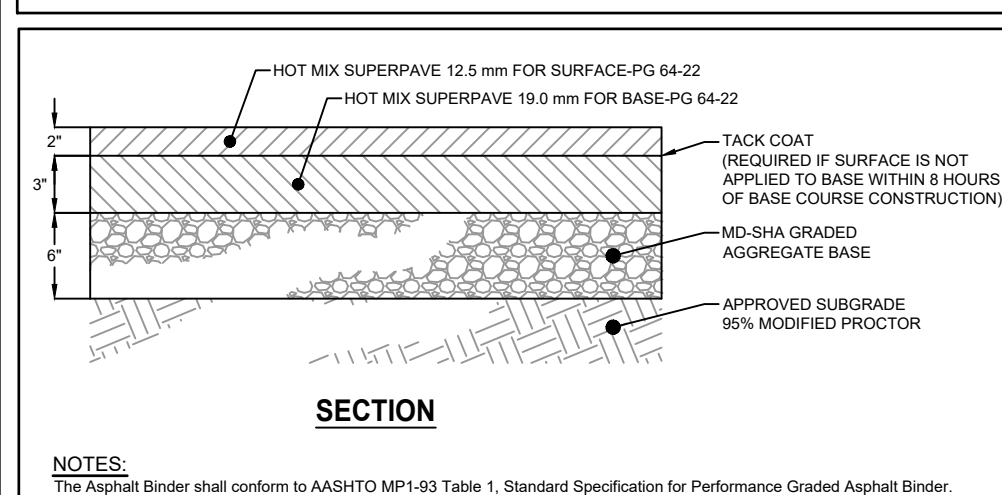
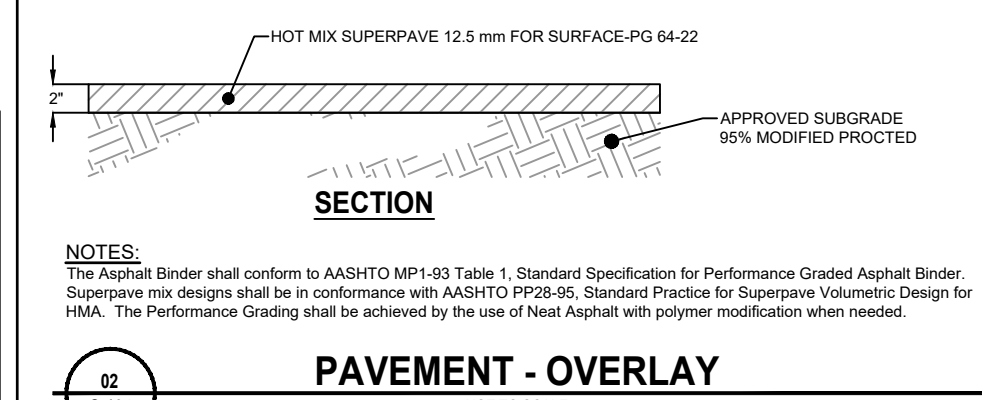
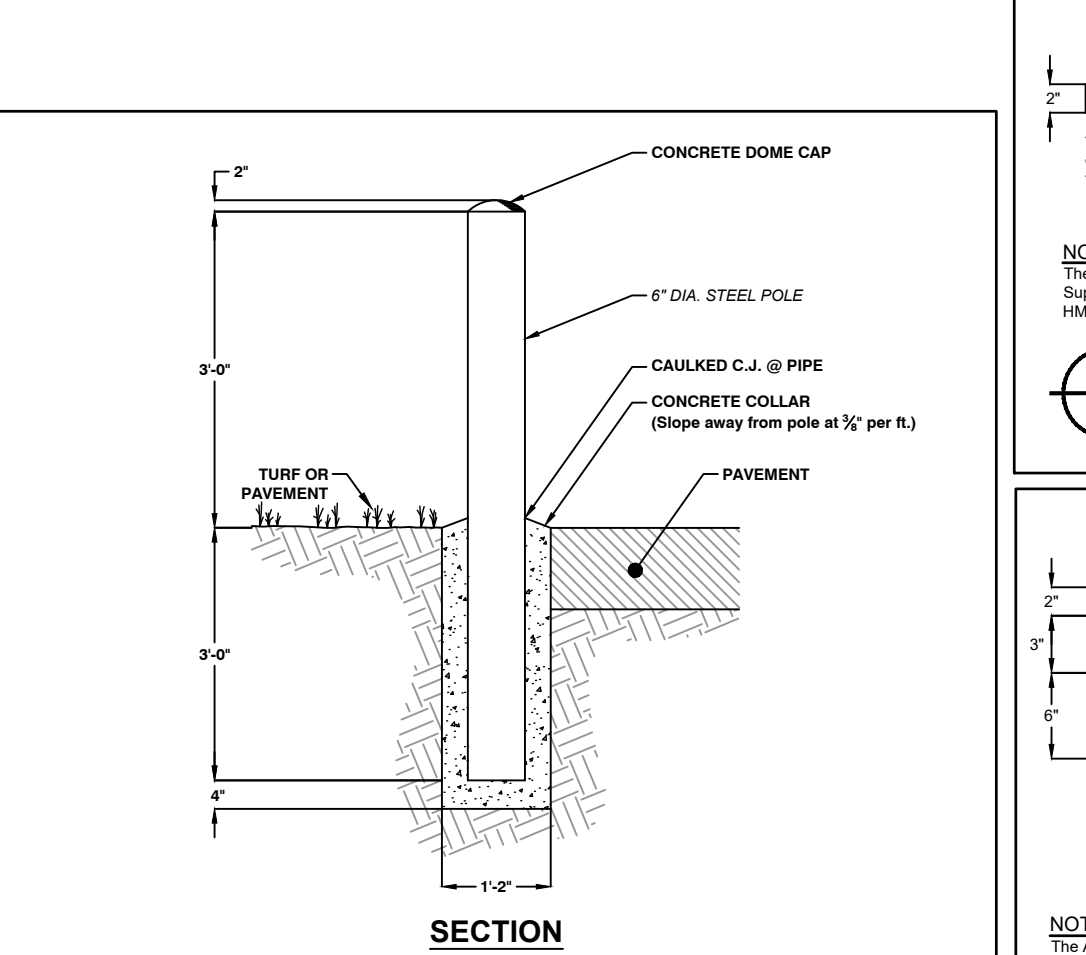
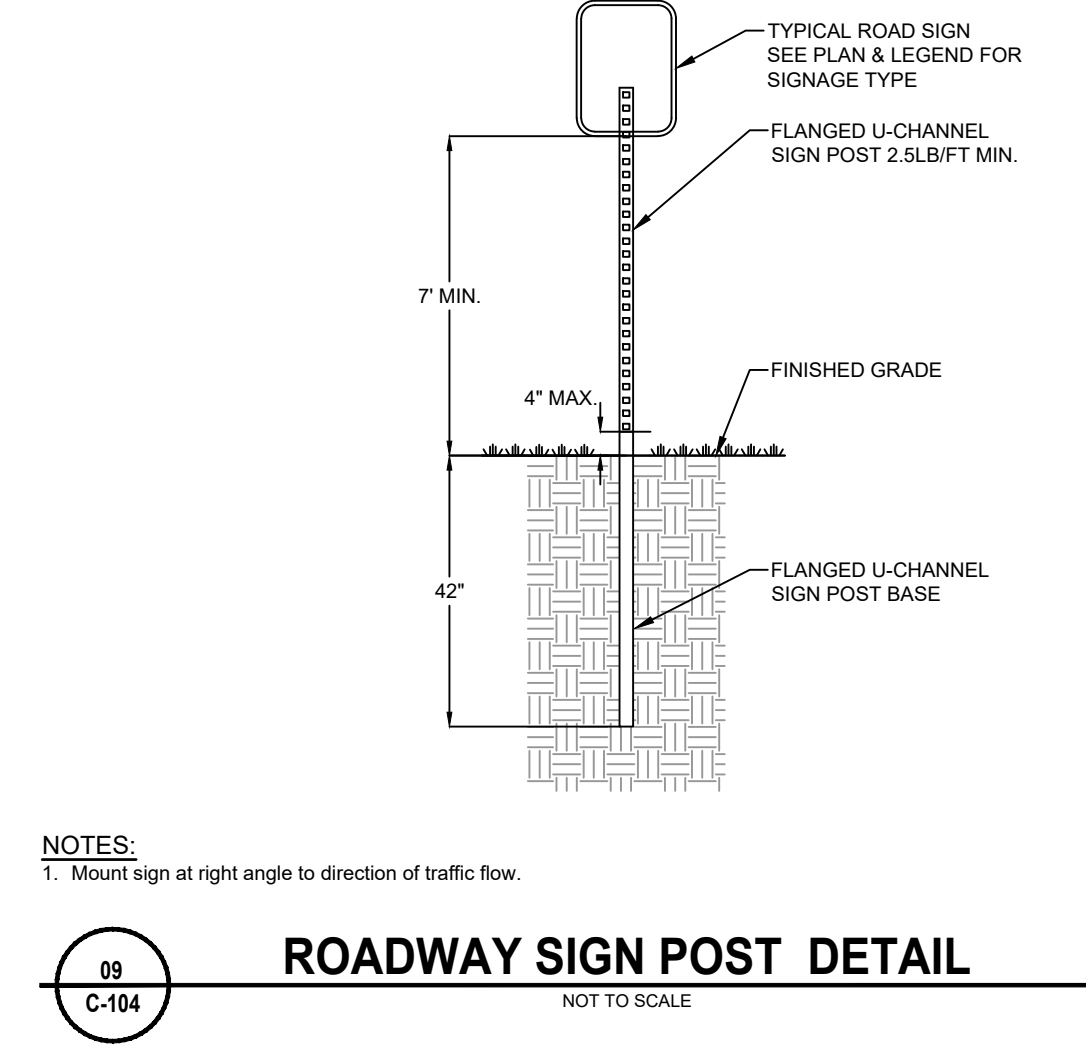
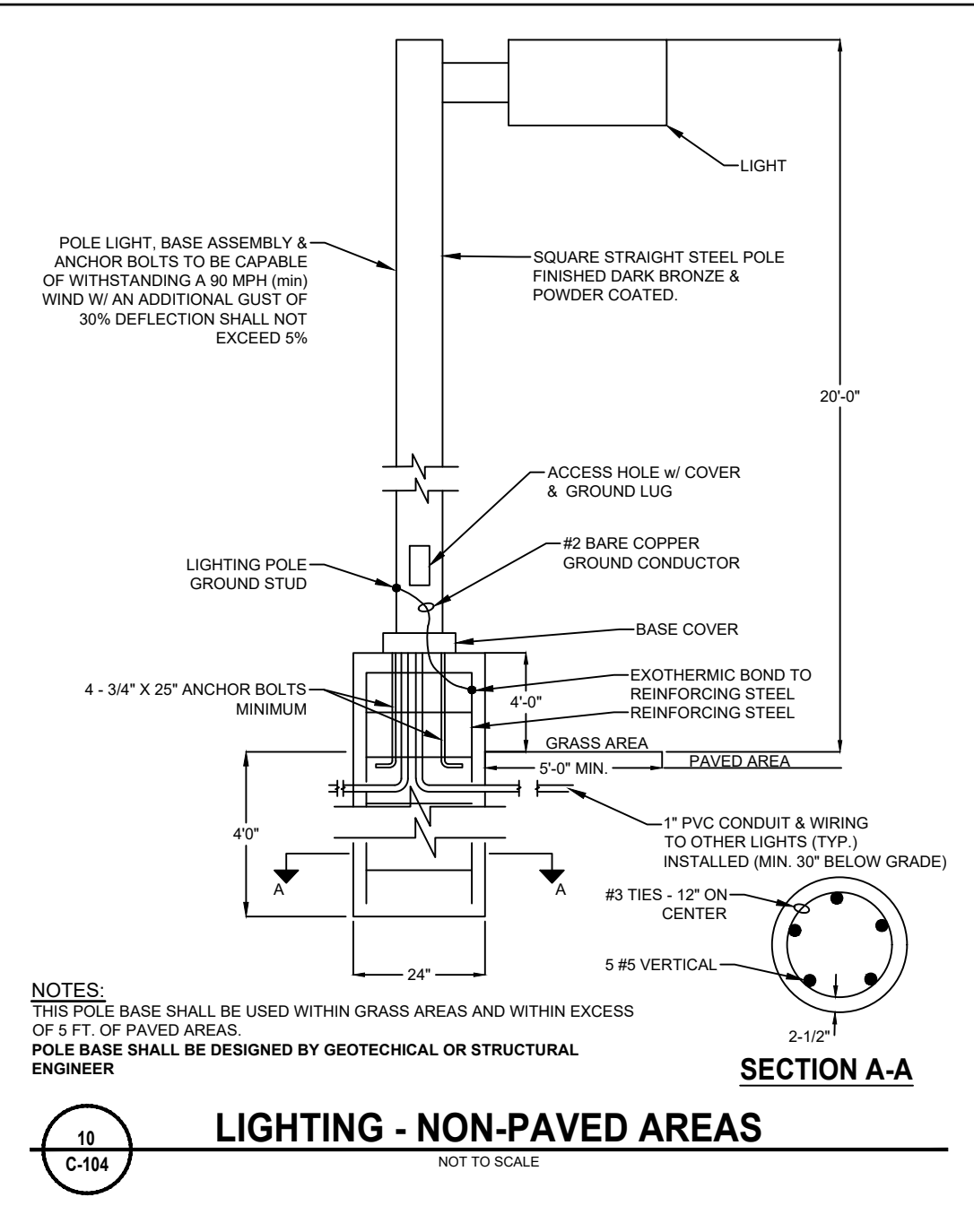
NEW MDSHA IMPERVIOUS AREA
WITHIN SITE IMPROVEMENTS: 0.08 AC.

General Notes

- The Contractor shall be responsible for all coordination with all utility companies.
- All line striping and sign modification will be done by the Developer/Contractor's expense.
- Posted performance security will not be released until all work is completed to the satisfaction of the State Highway Administration.
- HMA shall be milled into all adjoining existing paved sections a minimum 2" depth. Feathering of HMA will not be allowed.
- All material incorporated into the work (HMA, aggregate, seed, etc.) shall meet all applicable SHA specifications.
- Contractor shall contact SHA at least 5 business days before starting work.
- Contractor must get SHA approval before making any changes to approved plans.
- Before beginning work, the Contractor must obtain a State Highway Access Permit.
- The Contractor shall contact Misa Utility a minimum of 72 hours before starting work.
- Contractor shall notify all adjoining property owners at least 2 business days before starting work.
- Any damage to adjoining roads, utilities, private property, etc. caused by the Contractor will be repaired or replaced in kind by the Contractor to the satisfaction of the State Highway Administration.

by the Contractor to the satisfaction of the State Highway Administration.

- Nothing that needs to be removed or relocated to complete the work as shown will be the Contractor's responsibility.
- Traffic control shall be the responsibility of the Contractor and shall be done in accordance with the approved plans and the latest MUTCD. Use MD-104.02-01 AND MD 104.02-03 for traffic control.
- All saw cuts shall be painted in the field by the Contractor and approved by SHA before any cutting is permitted.
- At the end of each work shift, contractor to place safety wedge (MD 104.01-28).
- All pavement markings shall be spotted by the permittee and approved by A.D.E. Traffic for district 6 S.H.A. engineer prior to actual placement of markings. SHA shall be notified 3 work days in advance of the permanent striping to review spotting.
- All proposed signs are to be no less than the 'standard' size according to the S.H.A. sign book. No signs are to be placed using the minimum size. The permittee or contracting representative shall meet with the S.H.A. inspector prior to ordering and placing signs to ensure the proper size is used for the permit.
- The S.H.A. permit inspector needs to be notified 3 work days in advance of the line striping to be placed.
- Signs are to be ground mounted in 4"x4" posts at a minimum height of 7' feet measured from the bottom of the sign.
- Proposed slope grading and traffic barriers will need to be completed prior to removing existing guardrail.



FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS & LAND PLANNERS
128 SOUTH POTOMAC STREET
SUITE 200 BALTIMORE, MD 21201
PH: 410.527.1700
FAX: 410.527.1701

| DATE | REVISION | DESCRIPTION |
|------------|----------|-------------|
| 11.12.2023 | | |

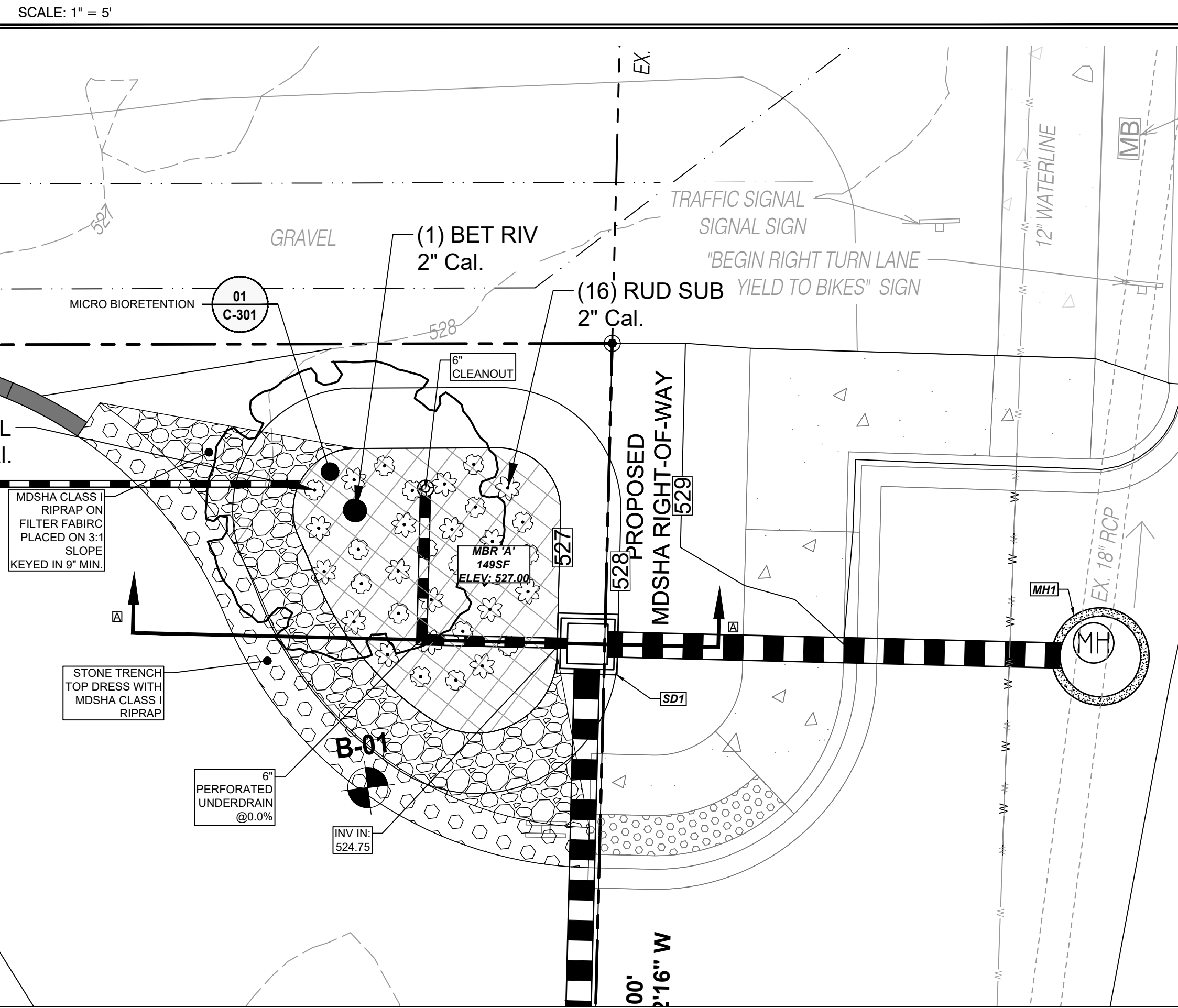
TAKE 5 OIL
LOCATED AT 10588 SHARPSBURG PIKE
HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
3540 PEACHTREE ROAD, SUITE 1600, ATLANTA, GA 30308
ATTN: ELIZABETH WENIGER, EMAIL: EWENIGER@COREPROPERTICAPITAL.COM, PHONE: 770.255.8944

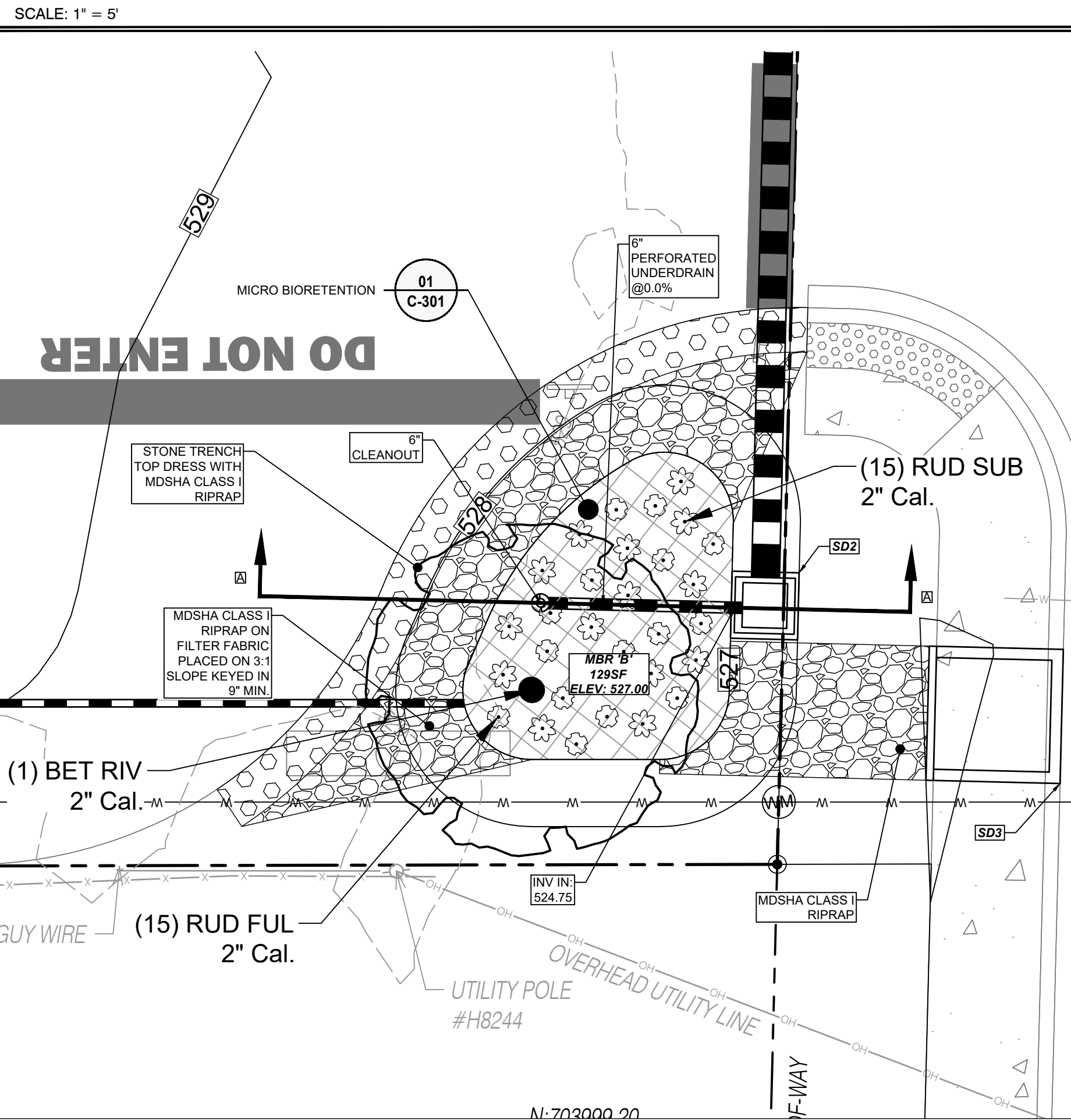
| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | 1" = 10' |
| SHEET TITLE | |

SITE & DIMENSIONING PLAN
C-104
SHEET 06 OF 11

ENLARGEMENT OF MICRO-BIORETENTION 'A'



ENLARGEMENT OF MICRO-BIORETENTION 'B'

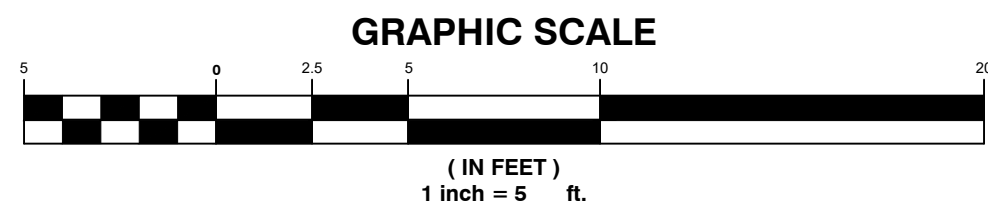


**Notice of Required Stormwater Management Inspections
Micro - Bioretention Facilities**

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

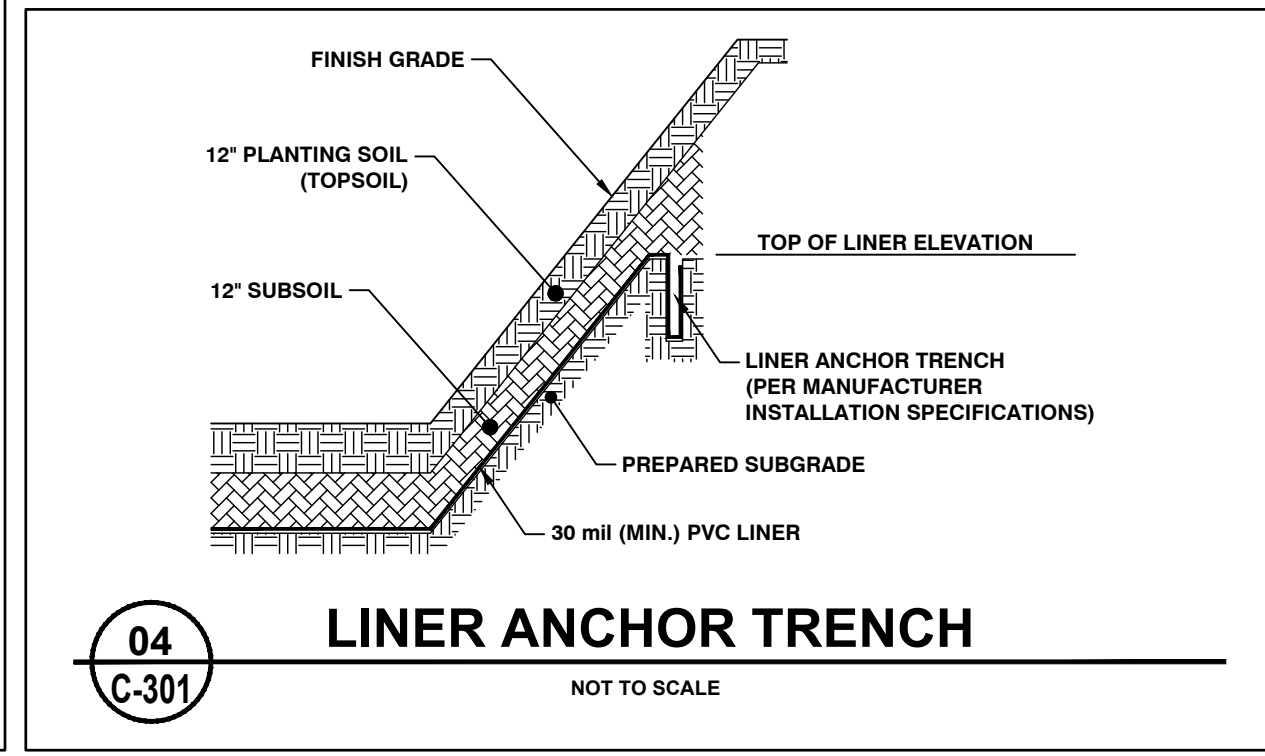
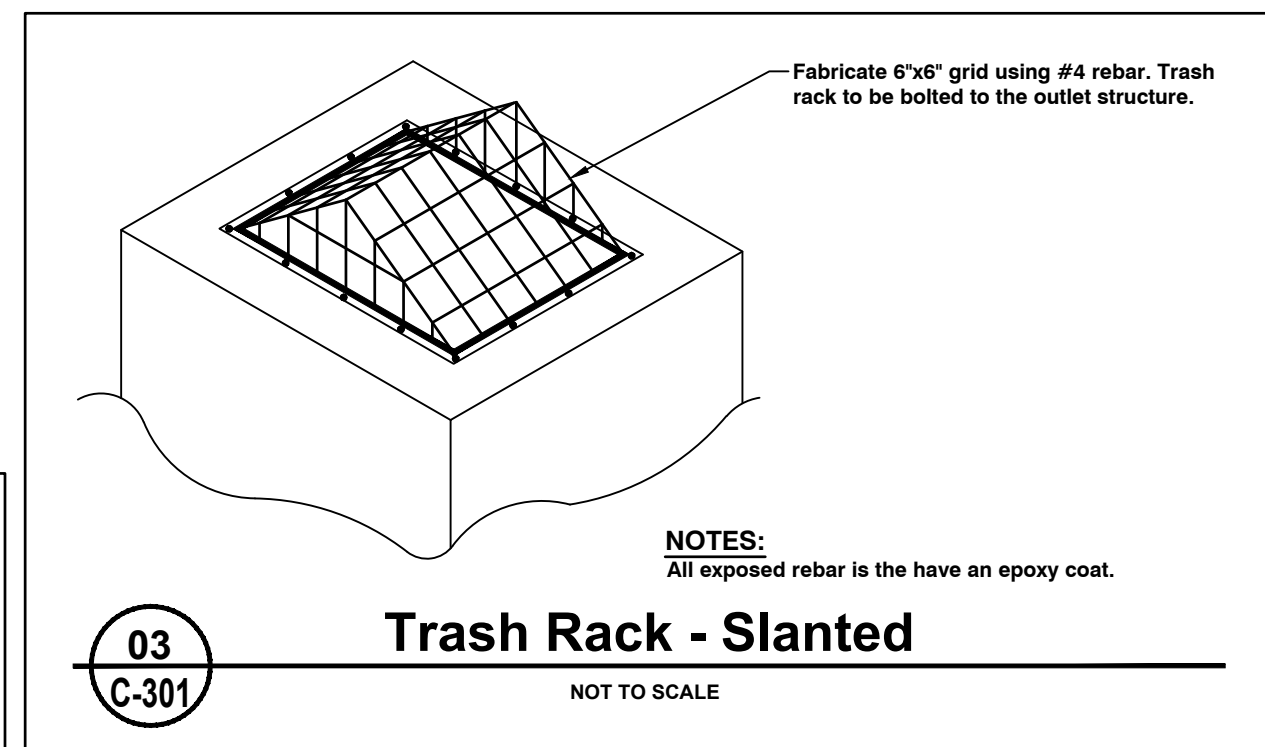
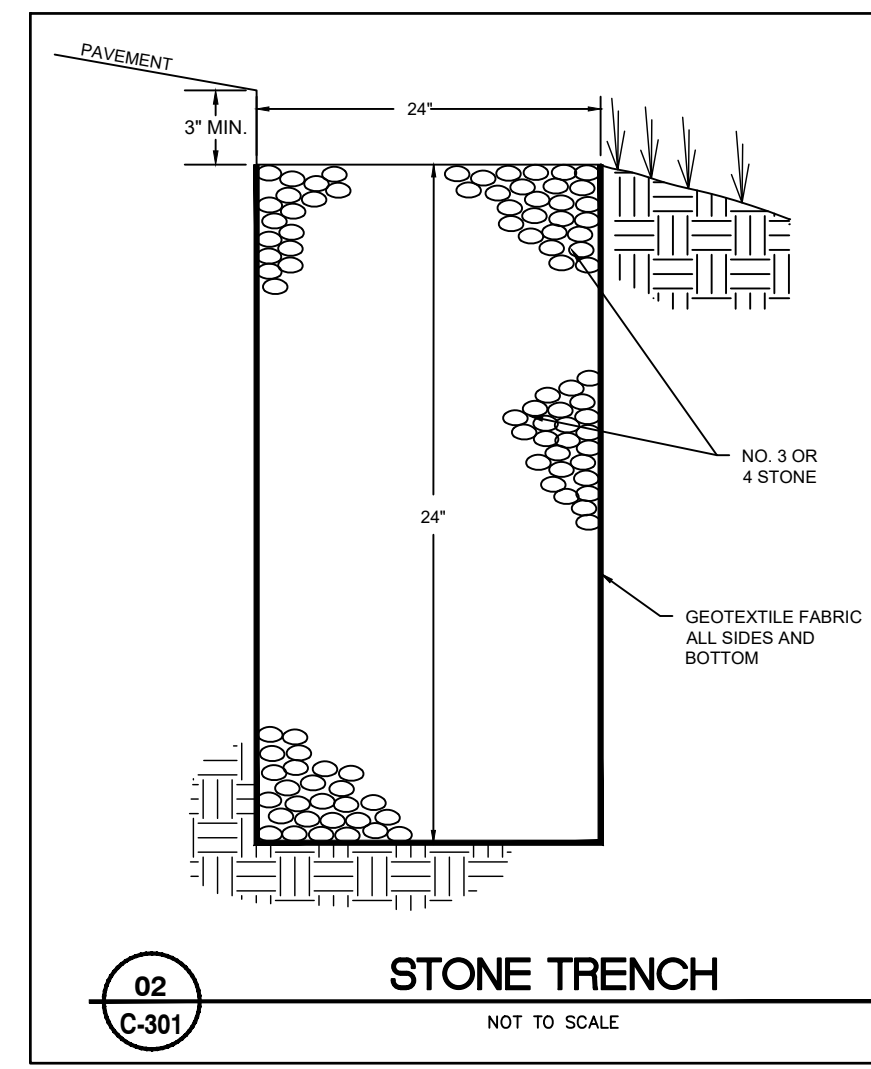
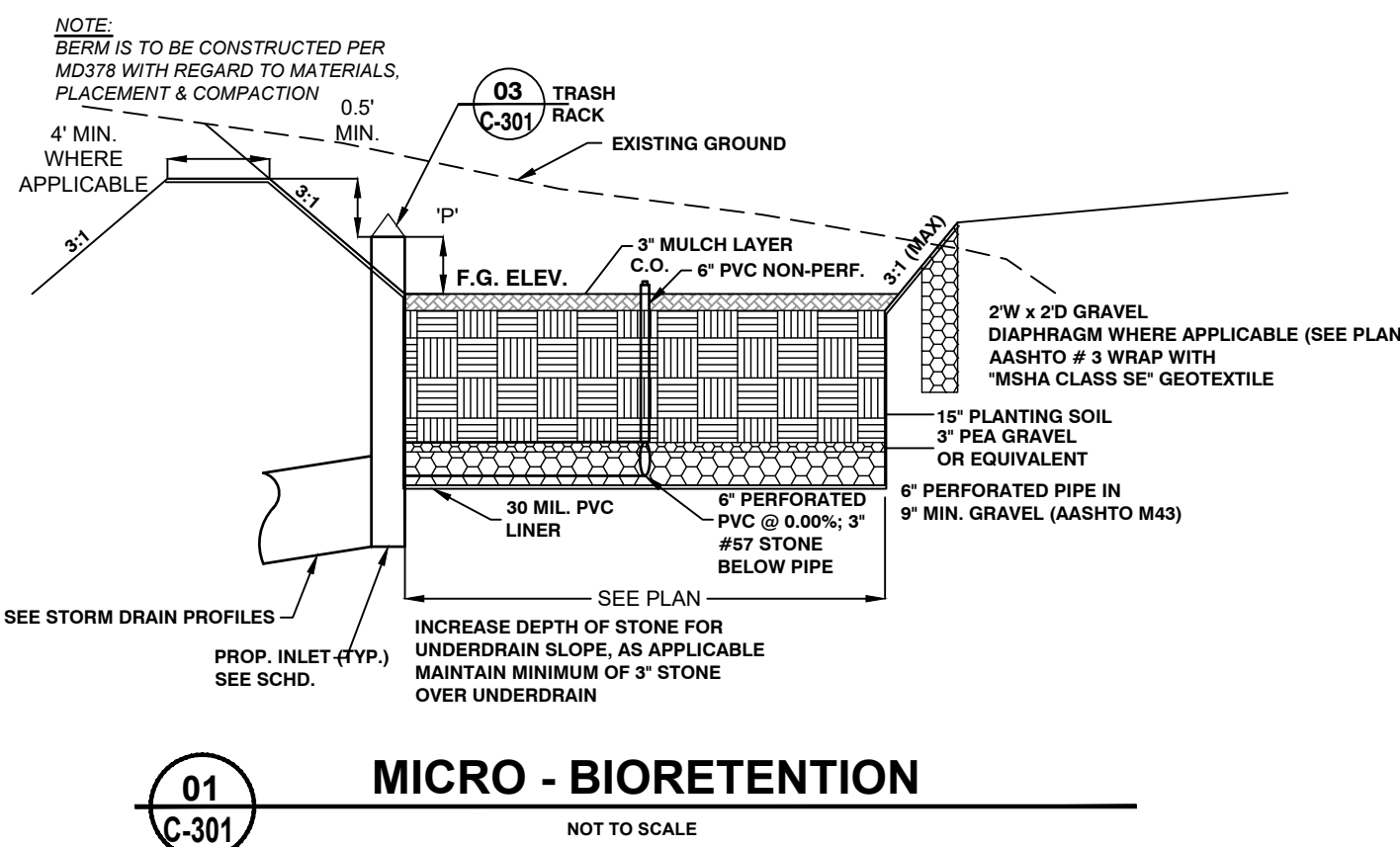
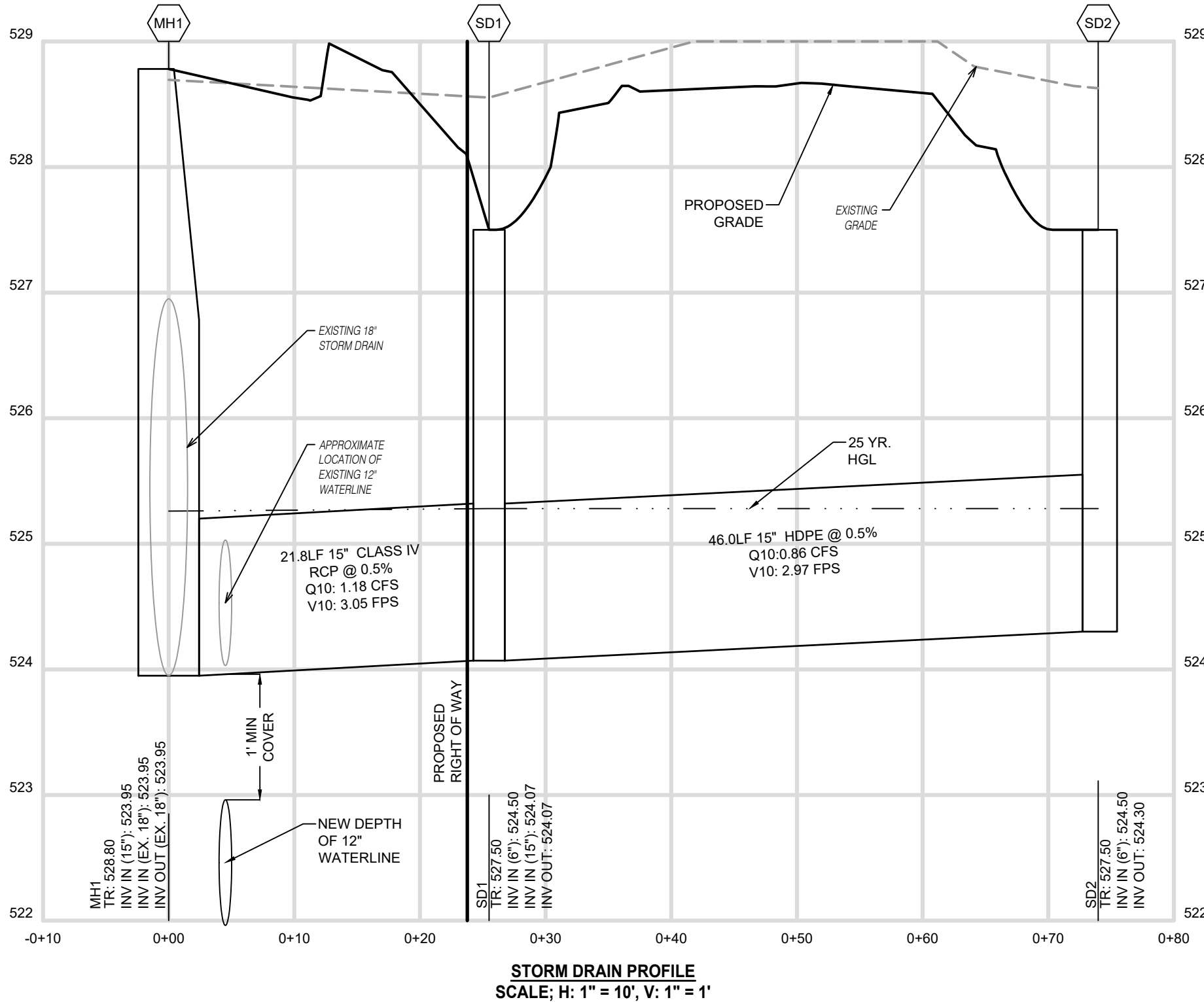
| Inspection Item | | MICRO - BIORETENTION 'A' | MICRO - BIORETENTION 'B' |
|---|------------------|--------------------------|--------------------------|
| Excavation of Facility - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized. | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |
| Placement of Filter Cloth (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll. | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |
| Placement of Underdrains and Observation Wells - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |
| Placement of Filtering Media - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer. | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |
| Placement of Sand Filter Layer or Gravel Diaphragm - Verify depth and width of sand and/or diaphragm layer. Verify fill material. | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |
| Stabilization and Landscaping - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers. | Inspected by | | |
| | Inspected Date | | |
| | Inspected County | | |

The Qualified Professional may request the presence of a County Construction Standards Inspector at least 24 hours in advance by calling 240-313-2400.



STORM DRAIN NOTES

- In traffic areas, provide a minimum of 12 inches of initial backfill over the top of the pipe.
- In traffic areas, bedding and backfill materials shall meet the requirements of AASHTO M145 Soil Class A-1, A-2-4, A-2-5 or A-3.
- HDPE Pipe shall be Dual Wall N-12 or equivalent. Installation shall be in accordance with ASTM D2321 & D3212 standards and ADS's published installation guidelines.
- Pipe shall be watertight and sealed with gaskets.



PLANT SCHEDULE

| TREES | CODE | BOTANICAL / COMMON NAME | SIZE | CONTAINER | QTY | DETAIL |
|---------------|-------------|--|-------------|------------------|------------|---------------|
| | BET RIV | Betula nigra / River Birch | 2" Cal. | B&B | 2 | 01/C-301 |
| SHRUBS | CODE | BOTANICAL / COMMON NAME | SIZE | CONTAINER | QTY | DETAIL |
| | RUD SUB | Rudbeckia Subtomnetosa / Sweet Coneflower | 1 gal | | 31 | 02/C-301 |
| | RUD FUL | Rudbeckia Fulgida / Soft Orange Coneflower | 1 gal | | 32 | 02/C-301 |

MICRO - BIORETENTION 'B' STORMWATER FACILITY INFORMATION:
MDSHA TREATED PAVED AREA: 0.07 AC.
TOTAL DRAINAGE TO FACILITY: 0.12 AC.

BIORETENTION SCHEDULE

| ID | SURFACE AREA (S.F.) | PONDING DEPTH (FT.) | FINISH GRADE ELEV. | BOT. SOIL ELEV. | LINER REQUIRED | PRINCIPLE SPILLWAY | TOP BERM ELEV. | 10 YR. WSEL | 100 YR. WSEL | TRASH RACK REQ. |
|----|---------------------|---------------------|--------------------|-----------------|----------------|--------------------|----------------|-------------|--------------|-----------------|
| A | 149 | 0.50 | 527.00 | 524.50 | YES | MDSHA YARD INLET | N/A | 527.55 | 527.57 | YES |
| B | 129 | 0.50 | 527.00 | 524.50 | YES | MDSHA YARD INLET | N/A | 527.60 | 527.63 | YES |



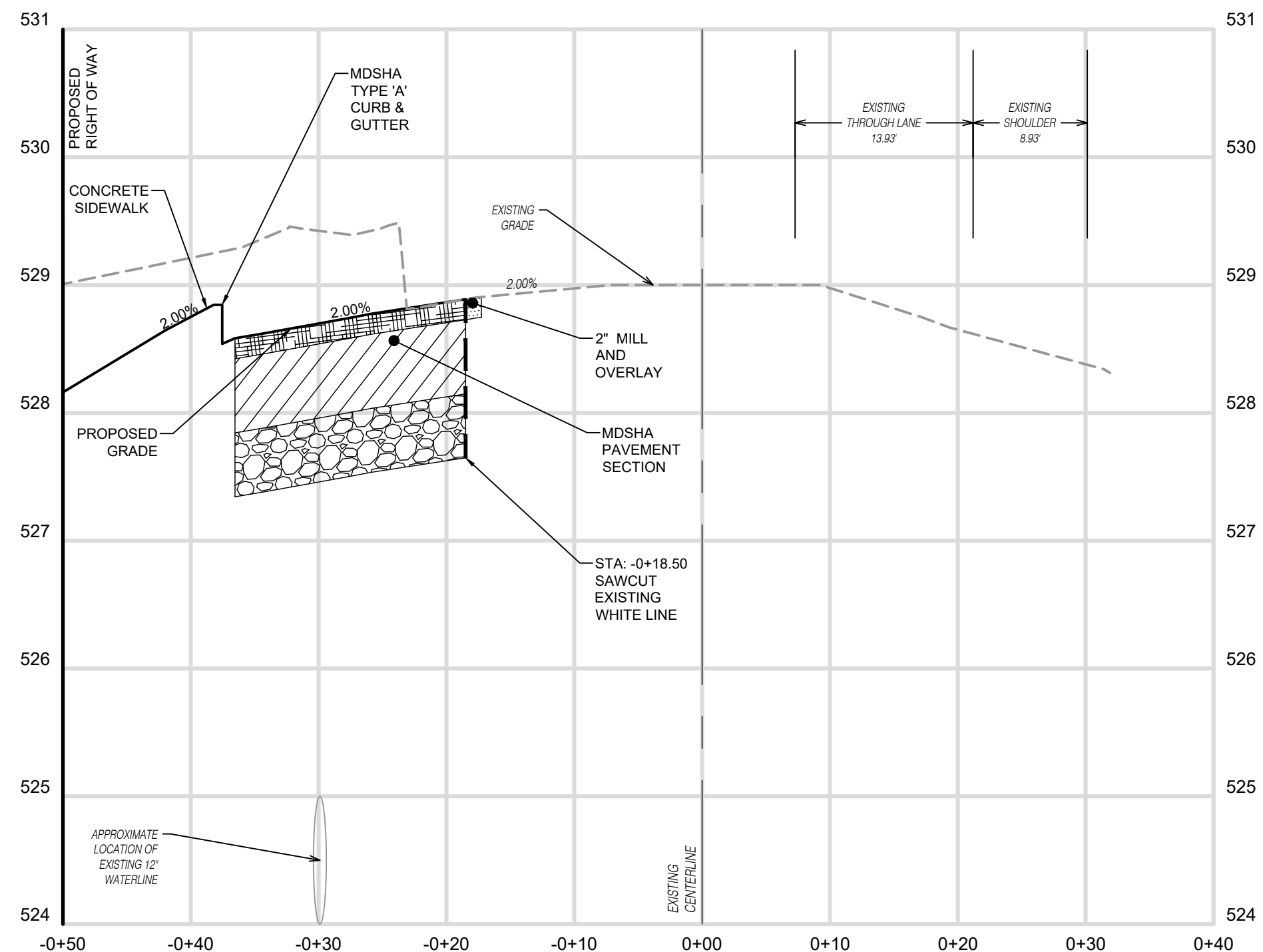
FSA
FREDERICK SEBERT & ASSOCIATES, INC.
LANDSCAPE ARCHITECTS • LAND PLANNERS
120 SOUTH POTOMAC STREET
SUITE 200 BALTIMORE, MD 21202
PH: 410.528.1700 FAX: 410.528.1707

| DATE | REVISION | DESCRIPTION |
|------------|----------|-------------|
| 11.17.2023 | | |

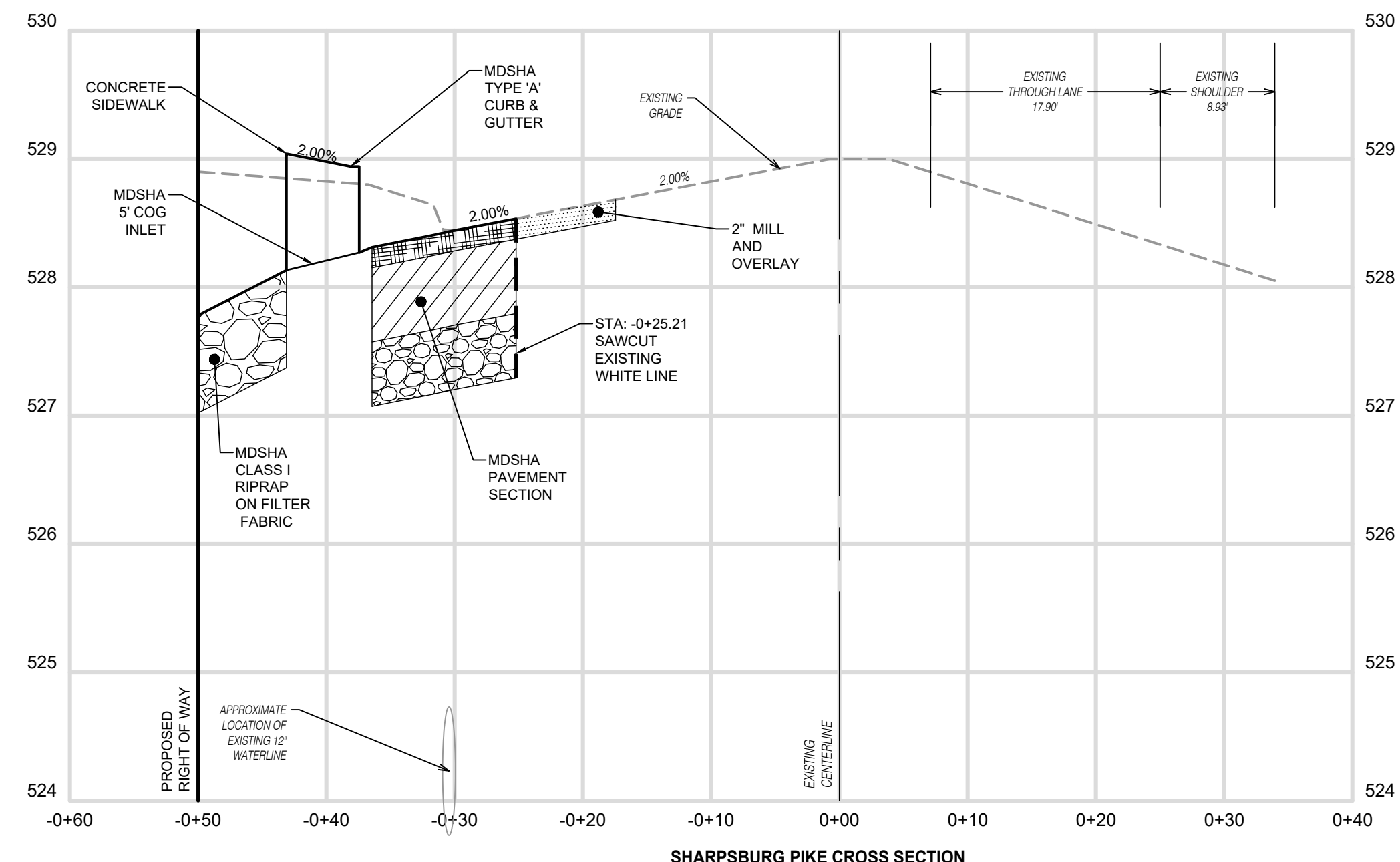
TAKE 5 OIL
LOCATED AT 10358 SHARPSBURG PIKE
HAGERSTOWN, MD. 21740
WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
3540 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30308
ATTN: ELIZABETH WEINER, EMAIL: EWENIER@COREPROPERTYCAPITAL.COM, PHONE: 770.255.8944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3818.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | AS SHOWN |

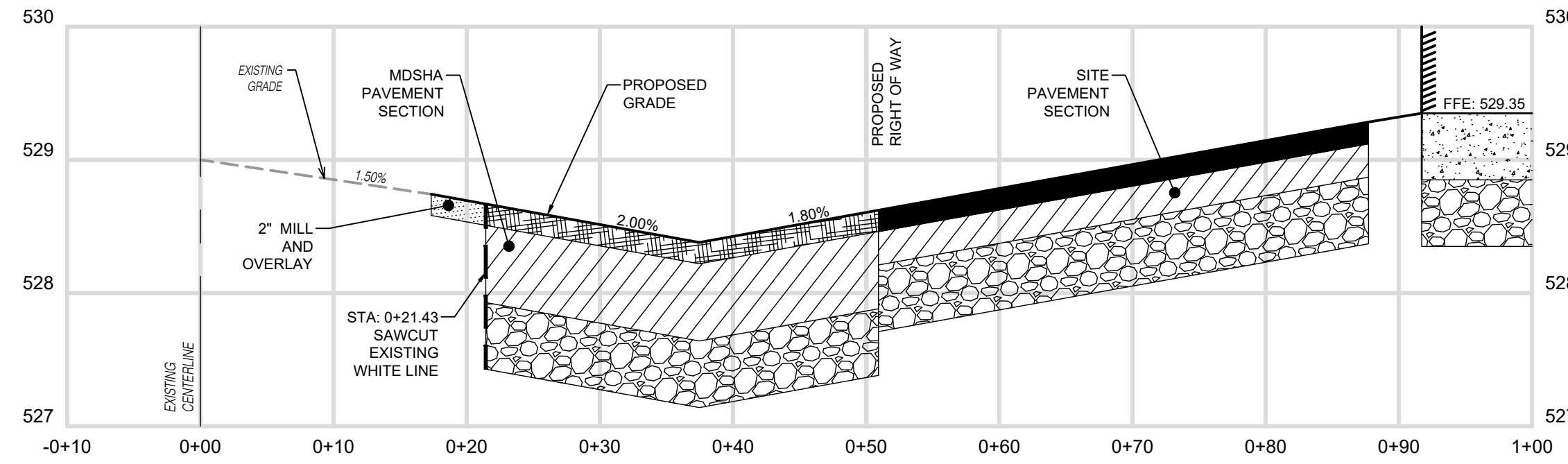
STORMWATER MANAGEMENT PLAN



SHARPSBURG PIKE CROSS SECTION
STA: 97+00
SCALE: H: 1" = 10', V: 1" = 1'



SHARPSBURG PIKE CROSS SECTION
STA: 97+50
SCALE: H: 1" = 10', V: 1" = 1'



ENTRANCE PROFILE
SCALE: H: 1" = 10', V: 1" = 1'



Professional Certification
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 4852
 Expiration Date 04/15/2024

FSA
FREDERICK SEIBERT & ASSOCIATES, INC.
 CIVIL ENGINEER • SURVEYOR • LANDSCAPE ARCHITECTS • LAND PLANNERS

100 SOUTH POTOMAC STREET
 SUITE 200
 FREDERICK, MARYLAND 21730
 PHONE: 301.791.3800
 FAX: 301.791.3800
 WWW.FSA-INC.COM

| DATE | REVISION | DESCRIPTION |
|------------|----------|-------------|
| 11.17.2023 | | |

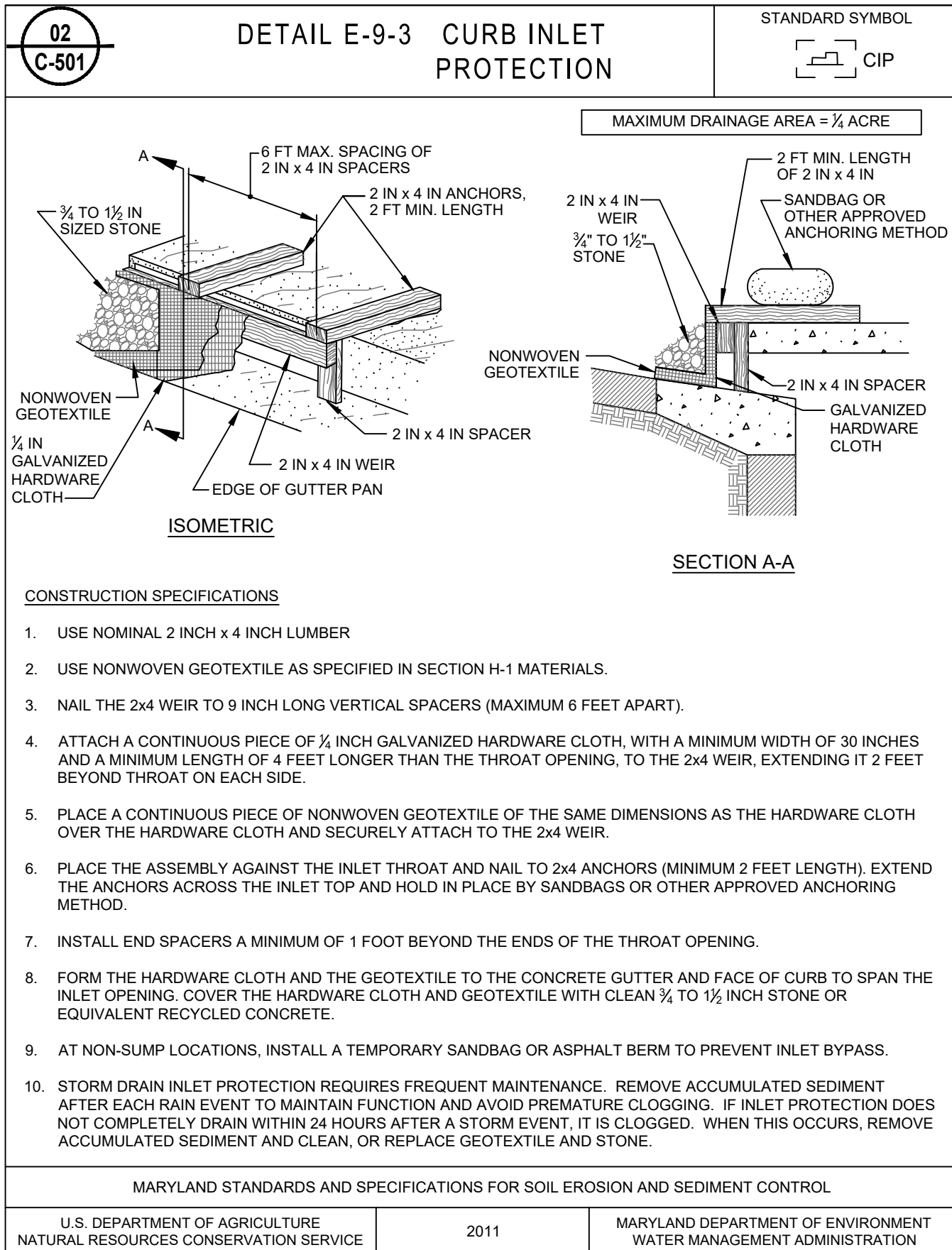
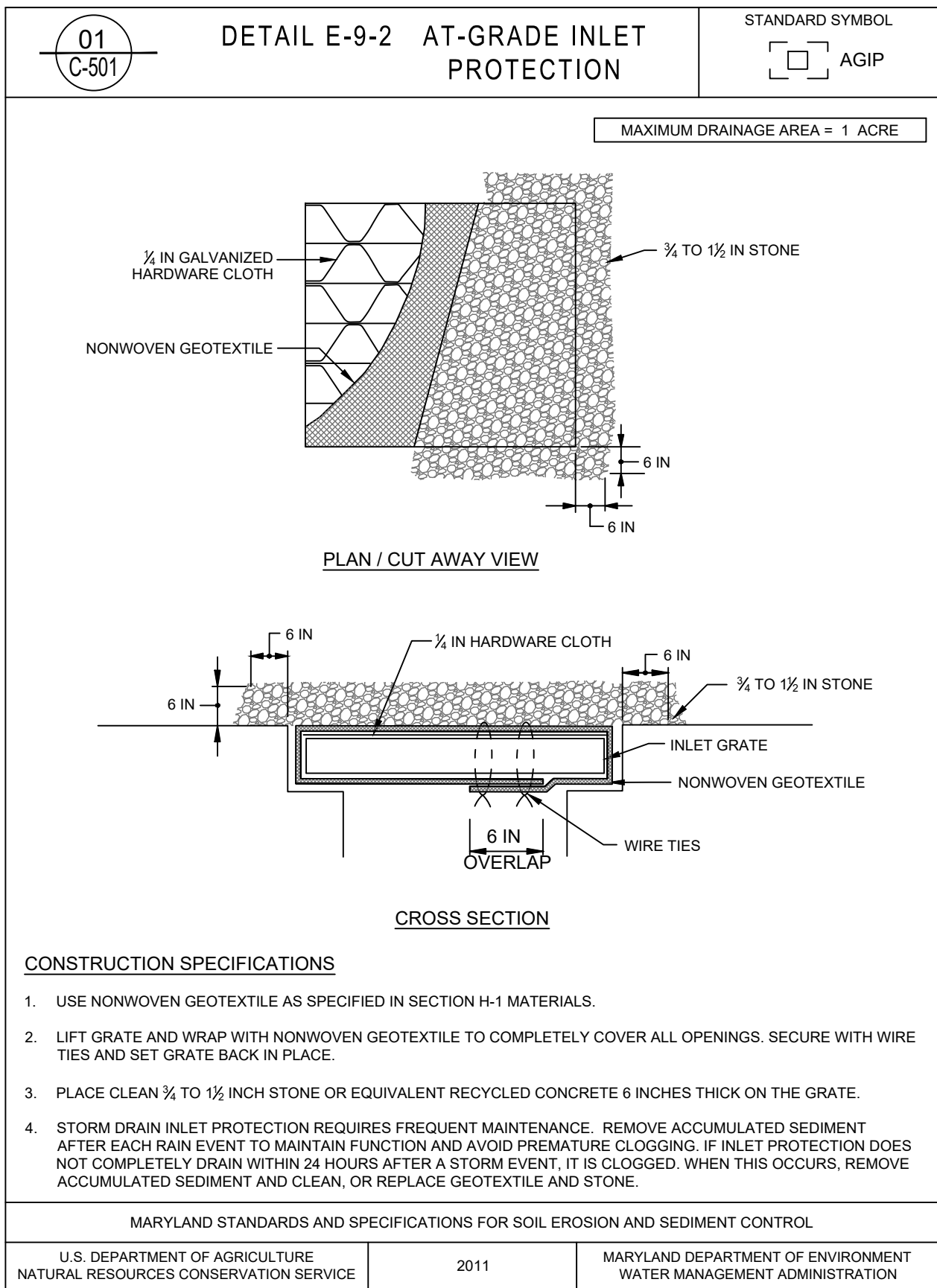
TAKE 5 OIL
 LOCATED AT 1058 SHARPSBURG PIKE
 HAGERSTOWN, MD 21740

WASHINGTON COUNTY, MARYLAND
 CORE PROPERTIES CAPITAL, LLC
 3540 PEACHTREE ROAD, SUITE 1600, ATLANTA, GA 30328
 ATTN: ELIZABETH WEINER, EMAIL: EWENIER@COREPROPERTICAPITAL.COM, PHONE: 770.255.8944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | AS SHOWN |
| SHEET TITLE | |

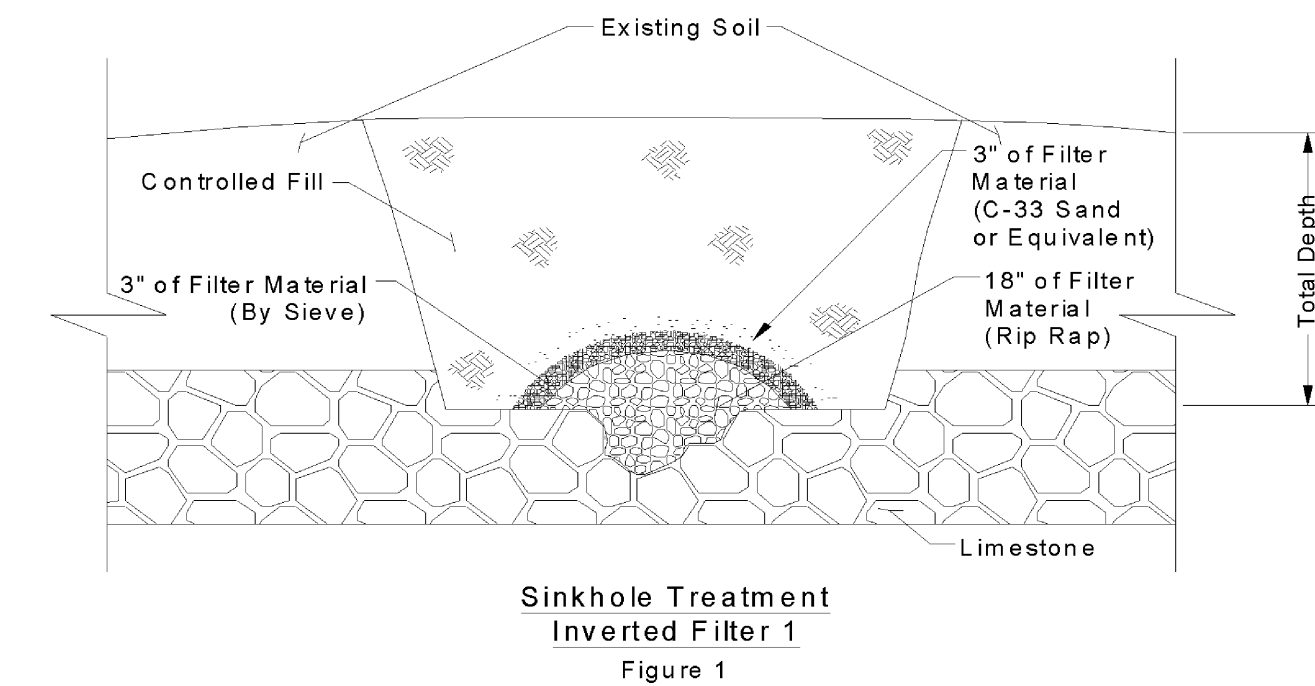
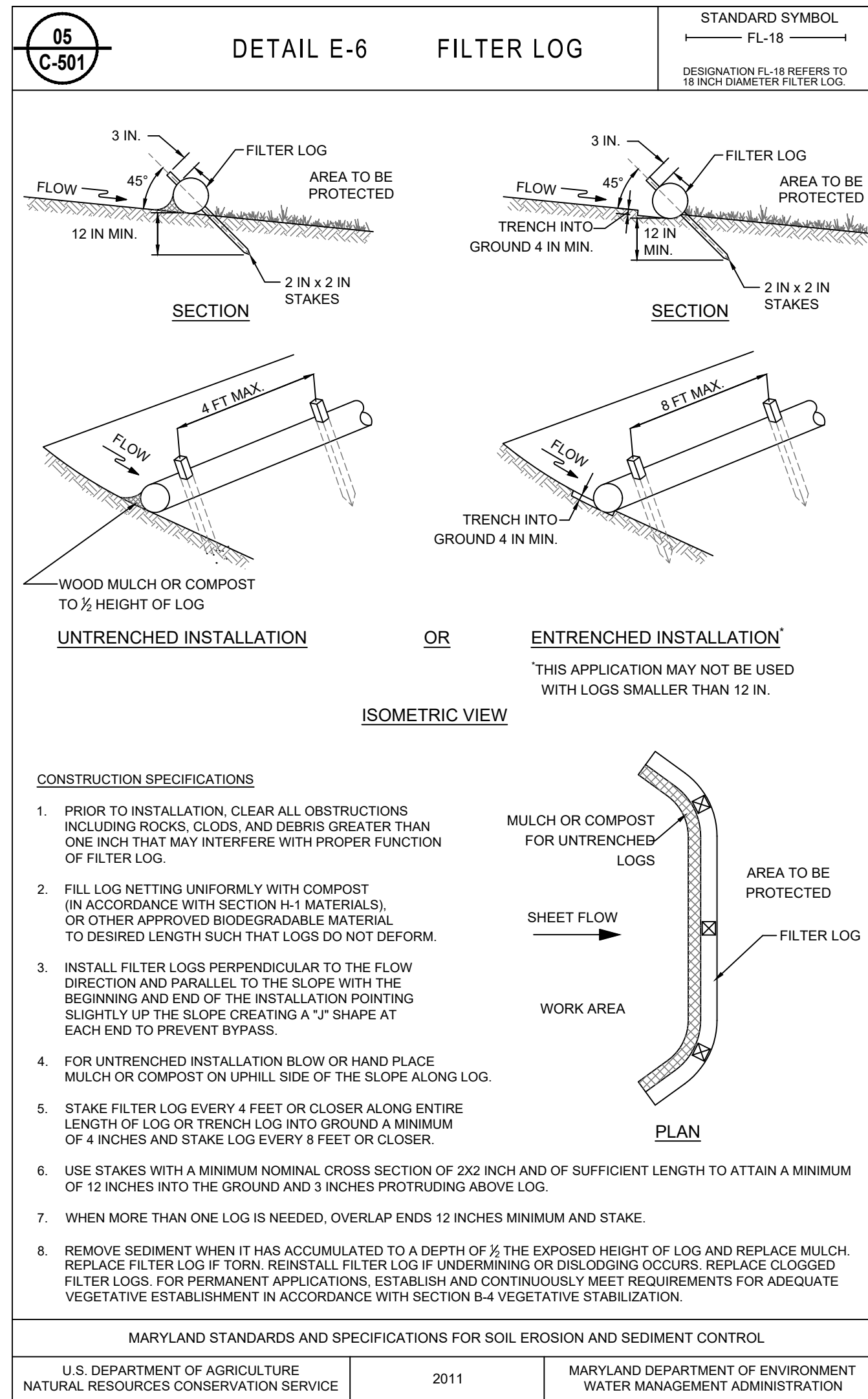
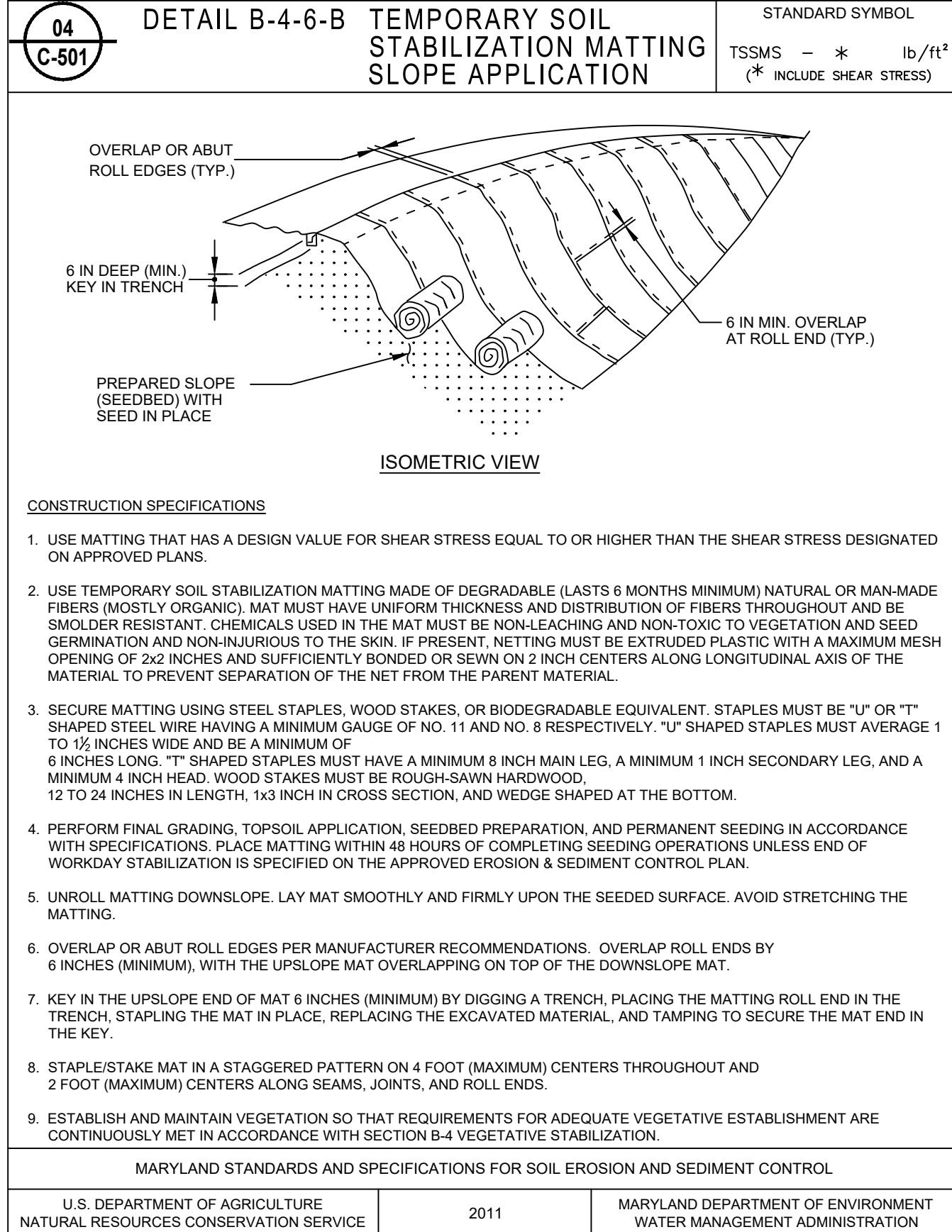
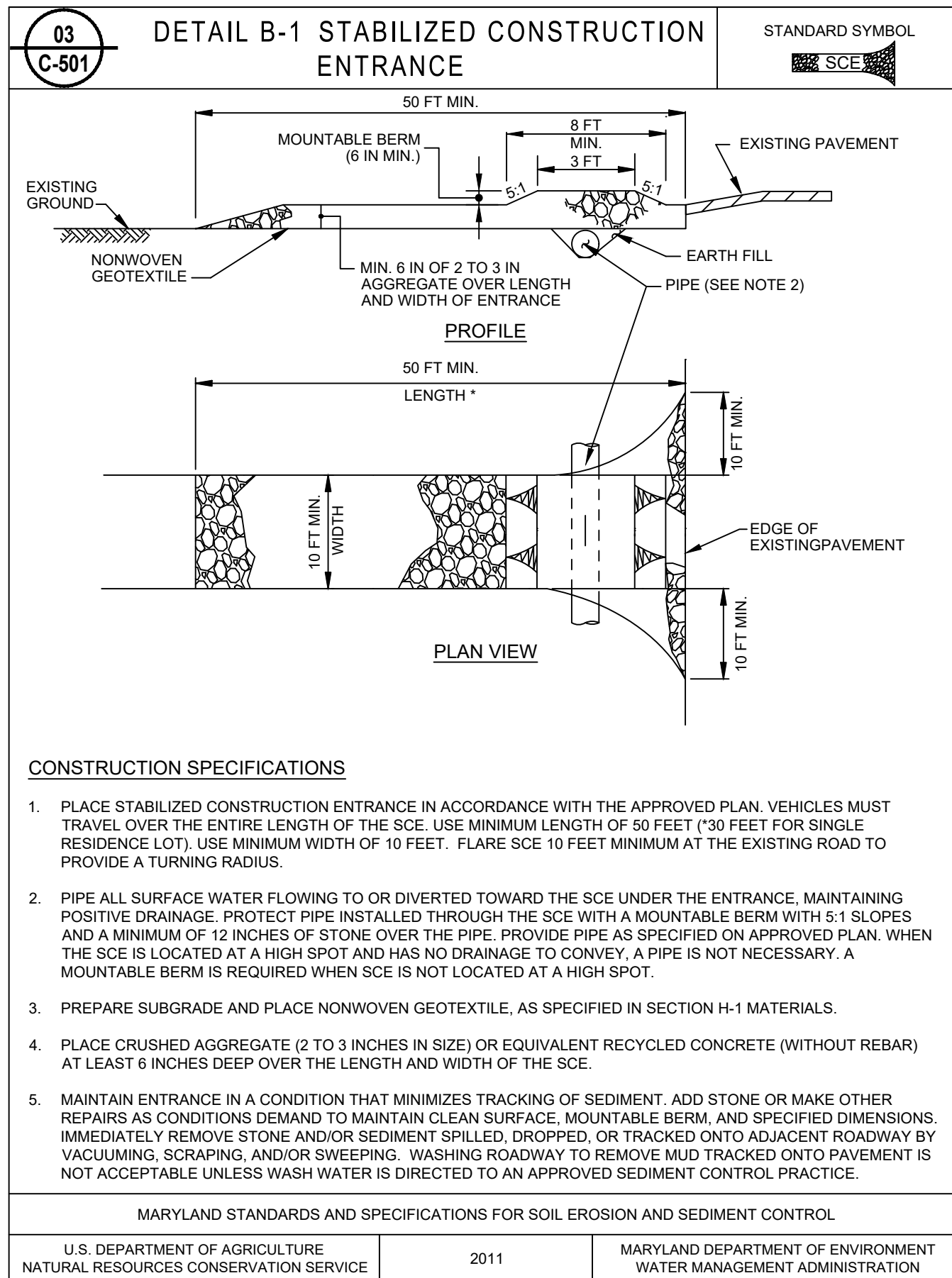
MDSA CONSTRUCTION PROFILES

P:\SHARPSBURG\PROJECTS\TAKE 5 OIL\CONSTRUCTION SET\TAKE 5 OIL\CONSTRUCTION PROFILES\SP-23-031.dwg



| TEMPORARY SEEDING SUMMARY | | | | | | |
|--------------------------------------|---------|--------------------------|--|----------------|--------------------------------|--------------------------------|
| HARDINESS ZONE (FIGURE B.3): 6a & 6b | | | | | | |
| SEED MIXTURE (TABLE B.1) | | | | | | |
| NO. | SPECIES | APPLICATION RATE (lb/ac) | SEEDING DATES | SEEDING DEPTHS | FERTILIZER RATE (10-20-20) | LIME RATE |
| 1 | Barley | 96 | Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15 | 1" | 436 lb/ac (10 lb/1000 s.f.) | 2 tons/ac (90 lb/1000 s.f.) |

| PERMANENT SEEDING SUMMARY | | | | | | | | |
|--------------------------------------|--------------------|--------------------------|--|----------------|-------------------------------|-------------------------------|-------------------------------|---------------------------------|
| HARDINESS ZONE (FIGURE B.3): 6a & 6b | | | | | | | | |
| SEED MIXTURE (TABLE B.1) | | | | | | | | |
| NO. | SPECIES | APPLICATION RATE (lb/ac) | SEEDING DATES | SEEDING DEPTHS | N | P205 | K20 | LIME RATE |
| 6 | Tall Fescue | 40 | Zone 6a: Mar 15-May 31/Aug 1-Sept 30 Zone 6b: Mar 1-May 15/Aug 1-Oct 15 | 1/4"-1/2" | 45 lb/ac. (1 lb/1000 s.f.) | 90 lb/ac. (2 lb/1000 s.f.) | 90 lb/ac. (2 lb/1000 s.f.) | 2 tons/ac. (90 lb/1000 s.f.) |
| | Perennial Ryegrass | 25 | | | | | | |
| | White Clover | 5 | | | | | | |

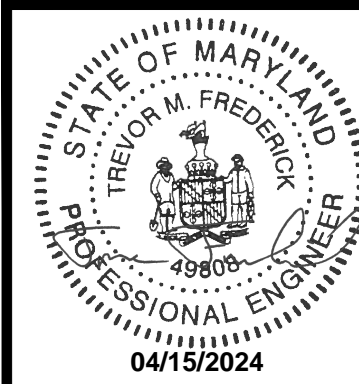


- Notes:**
- Inverted Filter 1 Procedure for installing inverted filter to treat sinkholes.
- Remove and properly dispose of materials dumped in and around the sinkhole.
 - Excavate loose material from sinkhole and try to expose the solution void(s) in the bottom. Enlarge the sinkhole, as necessary, to allow for installation of filter materials (Figure 1).
 - Select a field stone that is about 1.5 times larger than the solution void(s). Place the stone(s) in the void(s) forming a secure "bridge". A geotextile may be needed to "lock" the stone "bridge" in place, as determined by the geotechnical engineer.
 - Place a layer of filter material over the "bridge" at a minimum thickness of 18 inches. About 30 percent of the material should be larger than the openings between the bridge and the void(s). (A well placed "bridge" should not have large openings around it.) In most cases this material could be Rip Rap.
 - Place a layer of smaller size filter material over the previous layer at a minimum thickness of 9 inches. The size should be 1/4 to 1/2 the size of the previous layer. In most cases this material could be 57 stone.
 - Place a layer of sand size filter material over the previous layer at a minimum thickness of 9 inches. The sand has to be compatible in size with the previous layer to prevent piping. In most cases this material could be C-33 sand or equivalent.
 - (A non-woven filter cloth with a burst strength between 100 to 200 psi can be substituted for the stone and sand filter materials discussed in 5 and 6.)
 - Backfill over the last filter layer (or filter cloth) with soil material to the surface. The reuse of any soil material excavated from sinkhole should be considered. Overfill by about 5 percent to allow for settlement. The material should be soil with at least 50% clay materials and a minimum of 3 feet thick. The fill materials should be compacted to a minimum of 95% of the standard proctor (ASTM D-99). Any available topsoil should be placed on the surface.
 - Stone used for the "bridge" and the filters should have a rock strength at least equal to moderately hard (i.e. resistant to abrasion or cutting by knife blade but can be easily dent or broken with light blows of hammer). Shale or similar soft and non-durable rock is not acceptable.

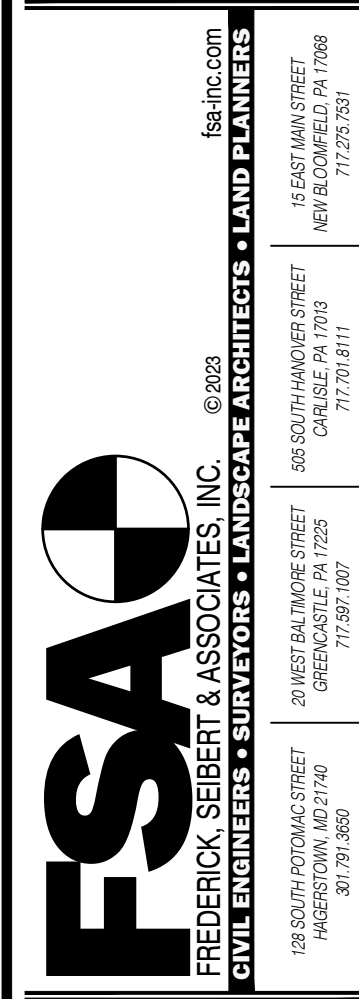
IF SINKHOLES OCCUR ON SITE DURING CONSTRUCTION A GEOTECHNICAL ENGINEER SHALL BE CONTACTED. REMEDIATION OF ANY SINKHOLES SHALL BE UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER.

SOIL EROSION, SEDIMENT CONTROL & SEEDING NOTES

- All soil erosion/sediment control measures shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control" and the provisions of the approved plan.
- All grading and stabilization shall comply with the "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", "Section B - Grading and Stabilization" and the provisions of the approved plan.
- All soil erosion and sediment control practices (BMPs) are to be constructed and/or installed prior to or at the initiation of grading in accordance with "2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control", and the approved plan.
- A grading unit is the maximum contiguous area allowed to be graded at a given time and is limited to 20 acres. Work may proceed to a subsequent grading unit when at least 50 percent of the disturbed area in the preceding grading unit has been stabilized and approved by the enforcement authority and/or the Washington County Soil Conservation District (approval authority). Unless otherwise specified and approved by the approval authority, no more than 30 acres cumulatively may be disturbed at a given time.
- For initial soil disturbance or re-disturbance, temporary or permanent stabilization must be completed within:
 - Three (3) calendar days as to the surface of all perimeter dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and
 - Seven (7) calendar days as to all other disturbed or graded areas on the project site not under active grading.
- Stockpiles must be stabilized in accordance within the 7 day stabilization requirement, as well as, Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization (as applicable).
- All constructed channels and swales shall have specified treatment installed to the design flow depth completed downstream to upstream as construction progresses. An installation detail shall be shown on the plans.
- Electric Power, telephone, and gas lines are to be compacted, seeded, and mulched within 3 days of initial backfill unless otherwise specified on plans.
- No slope shall be greater than 2:1.
- As required by Section B. of the Maryland Standards and Specifications for Soil Erosion and Sediment Control, "Adequate Vegetative Stabilization", is defined as 95 percent ground cover. The Washington County Soil Conservation District requires the project adhere to this for scheduling of the Final Site Closeout Review, and/or release of the site for soil erosion and sediment control.



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of Maryland. License # 2859
Expiration Date 04/15/2024



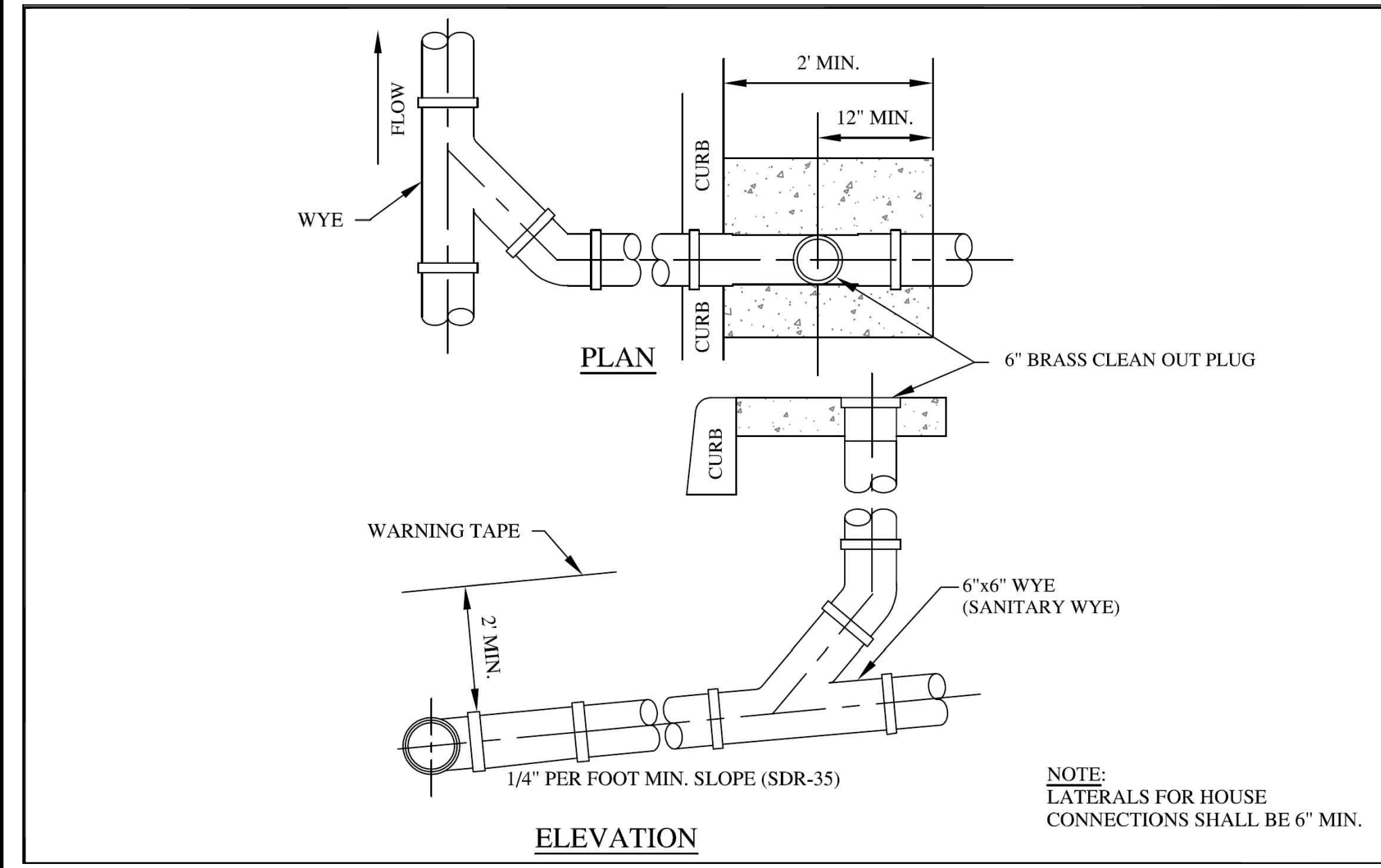
| DATE | DESCRIPTION | REVIEWED/AGENCY COMMENTS |
|------------|-------------|--------------------------|
| 11/27/2023 | | |

TAKE 5 OIL
LOCATED AT 1038 SHARPSBURG PIKE
HAGERSTOWN, MD. 21740

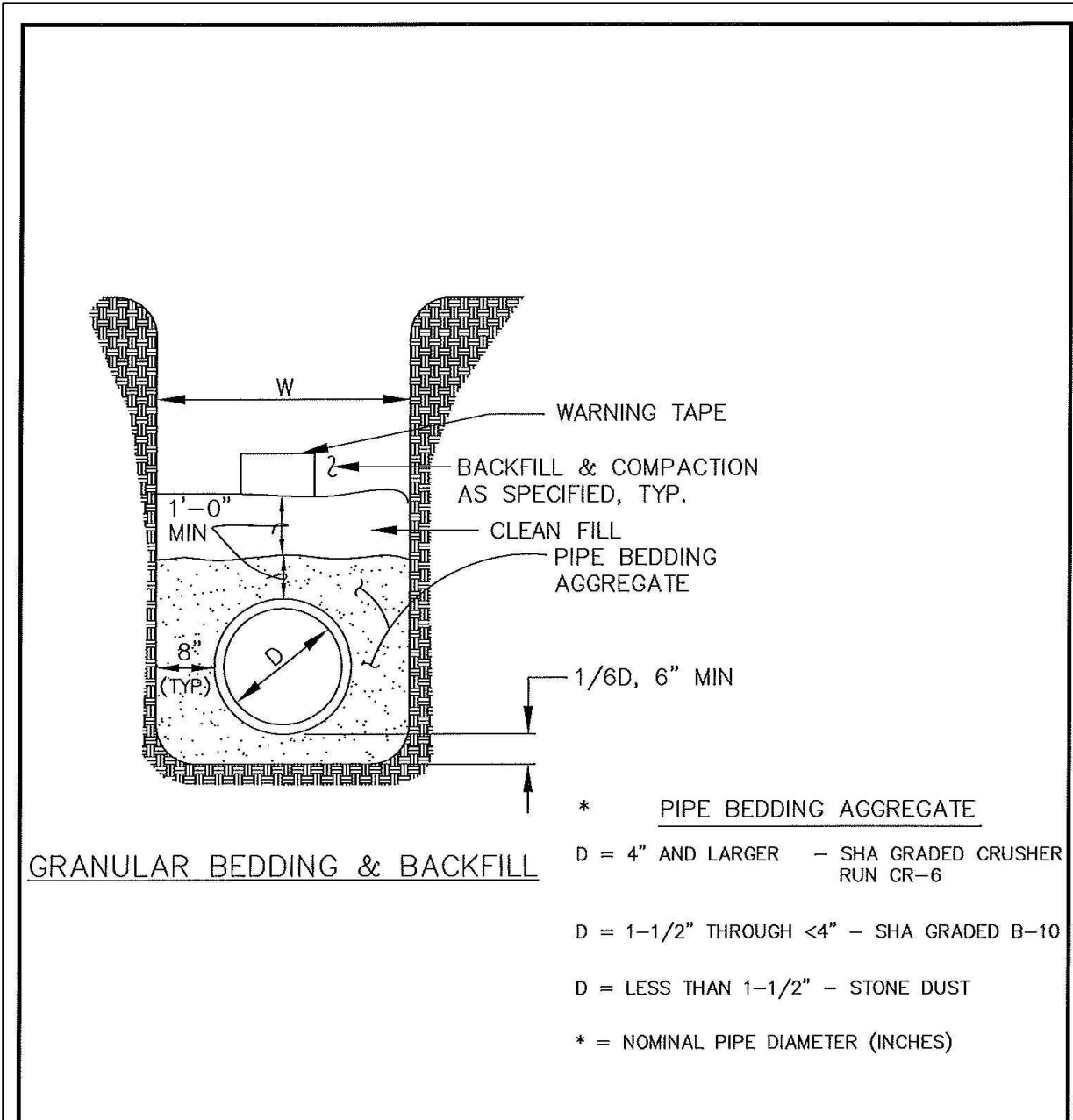
WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
1594 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30308
ATTN: ELIZABETH WEINER, EMAIL: ENR@COREPROPERTIESCAPITAL.COM, PHONE: 770.205.8944

| | |
|-------------------------|------------------------|
| PROJECT NO. | 3618.2 |
| DWN BY | ABRAM MYERS |
| DATE | 08.08.2023 |
| PROJECT MANAGER | T. FREDERICK |
| EMAIL | TFREDERICK@FSA-INC.COM |
| TAX MAP - GRID - PARCEL | 0057-0010-0008 |
| SCALE | N.T.S. |
| SHEET TITLE | |

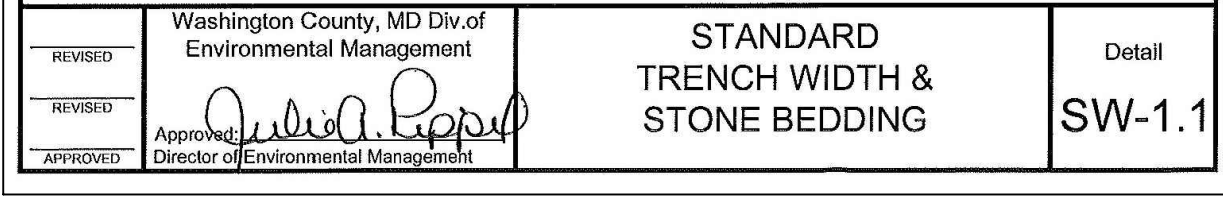
CONSTRUCTION DETAILS
& NOTES - E&S



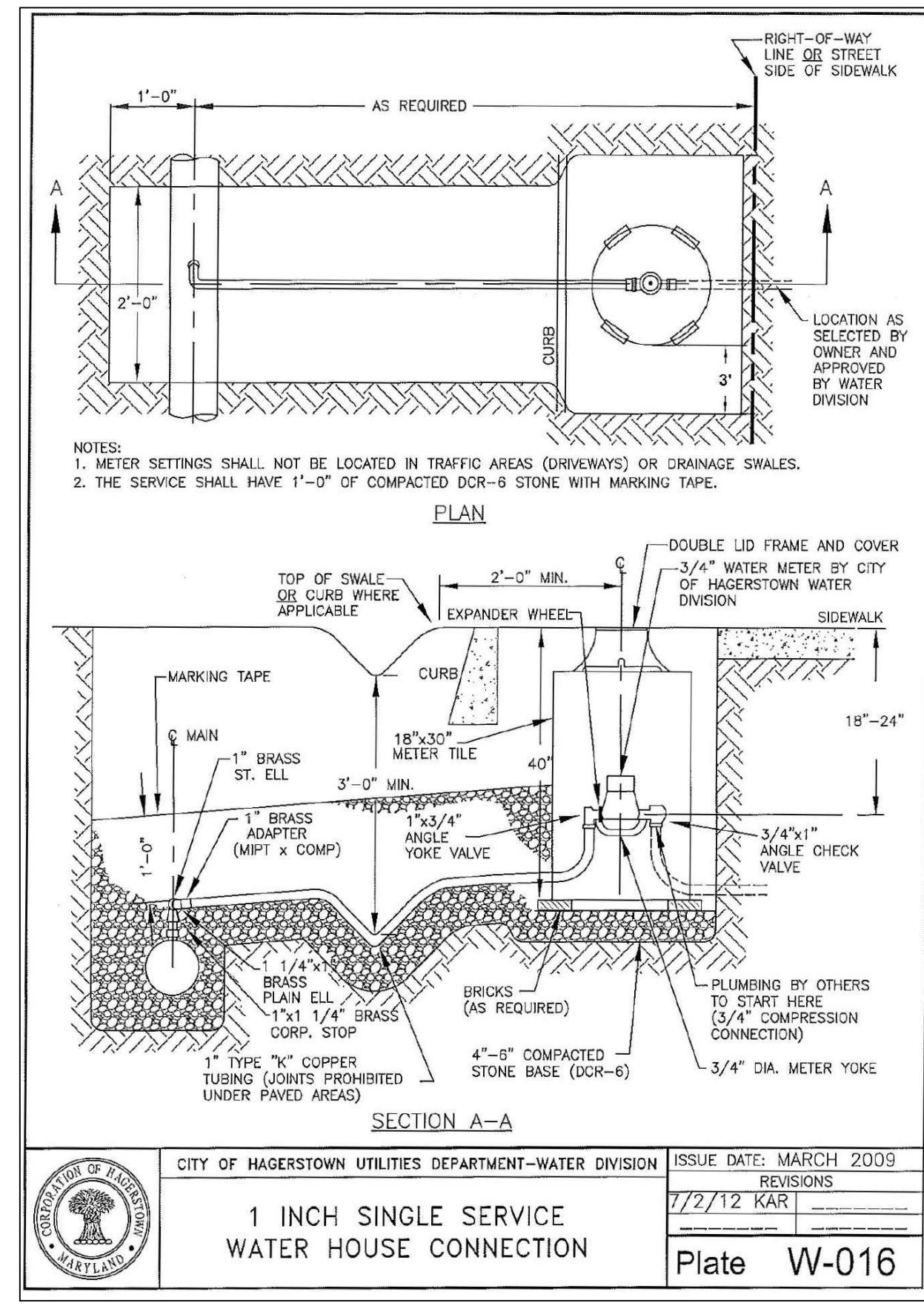
01
C-502
SINGLE SEWER HOUSE CONNECTION
NOT TO SCALE



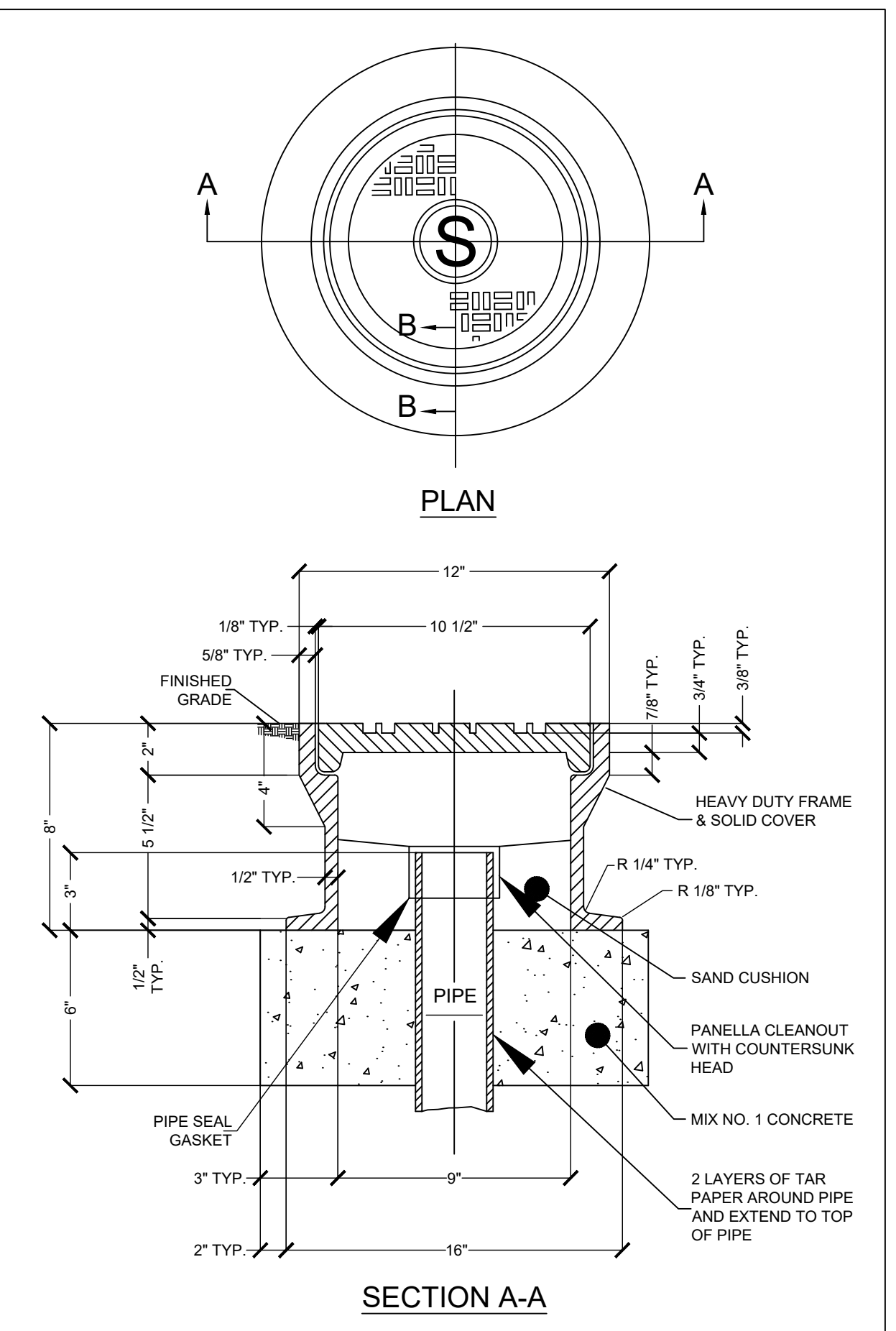
02
C-502
CLEANOUT DETAIL
NOT TO SCALE



03
C-502
STANDARD TRENCH WIDTH & STONE BEDDING
NOT TO SCALE



04
C-502
1 INCH SINGLE SERVICE WATER HOUSE CONNECTION
NOT TO SCALE



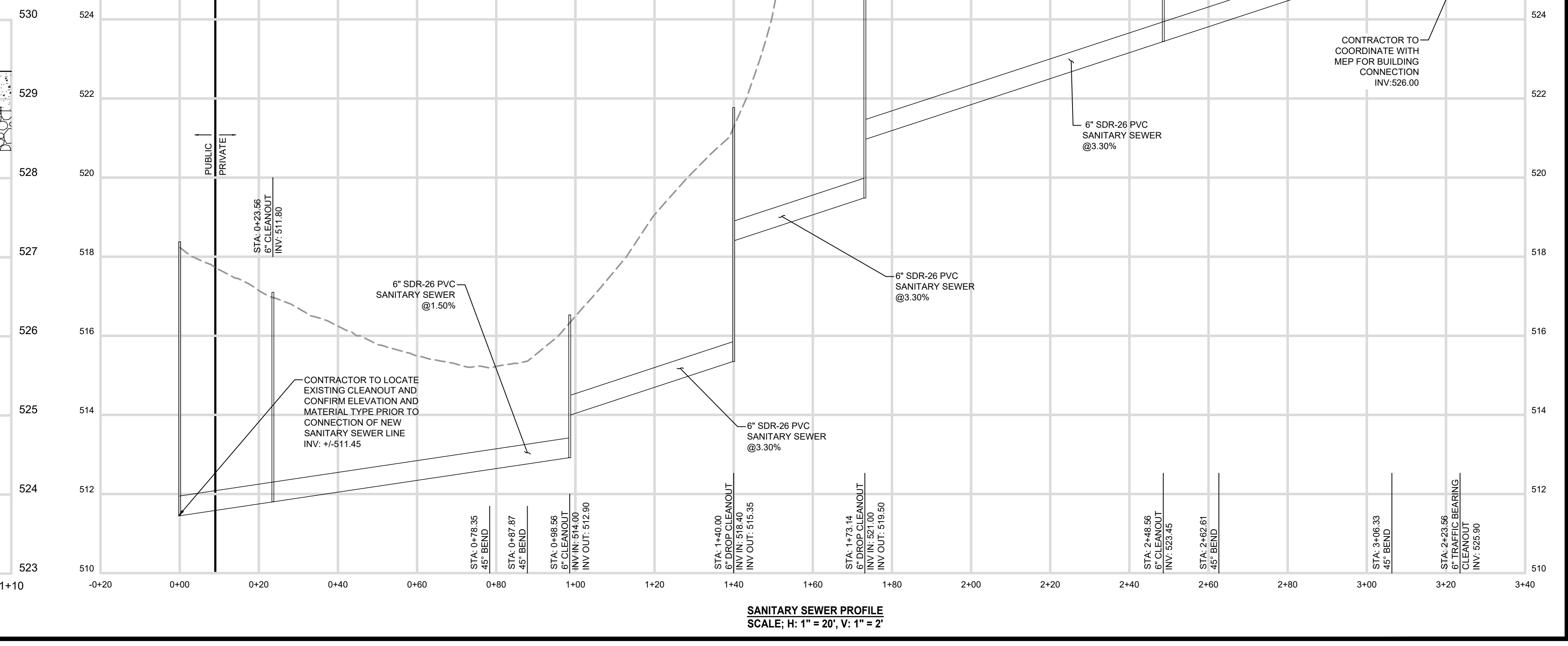
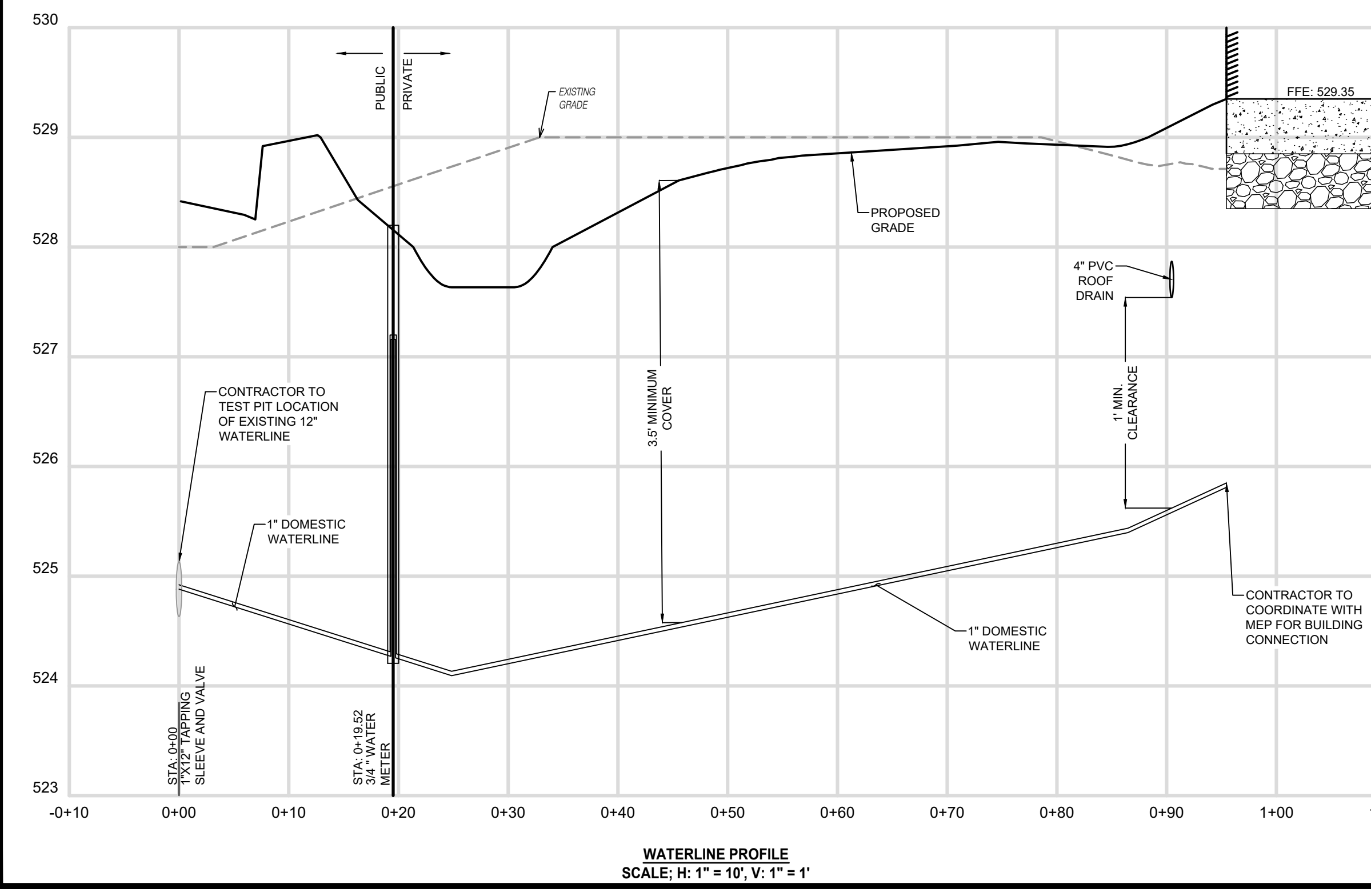
05
C-502
TRAFFIC BEARING CLEANOUT COVER ASSEMBLY
NOT TO SCALE

Utility Notes:
U.1. All fittings, bends, and appurtenances shall be installed with proper and required concrete buttresses. All dead end services shall be properly capped and buttressed.
U.2. All underground water lines are to be installed with 3 - 6" of cover below finished grade.
U.3. All bedding and embedment material and compaction shall meet Water Department of the Environment standards and specifications.
U.4. All sewer lines to be PVC-SDR-35.
U.5. The owner/developer or his engineer is required to supply the Water & Sewer Division with one (1) set of mylars and three (3) sets of prints approved and signed by the Water & Sewer Department Manager after final approval and prior to the start of construction.
U.6. The owner/developer or his engineer is required to supply the Water & Sewer Department with acceptable, reproducible "as-builts" prior to final acceptance and dedication of the proposed sanitary sewer lines. Prints of "as-builts" are a requirement of the Department of the Environment.
U.7. The contractor shall verify the location and elevation of existing utilities before starting construction.
U.8. The Contractor shall supply all bends, fittings and buttresses as required to achieve the horizontal and vertical alignments as shown on the plans. Bends and fittings may not be shown on the plan and profile but are to be included in the Contractor's cost and their exact location is at the option of the Contractor to achieve the horizontal layout shown hereon.
U.9. Contractor to verify with utility companies that proposed sediment erosion control measures are located so as to avoid conflicts with their proposed utility installation before placement of sediment erosion control measures.
U.10. Tracer wire to be installed with all 2" HDPE waterline.

WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY
This approval is for general conformance with the County's requirements for design and layout of proposed sewer and/or water system improvements or extensions. All sewer and/or water system improvements or extensions shall be constructed in strict accordance with the County's latest addition of the Standard Specifications for Construction of Sanitary Sewers and/or Water Lines. This approval does not guarantee availability of sewer and/or water service. Sewer and/or water service availability is subject to conformance with all rules, policies and regulations established by the County and in effect at the time application for service is made, and/or the availability of allocation remaining in other jurisdictions' facilities that may be granted to the County. This approval shall be valid for a period of TWO years.

CITY OF HAGERSTOWN UTILITIES DEPARTMENT WATER DIVISION
This approval is for the design and layout of the proposed water system improvements. All water system improvements shall be constructed to the standards in effect at the time of construction. This approval does not guarantee availability of water service. Water service is available subject to conformance with all policies and standards in effect at the time of application for service, payment of fees and approval of the water service application. The Water Division does not guarantee a specific water pressure or flow at any meter or fire hydrant. This approval is valid for a period of one year.

SIGNATURE _____ DATE _____
SIGNATURE _____ DATE _____



06
C-502
WATERLINE PROFILE
SCALE: H: 1" = 10', V: 1" = 1'
07
C-502
SANITARY SEWER PROFILE
SCALE: H: 1" = 20', V: 1" = 2'

WASHINGTON COUNTY, MARYLAND
CORE PROPERTIES CAPITAL, LLC
3540 PEACHTREE ROAD, SUITE 1000, ATLANTA, GA 30328
ATTN: ELIZABETH WEINER, EMAIL: EWENIER@COREPROPERTICAPITAL.COM, PHONE: 770.255.8944

TAKE 5 OIL
LOCATED AT 1058 SHARPSBURG PIKE
HAGERSTOWN, MD 21740

FSA
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FREDERICK, MARYLAND 21702
PHONE: 301.791.3800 FAX: 301.791.3800
WWW.FSA-INC.COM

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional under the laws of the State of MARYLAND License # 2859
Expiration Date 08/31/2024

04/15/2024

PROJECT NO. 3618.2
DWN BY ABRAM MYERS DATE 08.08.2023
PROJECT MANAGER T. FREDERICK
EMAIL TFREDERICK@FSA-INC.COM
TAX MAP - GRID - PARCEL: 0057-0010-0008
SCALE N.T.S.
SHEET TITLE CONSTRUCTION DETAILS & NOTES- WATER & SEWER
C-502
SHEET 11 OF 11

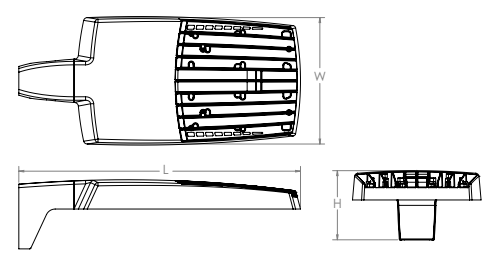


RSX2 LED Area Luminaire



Specifications

EPA (ft²/ft): 0.69 ft² (0.06 m²)
 Length: 29.3" (74.4 cm) (SPA mount)
 Width: 13.4" (34.0 cm)
 Height: 3.0" (7.6 cm) Main Body
 7.2" (18.3 cm) Arm
 Weight (SPA mount): 30.0 lbs (13.6 kg)



| | |
|----------------|--|
| Catalog Number | |
| Notes | |
| Type | |

Introduction

The new RSX2 LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX2 delivers 11,000 to 31,000 lumens allowing it to replace 250W to 1000W HID luminaires.

The RSX2 features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Items marked by a shaded background qualify for the Design Select program and ship in 15 days or less. To learn more about Design Select, visit www.acuitybrands.com/designselect. *See ordering tree for details.

Design Selections indicated by this color background.

Ordering Information

EXAMPLE: RSX2 LED P6 40K R3 MVOLT SPA DDBXD

| Series | Performance Package | Color Temperature | Distribution | Voltage | Mounting |
|----------|---------------------|-------------------|--|--|--|
| RSX2 LED | P1 | 30K 3000K | R2 Type 2 Wide | MVOLT (120V-277V) ¹ | SPA Square pole mounting (3.0" min. S2 pole for 1 at 90°, 3.5" min. S2 pole for 2, 3, 4 at 90°) |
| | P2 | 30K 4000K | R3 Type 3 Wide | MVOLT (120V-480V) ¹ | SPA Based pole mounting (3.2" min. dia. 480 pole for 2, 3, 4 at 90°, 3.0" min. dia. 480 pole for 1 at 90°, 2.4" 180°, 3.4" 120°) |
| | P3 | 50K 5000K | R35 Type 3 Short | XVOLT (277V-480V) ¹ | MA Mast arm adaptor (16" 2-3/8" OD horizontal only) |
| | P4 | | R4 Type 4 Wide | less specific voltage for options as noted | IS Adjustable slipfitter (16" 2-3/8" OD horizontal only) |
| | P5 | | R45 Type 4 Short | 120 ¹ 277 ¹ | WBA Wall bracket* |
| | P6 | | R5 Type 5 Wide | 208 ¹ 347 ¹ | WBASC Wall bracket with surface conduit box |
| | | | R55 Type 5 Short ¹ | 240 ¹ 480 ¹ | AASP Adjustable tilt arm square pole mounting* |
| | | | AFR Automotive Front Row | | AASP Adjustable tilt arm round pole mounting* |
| | | | AFR890 Automotive Front Row Right Recessed | | AAWS Adjustable tilt arm with wall bracket* |
| | | | AFR190 Automotive Front Row Left Recessed | | AAWSX Adjustable tilt arm wall bracket and surface conduit box* |

Options

| Options | Finish |
|--|--|
| Shipped installed HS House-side shield ¹ PE Photometric button type ¹² FER2 Series-wide battery lock receptacle only (see controls) ^{13, 14} SF Single fuse (120, 277, 347) ¹ DF Double fuse (208, 240, 480) ¹ SPD20KV 20KV Surge pack (10KV standard) FAD Field adjustable output DMG 0-10V dimming external out back of housing for external control (control ordered separately) ¹⁵ DS Dual switching ¹⁶ | DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured Dark Bronze DBLTXD Textured Black DNATXD Textured Natural Aluminum DWHGXD Textured White |
| Shipped separately BBW Optional Back Box (BBW) E65 External glare shield ¹⁷ E65V External glare shield (360° around light aperture) ¹⁷ BS Bird spikes ¹⁸ | |

One Lithonia Way • Corners, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.acuitybrands.com
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WSQ LED Architectural Wall Sconce

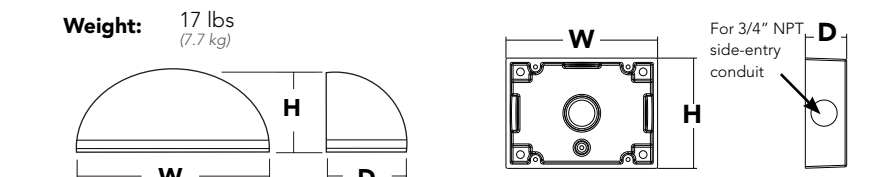


Specifications

Height: 9-3/8" (23.8 cm)
 Width: 18" (45.7 cm)
 Depth: 9" (22.8 cm)
 Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (102 mm)
 Width: 5-1/2" (14.0 cm)
 Depth: 1-1/2" (3.8 cm)



Introduction

Classic Architectural Wall Sconce with the LED technology. Long-life, maintenance-free product with typical energy savings of 80% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity. The WSQ LED is ideal for replacing existing 50-250W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information

EXAMPLE: WSQ LED P2 40K SR3 MVOLT DDBTXD

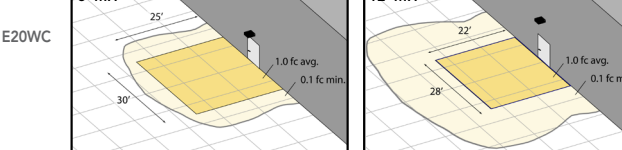
| Series | Performance Package | Color Temperature | Distribution | Voltage | Mounting | Options | Finish (required) |
|---------|---------------------|-------------------|--------------|--------------------|---------------------------------|---|----------------------------------|
| WSQ LED | P1 | 30K | SR2 Type II | MVOLT ¹ | Shipped included (Inch) | Shipped installed | DDBXD Dark Bronze |
| | P2 | 40K | SR3 Type II | 120 | Shipped separately ² | FE Photometric cell, button type ¹² | DBLXD Black |
| | P3 | 50K | SR4 Type IV | 208 | Shipped separately ² | SF Single fuse (120, 277, 347V) ¹ | DNAXD Natural aluminum |
| | | | | 240 | Shipped separately ² | DF Double fuse (208, 240, 480V) ¹ | DWHXD White |
| | | | | 277 | Shipped separately ² | DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) | DDBTXD Textured dark bronze |
| | | | | 347 | Shipped separately ² | DBLTXD Textured black | DBLTXD Textured black |
| | | | | 480 | Shipped separately ² | DNATXD Textured natural aluminum | DNATXD Textured natural aluminum |
| | | | | | Shipped separately | DWHGXD Textured white | DWHGXD Textured white |
| | | | | | Shipped separately | DS1XD Textured sandstone | DS1XD Textured sandstone |
| | | | | | Shipped separately | WLU Well location door for glare reduction ¹ | |
| | | | | | Shipped separately | PIR Motion/lambert light sensor ¹ | |
| | | | | | Shipped separately | DS Dual switching ¹⁶ | |
| | | | | | Shipped separately | SPD Separate Surge Protection ¹ | |
| | | | | | Shipped separately | WG Wire guard | |

Emergency Battery Operation

The emergency battery backup (E65WC & E10WH optional) is integral to the luminaire - no external housing required. This design provides reliable emergency operation while maintaining the aesthetics of the product. All E65WC & E10WH configurations include an independent secondary driver with an integral relay to immediately detect AC power loss.

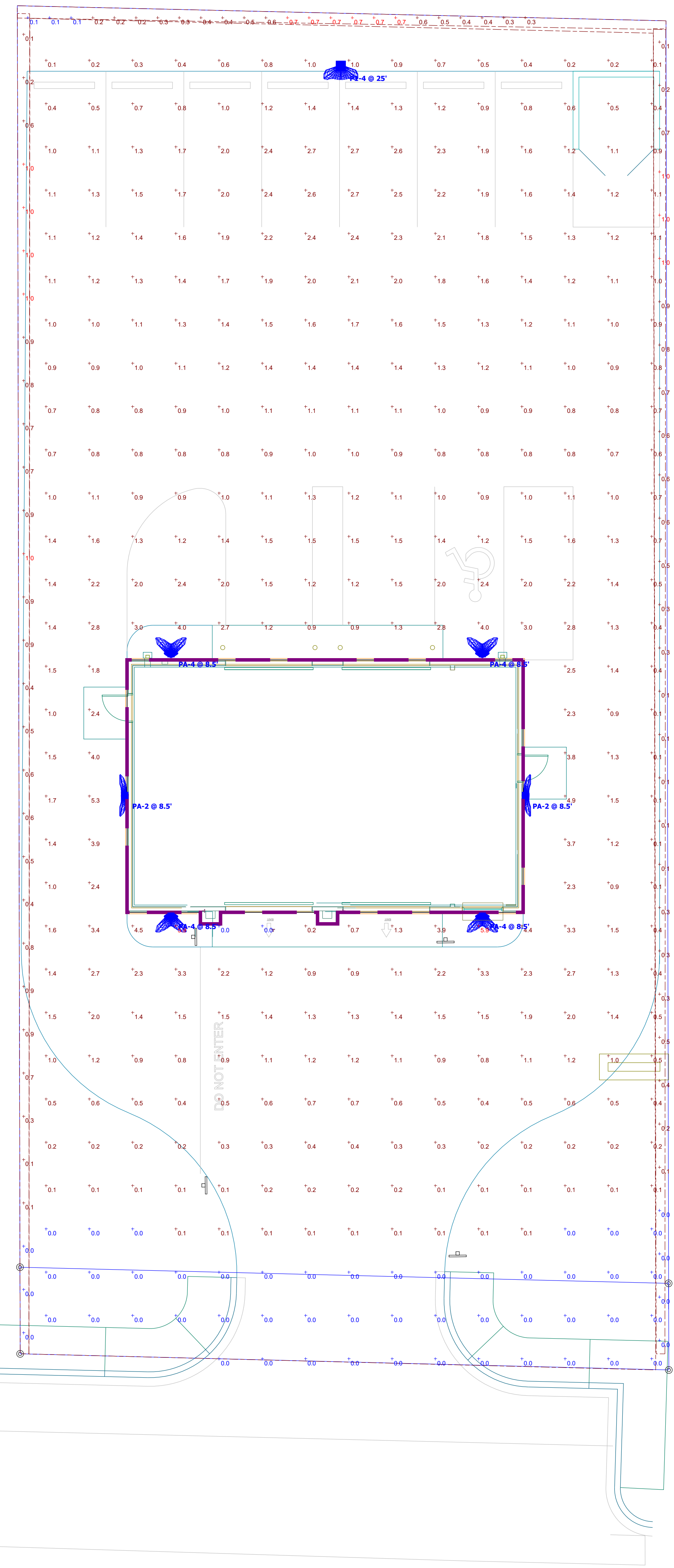
The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours from the time standby power is lost, per International Building Code Section 1008 and NFPA 101 Life Safety Code Section 7.7, provided luminaires are mounted at an appropriate height and luminaire an open space with no major obstructions).

The examples below show luminance of 1 fc average and 0.1 fc minimum of the P1 power package Type IV product in emergency mode.



- NOTES
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
 - Not available with 480V option.
 - FE option is voltage specific.
 - Single fuse (SF) requires 120V, 277V or 347V options. Double fuse (DF) requires 208V, 240V or 480V options.
 - Not available with 347V or 480V. Not available with WLU.
 - WLU not available with SR2, E20WC or E10WH.
 - When ordering PIR, "FE" will be automatically added to the order line for "light to off" capability. See PIR table for details.
 - Only available with P3 & P4 packages. Provides 50/90 luminaire operation via independent driver and light sensor on only separate circuit.
 - Not available with E20WC, E10WH, WLU, SF, or DF. When ordered with photometric (PE) or motion sensor (PIR), only the primary power source leads will be controlled.
 - See electrical section on page 2 for more details.

Commercial Outdoor One Lithonia Way • Corners, Georgia 30012 • Phone: 1-800-705-7378 • www.lithonia.com
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| Schedule | Symbol | Label | Change | Quantity | Manufacturer | Location | Description | Quantity | Location | Area | Height | Notes |
|----------|--------|-------|--------|----------|--------------|----------|-------------|----------|----------|------|--------|-------|
| P1-4 | | | | | | | | | | | | |
| P2-2 | | | | | | | | | | | | |
| P4-4 | | | | | | | | | | | | |

| Statistics | | | | | | |
|---------------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| Entire Site | + | 1.1 fc | 5.9 fc | 0.0 fc | N/A | N/A |
| Property Line East | + | 0.4 fc | 1.0 fc | 0.0 fc | N/A | N/A |
| Property Line North | + | 0.4 fc | 0.7 fc | 0.1 fc | 7.0:1 | 4.0:1 |
| Property Line West | + | 0.6 fc | 1.0 fc | 0.0 fc | N/A | N/A |



TAKE 5 OIL CHANGE
 10306 SHARPSBURG PIKE
 HAGERSTOWN, MD 21740

Designer
 Date 08/01/2023
 Scale Not to Scale
 Drawing No. PH1
 Summary

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| Land Development Reviews | | | | | | | |
|--------------------------|--------------------------|------------------------|---------------|--|---|--------------------------------|---|
| Record # | Type | Status | Accepted Date | Title | Location | Consultant | Owner |
| FS-24-011 | Forest Stand Delineation | Approved | 11-Jun-24 | RED ROOF 5 | 22637 CAVETOWN CHURCH ROAD SMITHSBURG, MD 21783 | R LEE ROYER & ASSOCIATES | Ronald Martin LAZZARA SHARON CHUKLA |
| FS-24-012 | Forest Stand Delineation | Approved | 12-Jun-24 | FOREST STAND DELINEATION PLAN FOR EILEEN HARBAUGH | 16200 BROADFORDING ROAD HAGERSTOWN, MD 21740 | APEX LAND SOLUTIONS LLC | HARBAUGH NELSON L & EILEEN F |
| FS-24-013 | Forest Stand Delineation | Received | 13-Jun-24 | PERENNIAL SOLAR | 16939 FAIRVIEW ROAD HAGERSTOWN, MD 21740 | KIMLEY-HORN & ASSOCIATES INC | BARR FAMILY LLC |
| FS-24-014 | Forest Stand Delineation | Approved | 19-Jun-24 | HAROLD FARROW JR | | FREDERICK SEIBERT & ASSOCIATES | BRANCHMAN BARBARA JEAN ET AL FARROW HAROLD VINCENT JR |
| SIM24-045 | IMA | Active | 05-Jun-24 | CROSS CREEK COMMERCIAL FLEX SPACE | | FOX & ASSOCIATES INC | CROSS CREEK BUILDERS LLC |
| SIM24-046 | IMA | Active | 12-Jun-24 | FAHRNEY KEEDY MEMORIAL HOME PHOTOVOLTAIC SYSTEM | 8507 MAPLEVILLE ROAD BOONSBORO, MD 21713 | WILLIAM LOU | FAHRNEY KEEDY MEMORIAL HOME INC. |
| SIM24-047 | IMA | Active | 14-Jun-24 | 14539 EDMONT ROAD SM | 14549 EDMONT ROAD SMITHSBURG, MD 21783 | FREDERICK SEIBERT & ASSOCIATES | HALL JEFFREY S HALL KIMBERLY K |
| SIM24-048 | IMA | Requested | 28-Jun-24 | 18712 ROLLING ROAD HN | 18712 ROLLING ROAD HAGERSTOWN, MD 21742 | FREDERICK SEIBERT & ASSOCIATES | SUNDERLIN DAVID L |
| OM-24-006 | Ordinance Modification | Approved | 20-Jun-24 | CATHY SCOTT PARCEL B | 17000 SHEPHERDSTOWN PIKE SHARPSBURG, MD 21782 | FREDERICK SEIBERT & ASSOCIATES | SCOTT CATHY A |
| PC-24-005 | Preliminary Consultation | In Review | 05-Jun-24 | BERYL WIELAND AGE RESTRICTED RESIDENTIAL CONCEPT | 1230 MOUNT AETNA ROAD HAGERSTOWN, MD 21742 | FREDERICK SEIBERT & ASSOCIATES | WIELAND BERYL |
| S-24-020 | Preliminary-Final Plat | Received | 12-Jun-24 | PRELIMINARY/FINAL PLAT FOR EILEEN HARBAUGH | 16200 BROADFORDING ROAD HAGERSTOWN, MD 21740 | APEX LAND SOLUTIONS LLC | HARBAUGH NELSON L & EILEEN F |
| S-24-021 | Preliminary-Final Plat | In Review | 19-Jun-24 | LEE & KELLY DROSDAK | 5611 MOUNT CARMEL CHURCH ROAD KEEDYSVILLE, MD 21756 | FREDERICK SEIBERT & ASSOCIATES | DROSDAK KELLY |
| PSP-21-002.R03 | Redline Revision | Approved | 14-Jun-24 | SHOPS AT SHARPSBURG PIKE | 10319 SHARPSBURG PIKE HAGERSTOWN MD 21740 | FREDERICK SEIBERT & ASSOCIATES | SHARPSBURG PIKE HOLDING LLC |
| SP-23-033.R01 | Redline Revision | Approved | 18-Jun-24 | REDLINE REVISION TO RELOCATE PARKING AND ADD 3 12X30 UNITS TO THE PLAN | 19729 LONGMEADOW ROAD HAGERSTOWN, MD 21742 | TRIAD ENGINEERING | OLIVER JOHN R COMPANY INC |
| SP-22-041.R01 | Redline Revision | Approved | 28-Jun-24 | ARNETTS LOT 1 C STORE REVISED SITE PLAN (PREVIOUSLY SP-15-008) | 10335 SUPERCENTER DRIVE HAGERSTOWN, MD 21740 | FOX & ASSOCIATES INC | ARNETTS INC |
| SI-24-012 | Simplified Plat | Approval Letter Issued | 01-Jun-24 | KERSHNER TRACY & BRENT | 11437 ERNSTVILLE ROAD BIG POOL, MD 21711 | UNGER SURVEYING & CONSTRUCTION | KERSHNER TRACY & KERSHNER BRENT |
| SI-24-013 | Simplified Plat | In Review | 05-Jun-24 | DORIS KERSHNER PARCEL A | | FREDERICK SEIBERT & ASSOCIATES | KERSHNER DORIS B ET AL |
| SI-24-014 | Simplified Plat | In Review | 11-Jun-24 | MOWEN PARCEL A | 14428 MARSH PIKE HAGERSTOWN, MD 21742 | FREDERICK SEIBERT & ASSOCIATES | NOVIC DOUGLAS W NOVIC CHARLENE L |

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| Land Development Reviews | | | | | | | |
|--------------------------|----------------------------|-----------------|---------------|--|--|--------------------------------|--|
| Record # | Type | Status | Accepted Date | Title | Location | Consultant | Owner |
| SP-24-021 | Site Plan | In Review | 12-Jun-24 | SITE PLAN FOR GOLDEN WOOD - 18126 LAPPANS ROAD | 18126 LAPPANS ROAD FAIRPLAY, MD 21733 | APEX LAND SOLUTIONS LLC | EBERLY LYNN EUGENE EBERLY SUZANN LEHMAN |
| GP-24-006 | Site Specific Grading Plan | In Review | 19-Jun-24 | MERITUS MEDICAL CENTER - ANATOMY DRIVE EXTENSION | 11116 MEDICAL CAMPUS ROAD, SUITE# 141 HAGERSTOWN, MD 21742 | | MERITUS MEDICAL CENTER INC |
| SGP-24-045 | Standard Grading Plan | In Review | 06-Jun-24 | STUDENT TRADES FOUNDATION - 741/743 MEDWAY ROAD | 741 MEDWAY ROAD HAGERSTOWN, MD 21740 | | Washington County Student Trades Foundation |
| SGP-24-046 | Standard Grading Plan | Approved | 10-Jun-24 | SKOWRONSKI, JEFF & KATE | 8656 FAHRNEY CHURCH ROAD BOONSBORO, MD 21713 | OLIVER HOMES INC | SKOWRONSKI JEFFREY ALLEN MCCUNE KATHRYN DENISE |
| SGP-24-047 | Standard Grading Plan | In Review | 12-Jun-24 | ASHTON RD LOT 11 | 11705 ASHTON ROAD CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | ABL MANAGEMENT LLC |
| SGP-24-048 | Standard Grading Plan | In Review | 13-Jun-24 | CONSORTI | 2622 HAWKS HILL LANE KEEDYSVILLE, MD 21756 | FREDERICK SEIBERT & ASSOCIATES | CONSORTI JULIE |
| SGP-24-049 | Standard Grading Plan | Final Approvals | 13-Jun-24 | STINE - LOT 5 DAM NO. 5 RD | 11175 DAM NUMBER 5 ROAD CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | STINE JORDAN L |
| SGP-24-050 | Standard Grading Plan | In Review | 14-Jun-24 | DENNIS MINNICK | 12333 PLEASANT VALLEY ROAD SMITHSBURG, MD 21783 | FREDERICK SEIBERT & ASSOCIATES | MINNICK DENNIS W MINNICK JEAN P |
| SGP-24-051 | Standard Grading Plan | In Review | 17-Jun-24 | CURTIS CONWAY | | FREDERICK SEIBERT & ASSOCIATES | CONWAY CURTIS LEROY JR |
| SGP-24-052 | Standard Grading Plan | In Review | 26-Jun-24 | TIMOTHY S. FRANQUIST SR. | 21011 KEADLE ROAD BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES | FRANQUIST TIMOTHY S SR |
| SGP-24-053 | Standard Grading Plan | Pending | 26-Jun-24 | SCOTT LESHER | | FREDERICK SEIBERT & ASSOCIATES | LESHER SCOTT A |
| SWCP24-016 | Stormwater Concept Plan | In Review | 20-Jun-24 | NEW TRANSFER STATION - 106 JAMISON COURT | 106 JAMISON COURT HAGERSTOWN, MD 21740 | | HAGERSTOWN TRANSFER & PROCESSING L |
| SSWP24-030 | Stormwater Standard Plan | In Review | 06-Jun-24 | STUDENT TRADES FOUNDATION - 741/743 MEDWAY ROAD | 741 MEDWAY ROAD HAGERSTOWN, MD 21740 | FOX & ASSOCIATES INC | Washington County Student Trades Foundation |
| SSWP24-031 | Stormwater Standard Plan | Approved | 10-Jun-24 | SKOWRONSKI, JEFF & KATE | 8656 FAHRNEY CHURCH ROAD BOONSBORO, MD 21713 | OLIVER HOMES INC | SKOWRONSKI JEFFREY ALLEN MCCUNE KATHRYN DENISE |
| SSWP24-032 | Stormwater Standard Plan | In Review | 12-Jun-24 | ASHTON RD LOT 11 | 11705 ASHTON ROAD CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | ABL MANAGEMENT LLC |
| SSWP24-033 | Stormwater Standard Plan | In Review | 13-Jun-24 | CONSORTI | 2622 HAWKS HILL LANE KEEDYSVILLE, MD 21756 | FREDERICK SEIBERT & ASSOCIATES | CONSORTI JULIE |
| SSWP24-034 | Stormwater Standard Plan | In Review | 14-Jun-24 | DENNIS MINNICK | 12333 PLEASANT VALLEY ROAD SMITHSBURG, MD 21783 | FREDERICK SEIBERT & ASSOCIATES | MINNICK DENNIS W MINNICK JEAN P |
| SSWP24-035 | Stormwater Standard Plan | In Review | 17-Jun-24 | CURTIS CONWAY | | FREDERICK SEIBERT & ASSOCIATES | CONWAY CURTIS LEROY JR |
| SSWP24-036 | Stormwater Standard Plan | In Review | 20-Jun-24 | STINE - LOT 5 DAM NO. 5 RD | 11175 DAM NUMBER 5 ROAD CLEAR SPRING, MD 21722 | FREDERICK SEIBERT & ASSOCIATES | STINE JORDAN L |
| SSWP24-037 | Stormwater Standard Plan | In Review | 26-Jun-24 | TIMOTHY S. FRANQUIST SR. | 21011 KEADLE ROAD BOONSBORO, MD 21713 | FREDERICK SEIBERT & ASSOCIATES | FRANQUIST TIMOTHY S SR |
| SSWP24-038 | Stormwater Standard Plan | Pending | 26-Jun-24 | SCOTT LESHER | | FREDERICK SEIBERT & ASSOCIATES | LESHER SCOTT A |

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| Land Development Reviews | | | | | | | |
|--------------------------|--------------------|-----------|---------------|---|--|----------------------|--|
| Record # | Type | Status | Accepted Date | Title | Location | Consultant | Owner |
| S-24-019 | Subdivision Replat | In Review | 03-Jun-24 | REPLAT - LANDS OF JOSEPH IRVING BOLLINGER AND LARA MICHELLE BOLLINGER | 11828 PARTRIDGE TRAIL HAGERSTOWN, MD 21742 | FOX & ASSOCIATES INC | BOLLINGER JOSEPH IRVING BOLLINGER LARA MICHELLE |

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| Permits Reviews | | | | | | | |
|-----------------|-------------------|---------------------|---------------|-------------------------------|--|---|---|
| Record # | Type | Status | Accepted Date | Title | Location | Consultant | Owner |
| 2024-02636 | Entrance Permit | In Progress | 04-Jun-24 | STICK BUILT HOME | S-15-009 10839 HERSHEY DRIVE, LOT 569 | KENNY GARDNER | KELLGARD GENERAL CONTRACTING LLC |
| 2024-02684 | Entrance Permit | Approved | 06-Jun-24 | STICK BUILT HOME | S-18-035 9407 ALLOWAY DRIVE, LOT 221 | | DRB GROUP MID ATLANTIC LLC |
| 2024-02728 | Entrance Permit | In Progress | 07-Jun-24 | SEMI-DETACHED HOME | S-22-032 741 MEDWAY ROAD, LOT 90B, RIGHT AND LEFT SIDE | WASHINGTON COUNTY STUDENT TRADES FOUNDATION INC | WASHINGTON COUNTY STUDENT TRADES FOUNDATION INC |
| 2024-02740 | Entrance Permit | Approved | 10-Jun-24 | STICK BUILT HOME | S-21-048 8656 FAHRNEY CHURCH ROAD, LOT 2 | OLIVER HOMES INC | SKOWRONSKI JEFFREY ALLEN MCCUNE KATHRYN DENISE |
| 2024-02887 | Entrance Permit | In Progress | 17-Jun-24 | STICK BUILT HOME | S-10-040 11705 ASHTON ROAD, LOT 11 | AHC NEW HOMES LLC | ABL MANAGEMENT LLC |
| 2024-02920 | Entrance Permit | Approved | 18-Jun-24 | SEMI-DETACHED HOME | S-21-031 19601 LAVENDER LANE, LOT 99 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02924 | Entrance Permit | Approved | 18-Jun-24 | SEMI-DETACHED HOME | S-21-031 19603 LAVENDER LANE, LOT 100 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02927 | Entrance Permit | Approved | 18-Jun-24 | SEMI-DETACHED HOME | S-21-031 19613 LAVENDER LANE, LOT 103 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02931 | Entrance Permit | Approved | 18-Jun-24 | SEMI-DETACHED HOME | S-21-031 19615 LAVENDER LANE, LOT 104 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02971 | Entrance Permit | Approved | 20-Jun-24 | STICK BUILT HOME | HARPERS FERRY ROAD | | MULLER JEFFREY MULLER TRICIA |
| 2024-02987 | Entrance Permit | In Progress | 21-Jun-24 | STICK BUILT HOME | S-23-059 11175 DAM NUMBER 5 ROAD, LOT 5 | SMOKER STEVIE E | STINE JORDAN L |
| 2024-03015 | Entrance Permit | In Progress | 23-Jun-24 | STICK BUILT HOME | SI-01-021 HAWKS HILL LANE, LOT 42 | | CONSORTI JULIE |
| 2024-03041 | Entrance Permit | In Progress | 25-Jun-24 | STICK BUILT HOME | S-03-220 21011 KEADLE ROAD, LOT 2 | | FRANQUIST TIMOTHY S SR |
| 2024-03045 | Entrance Permit | Approved | 25-Jun-24 | STICK BUILT HOME | S-18-035 9343 ALLOWAY DRIVE, LOT 79 | | DRB GROUP MID ATLANTIC |
| 2024-03049 | Entrance Permit | In Progress | 25-Jun-24 | STICK BUILT HOME | S-18-035 9425 ALLOWAY DRIVE, LOT 218 | | DRB GROUP MID ATLANTIC LLC |
| 2024-03058 | Entrance Permit | Approved | 26-Jun-24 | STICK BUILT HOME | S-18-035 9364 ALLOWAY DRIVE, LOT 769 | | DRB GROUP MID ATLANTIC LLC |
| 2024-03109 | Entrance Permit | Approved | 27-Jun-24 | COMMERCIAL | S-16-036 | | CROSS CREEK BUILDERS LLC |
| 2024-03012 | Entrance Permit | Review | 21-Jun-24 | ADDITION/ALTERATIONS | 14247 NATIONAL PIKE | | CLEAR SPRING FARM LLC |
| 2024-02639 | Floodplain Permit | Review | 04-Jun-24 | RESIDENTIAL ADDITION | LOR 14241 FALLING WATERS ROAD, LOT 125 | | POTOMAC FISH & GAME CLUB |
| 2024-02723 | Floodplain Permit | Approved | 07-Jun-24 | FLOODPLAIN | LOR COOL HOLLOW ROAD | | YOKUS FADIMANA |
| 2024-02811 | Floodplain Permit | Pending Information | 12-Jun-24 | KOLBE DECK | 14652 HIGH GERMANY ROAD HANCOCK, MD 21750 | | COOPER WILLIAM WALES COOPER SUSAN WILLIAMS |
| 2024-02658 | Grading Permit | In Progress | 04-Jun-24 | | LOR 6020 RIVER ROAD, LOT 16 | | WRIDE TIMOTHY B |
| 2024-02685 | Grading Permit | Approved | 06-Jun-24 | WESTFIELDS LOT #221 | S-18-035 9407 ALLOWAY DRIVE, LOT 221 | | DRB GROUP MID ATLANTIC LLC |
| 2024-02729 | Grading Permit | In Progress | 07-Jun-24 | SEMI-DETACHED HOME | S-22-032 741 MEDWAY ROAD, LOT 90B, RIGHT AND LEFT SIDE | WASHINGTON COUNTY STUDENT TRADES FOUNDATION INC | WASHINGTON COUNTY STUDENT TRADES FOUNDATION INC |
| 2024-02741 | Grading Permit | Approved | 10-Jun-24 | STICK BUILT HOME | S-21-048 8656 FAHRNEY CHURCH ROAD, LOT 2 | OLIVER HOMES INC | SKOWRONSKI JEFFREY ALLEN MCCUNE KATHRYN DENISE |
| 2024-02748 | Grading Permit | Approved | 10-Jun-24 | MASON DIXON WATERLINE UPGRADE | GP-23-002 CITICORP DRIVE | | GANESH III LLC |
| 2024-02808 | Grading Permit | In Progress | 12-Jun-24 | COMMERCIAL | 6502 HESS ROAD | RHIANNON DODGE, PE | HANCOCK MAYOR & COUNCIL |
| 2024-02815 | Grading Permit | In Progress | 12-Jun-24 | COMMERCIAL | PENNSYLVANIA AVENUE | RHIANNON DODGE, PE | HANCOCK TOWN OF |
| 2024-02885 | Grading Permit | In Progress | 17-Jun-24 | STICK BUILT HOME | S-23-053 12333 PLEASANT VALLEY ROAD, PARCEL A | OLIVER HOMES INC | MINNICK DENNIS W MINNICK JEAN P |
| 2024-02888 | Grading Permit | In Progress | 17-Jun-24 | STICK BUILT HOME | S-10-040 11705 ASHTON ROAD, LOT 11 | AHC NEW HOMES LLC | ABL MANAGEMENT LLC |

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| Permits Reviews | | | | | | | |
|-----------------|---|-------------|---------------|---------------------------------------|---|-------------------------------|---|
| Record # | Type | Status | Accepted Date | Title | Location | Consultant | Owner |
| 2024-02921 | Grading Permit | Approved | 18-Jun-24 | ROSEHILL MANOR LOTS 99 | S-21-031 19601 & 19603 LAVENDER LANE, LOTS 99 & 100 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02928 | Grading Permit | Approved | 18-Jun-24 | ROSEHILL MANOR LOT #103 | S-21-031 19613 & 19615 LAVENDER LANE, LOT 103 & 104 | | DAN RYAN BUILDERS MID ATLANTIC INC |
| 2024-02988 | Grading Permit | In Progress | 21-Jun-24 | STICK BUILT HOME | S-23-059 11175 DAM NUMBER 5 ROAD, LOT 5 | SMOKER STEVIE E | STINE JORDAN L |
| 2024-03016 | Grading Permit | In Progress | 23-Jun-24 | STICK BUILT HOME | SI-01-021 HAWKS HILL LANE, LOT 42 | | CONSORTI JULIE |
| 2024-03042 | Grading Permit | In Progress | 25-Jun-24 | GRADING PERMIT | S-03-220 21011 KEADLE ROAD, LOT 2 | | FRANQUIST TIMOTHY S SR |
| 2024-03046 | Grading Permit | Approved | 25-Jun-24 | WESTFIELDS LOT #79 | S-18-035 9343 ALLOWAY DRIVE, LOT 79 | | DRB GROUP MID ATLANTIC |
| 2024-03050 | Grading Permit | In Progress | 25-Jun-24 | WESTFIELDS LOT #218 | S-18-035 9425 ALLOWAY DRIVE, LOT 218 | | DRB GROUP MID ATLANTIC LLC |
| 2024-03059 | Grading Permit | Approved | 26-Jun-24 | WESTFIELDS LOT #769 | S-18-035 9364 ALLOWAY DRIVE, LOT 769 | | DRB GROUP MID ATLANTIC LLC |
| 2024-03079 | Grading Permit | Review | 26-Jun-24 | EMERALD POINTE PUD PH 4 SECT 5 | 13381 EMERALD POINTE | | EMERALD POINTE INC |
| 2024-03090 | Non-Residential New Construction Permit | Review | 26-Jun-24 | COMMERCIAL | SP-24-017 1711 MASSEY BLVD | | DK VALLEY PLAZA LLC |
| 2024-02649 | Utility Permit | Approved | 04-Jun-24 | ANTIETAM BROADBAND | 7759 FAIRPLAY ROAD | ANTIETAM CABLE TELEVISION INC | READ LISA D THOMAS READ DENNIS K |
| 2024-02679 | Utility Permit | Approved | 05-Jun-24 | POTOMAC EDISON | 14206 DALEY ROAD | POTOMAC EDISON | MARTIN CARLIN D MARTIN CHERYL L |
| 2024-02731 | Utility Permit | Approved | 07-Jun-24 | | 24808 LINDEN AVENUE | BOYD BRUCE D | ZOPPI IRENE M L/E ZOPPI THOMAS J L/E |
| 2024-02774 | Utility Permit | Approved | 11-Jun-24 | ANTIETAM BROADBAND | 16113 EVERLY ROAD | ANTIETAM CABLE TELEVISION INC | STONEKING KEVIN M STONEKING LISA M |
| 2024-02853 | Utility Permit | Approved | 13-Jun-24 | COMCAST | 4902 GENERAL ANDERSON COURT | | TOMSIC CRAIG A TOMSIC THERESA H |
| 2024-02875 | Utility Permit | Approved | 14-Jun-24 | | 19435 EMERALD SQUARE | SEGRA COMMUNICATIONS | EMERALD POINTE INC |
| 2024-02933 | Utility Permit | Approved | 18-Jun-24 | MASON DIXON WATER UTILITY CROSSING | | SAM ALLEN | GANESH III LLC |
| 2024-02950 | Utility Permit | Approved | 19-Jun-24 | COLUMBIA GAS | 11114 GLENSIDE AVENUE | COLUMBIA GAS OF MARYLAND INC | NALLEY CHARLES D & DEANNA L |
| 2024-02995 | Utility Permit | Approved | 21-Jun-24 | VERIZON MARYLAND LLC | 17121 STERLING ROAD | VERIZON | J & R MILLER PROPERTIES LLC |
| 2024-03043 | Utility Permit | Approved | 25-Jun-24 | COLUMBIA GAS | 17613 HEISTERBORO ROAD | COLUMBIA GAS OF MARYLAND INC | BAKER TIMOTHY L |
| 2024-03080 | Utility Permit | Review | 26-Jun-24 | EMERALD POINTE PUD PH 4 SECT 5 | 13381 EMERALD POINTE | PAUL CRAMPTON CONTRACTORS INC | |
| 2024-03111 | Utility Permit | Review | 27-Jun-24 | CROSS CREEK COMMERCIAL UTILITY PERMIT | POFFENBERGER ROAD | | CROSS CREEK BUILDERS LLC |
| 2024-02695 | Utility Permit | Review | 06-Jun-24 | | 17710 OAK RIDGE DRIVE | ALEX GARCIA | GUEVARA GARCIA JOSE A GUEVARA GARCIA LISETH |

Plan Review Projects Initialized - June 01, 2024 - June 30, 2024

| | Type | Total |
|---|--|--------------|
| LandDev Total by Group: 40 | Forest Stand Delineation | 4 |
| | IMA | 4 |
| | Ordinance Modification | 1 |
| | Preliminary Consultation | 1 |
| | Preliminary-Final Plat | 2 |
| | Redline Revision | 3 |
| | Simplified Plat | 3 |
| | Site Plan | 1 |
| | Site Specific Grading Plan | 1 |
| | Standard Grading Plan | 9 |
| | Stormwater Concept Plan | 1 |
| | Stormwater Standard Plan | 9 |
| | Subdivision Replat | 1 |
| Permits Total by Group: 53 | Entrance Permit | 18 |
| | Floodplain Permit | 3 |
| | Grading Permit | 18 |
| | Non-Residential New Construction Permit | 1 |
| | Utility Permit | 13 |
| Total | | 93 |

Chapter 244

(House Bill 805)

AN ACT concerning

Cannabis – Licensee Locations – Restrictions

FOR the purpose of altering the distance restrictions applicable to a licensed cannabis dispensary; prohibiting a political subdivision from establishing certain zoning requirements for licensed cannabis dispensaries and certain licensed cannabis growers that are more restrictive than certain zoning restrictions applicable to certain other entities; clarifying the authority of a political subdivision to alter certain distance requirements; authorizing certain individuals to file a protest with the Maryland Cannabis Administration against the renewal of a cannabis license; establishing standards and requirements for the Administration's consideration of a protest; ~~authorizing certain individuals to file a protest with the Maryland Cannabis Administration against the renewal of a cannabis license; establishing standards and requirements for the Administration's consideration of a protest;~~ requiring a political subdivision to grant a waiver to certain zoning requirements to a licensed cannabis dispensary that was operating before a certain date; and generally relating to cannabis licensees and zoning restrictions.

BY repealing and reenacting, without amendments,
 Article – Alcoholic Beverages and Cannabis
 Section 1–101(a) and (dd)
 Annotated Code of Maryland
 (2016 Volume and 2023 Supplement)

BY repealing and reenacting, with amendments,
 Article – Alcoholic Beverages and Cannabis
 Section 36–405 and 36–410
 Annotated Code of Maryland
 (2016 Volume and 2023 Supplement)

BY adding to
Article – Alcoholic Beverages and Cannabis
Section 36–411
Annotated Code of Maryland
(2016 Volume and 2023 Supplement)

~~BY adding to~~
~~Article – Alcoholic Beverages and Cannabis~~
~~Section 36–411~~
~~Annotated Code of Maryland~~
~~(2016 Volume and 2023 Supplement)~~

SECTION 1. BE IT ENACTED BY THE GENERAL ASSEMBLY OF MARYLAND,
That the Laws of Maryland read as follows:

Article – Alcoholic Beverages and Cannabis

1–101.

(a) In this article the following words have the meanings indicated.

(dd) (1) “Retail dealer” means a person that sells an alcoholic beverage to any person other than a license holder.

(2) “Retail dealer” includes a county dispensary.

36–405.

(a) **IN THIS SECTION, “UNDULY BURDEN” INCLUDES IMPOSING A ZONING REQUIREMENT OR RESTRICTION ON THE USE OF PROPERTY BY A CANNABIS LICENSEE THAT IS MORE RESTRICTIVE THAN THE REQUIREMENTS ESTABLISHED UNDER § 36–410 OF THIS SUBTITLE.**

(B) A political subdivision may:

(1) establish reasonable zoning requirements for cannabis businesses; and

(2) decide how to distribute its allocation of revenue under § 2–1302.2 of the Tax – General Article.

[(b)] (C) A political subdivision may not:

(1) establish zoning or other requirements that unduly burden a cannabis licensee;

(2) impose licensing, operating, or other fees or requirements on a cannabis licensee that are disproportionately greater or more burdensome than those imposed on other businesses with a similar impact on the area where the cannabis licensee is located;

(3) prohibit transportation through or deliveries within the political subdivision by cannabis businesses located in other political subdivisions;

(4) prevent an entity whose license may be converted under § 36–401(b)(1)(ii) of this subtitle and that is in compliance with all relevant medical cannabis regulations from being granted the license conversion; or

(5) negotiate or enter into an agreement with a cannabis licensee or an applicant for a cannabis license requiring that the cannabis licensee or applicant provide

money, donations, in-kind contributions, services, or anything of value to the political subdivision.

[(c)] (D) The use of a facility by a cannabis licensee is not required to be submitted to, or approved by, a county or municipal zoning board, authority, or unit if ~~the facility:~~

(1) THE FACILITY was properly zoned and operating on or before January 1, 2023; or

(2) ~~is used by a grower, processor, or dispensary that~~ THE CANNABIS LICENSEE:

(i) held a Stage One Preapproval for a license before October 1, 2022; and

(ii) was not ~~operational~~ ACTIVELY ENGAGED IN THE GROWING, PROCESSING, OR DISPENSING OF CANNABIS before October 1, 2022.

[(d)] (E) A political subdivision or special taxing district may not impose a tax on cannabis.

36–410.

(a) Beginning July 1, 2023, a cannabis licensee that is operating a dispensary shall:

(1) ensure that it has adequate supply for qualifying patients and caregivers;

(2) set aside operating hours or dedicated service lines to serve only qualifying patients and caregivers; and

(3) ensure that at least 25% of cannabis and cannabis products in the dispensary are from social equity licensees and growers and processors that do not share common ownership with the dispensary.

(b) Except as provided in subsection (d) of this section, a licensed dispensary may not locate within:

(1) 500 feet of:

(i) a pre-existing primary or secondary school in the State, or a licensed child care center or registered family child care home under Title 9.5 of the Education Article; or

(ii) a **PRE-EXISTING** playground, recreation center, library, [or] public park, **OR PLACE OF WORSHIP**; or

(2) 1,000 feet of another dispensary under this title.

(c) **(1) ~~A EXCEPT AS PROVIDED IN PARAGRAPH (2) OF THIS SUBSECTION,~~** A political subdivision may adopt an ordinance reducing, BUT NOT INCREASING, the distance requirements under subsection (b) of this section.

(2) A POLITICAL SUBDIVISION MAY BY ORDINANCE INCREASE THE DISTANCE LIMITATION FOR DISPENSARIES UNDER SUBSECTION (B)(2) OF THIS SECTION TO NOT MORE THAN ~~2,000 FEET~~ ONE-HALF MILE.

(d) The distance requirements under subsection (b) of this section do not apply to a dispensary license that was:

(1) converted under § 36-401(b)(1)(ii) of this subtitle; and

(2) properly zoned and operating before July 1, 2023.

(E) A POLITICAL SUBDIVISION MAY NOT ADOPT AN ORDINANCE ESTABLISHING ZONING REQUIREMENTS FOR LICENSED DISPENSARIES THAT ARE MORE RESTRICTIVE THAN ZONING REQUIREMENTS FOR A RETAIL DEALER LICENSED UNDER THIS ARTICLE.

(F) A POLITICAL SUBDIVISION MAY NOT ADOPT AN ORDINANCE:

(1) ESTABLISHING A ZONING REQUIREMENT FOR A LICENSED GROWER CULTIVATING CANNABIS EXCLUSIVELY OUTDOORS IN AN AREA ZONED ONLY FOR AGRICULTURAL USE THAT IS MORE RESTRICTIVE THAN ANY ZONING REQUIREMENTS THAT EXISTED ON JUNE 30, 2023, GOVERNING A HEMP FARM REGISTERED UNDER TITLE 14 OF THE AGRICULTURE ARTICLE IN THE POLITICAL SUBDIVISION; OR

(2) PROHIBITING OUTDOOR CANNABIS CULTIVATION ON A PREMISES THAT WAS PROPERLY ZONED FOR OUTDOOR CANNABIS CULTIVATION ON OR BEFORE JUNE 30, 2023.

(G) A POLITICAL SUBDIVISION MAY:

(1) BY ORDINANCE, ESTABLISH A DISTANCE LIMITATION FOR DISPENSARIES OF UP TO 100 FEET FROM AN AREA ZONED FOR RESIDENTIAL USE; OR

(2) APPLY TO DISPENSARIES THE DISTANCE LIMITATION FOR LICENSED ALCOHOLIC BEVERAGE RETAILERS FROM AN AREA ZONED FOR RESIDENTIAL USE.

(H) A POLITICAL SUBDIVISION SHALL GRANT A WAIVER TO AN ORDINANCE THAT PROVIDES A DISTANCE REQUIREMENT FOR DISPENSARIES UNDER THIS SECTION FOR A LICENSED DISPENSARY THAT WAS IN OPERATION BEFORE APRIL 1, 2024.

36-411.

(A) (1) A PROTEST AGAINST A LICENSE RENEWAL MAY BE FILED WITH THE ADMINISTRATION BY AT LEAST 10 INDIVIDUALS WHO ARE:

(I) RESIDENTS, COMMERCIAL TENANTS WHO ARE NOT HOLDERS OF OR APPLICANTS FOR A LICENSE, OR REAL ESTATE OWNERS; AND

(II) LOCATED WITHIN 1,000 FEET OF THE LICENSED PREMISES.

(2) A PROTEST AGAINST A LICENSE RENEWAL SHALL:

(I) BE ON THE BASIS OF:

1. A VIOLATION OF THIS TITLE;

2. A VIOLATION OF CIVIL OR CRIMINAL LAW;

3. CONDUCT BY A LICENSEE THAT CREATES OR MAINTAINS CONDITIONS THAT ALLOW OTHER INDIVIDUALS TO ACT IN A MANNER THAT DISTURBS THE PUBLIC PEACE, INCLUDING:

A. OBSTRUCTION OF PUBLIC RIGHTS-OF-WAY BY UNRULY CROWDS;

B. ASSAULT, BATTERY, OR OTHER DISORDERLY CONDUCT THAT DISTURBS THE PUBLIC PEACE;

C. VANDALISM; OR

D. LITTERING; OR

4. ANY OTHER VIOLATION ESTABLISHED BY THE ADMINISTRATION BY REGULATION; AND

(II) BE SIGNED UNDER OATH.

(B) (1) EXCEPT AS PROVIDED UNDER PARAGRAPH (2) OF THIS SUBSECTION, IF A PROTEST AGAINST A LICENSE RENEWAL IS FILED AT LEAST 30 DAYS BEFORE THE LICENSE EXPIRES, THE ADMINISTRATION MAY NOT APPROVE THE RENEWAL WITHOUT HOLDING A HEARING.

(2) THE ADMINISTRATION MAY APPROVE A LICENSE RENEWAL WITHOUT A HEARING IF THE ADMINISTRATION FINDS THAT THE BASIS OF THE PROTEST FILED AGAINST THE RENEWAL IS WITHOUT ANY REASONABLE GROUND.

(C) IN HEARING AND MAKING A DETERMINATION ON A PROTEST FILED AGAINST A LICENSE RENEWAL, THE ADMINISTRATION:

(1) MAY CONSIDER ONLY:

(I) ISSUES ARISING OUT OF SPECIFIC COMPLAINTS ABOUT THE OPERATION OF THE LICENSED PREMISES; AND

(II) THE PERFORMANCE OF THE LICENSE HOLDER FOR THE 4-YEAR PERIOD IMMEDIATELY PRECEDING THE DATE OF THE RENEWAL APPLICATION; AND

(2) MAY NOT CONSIDER ZONING ISSUES.

(D) THE ADMINISTRATION MAY ADOPT REGULATIONS TO IMPLEMENT THIS SECTION.

~~36-411.~~

~~**(A) (1) A PROTEST AGAINST A LICENSE RENEWAL MAY BE FILED WITH THE ADMINISTRATION BY AT LEAST 10 INDIVIDUALS WHO ARE:**~~

~~**(i) RESIDENTS, COMMERCIAL TENANTS WHO ARE NOT HOLDERS OF OR APPLICANTS FOR A LICENSE, OR REAL ESTATE OWNERS; AND**~~

~~**(ii) LOCATED WITHIN 1,000 FEET OF THE LICENSED PREMISES.**~~

~~**(2) A PROTEST AGAINST A LICENSE RENEWAL SHALL:**~~

~~**(i) BE ON THE BASIS OF:**~~

~~**1. A VIOLATION OF THIS TITLE;**~~

~~2. A VIOLATION OF CIVIL OR CRIMINAL LAW;~~

~~3. CONDUCT BY A LICENSEE THAT CREATES OR MAINTAINS CONDITIONS THAT ALLOW OTHER INDIVIDUALS TO ACT IN A MANNER THAT DISTURBS THE PUBLIC PEACE, INCLUDING:~~

~~A. OBSTRUCTION OF PUBLIC RIGHTS OF WAY BY UNRULY CROWDS;~~

~~B. ASSAULT, BATTERY, OR OTHER DISORDERLY CONDUCT THAT DISTURBS THE PUBLIC PEACE;~~

~~C. VANDALISM; OR~~

~~D. LITTERING; OR~~

~~4. ANY OTHER VIOLATION ESTABLISHED BY THE ADMINISTRATION BY REGULATION; AND~~

~~(H) BE SIGNED UNDER OATH.~~

~~(B) (1) EXCEPT AS PROVIDED UNDER PARAGRAPH (2) OF THIS SUBSECTION, IF A PROTEST AGAINST A LICENSE RENEWAL IS FILED AT LEAST 30 DAYS BEFORE THE LICENSE EXPIRES, THE ADMINISTRATION MAY NOT APPROVE THE RENEWAL WITHOUT HOLDING A HEARING.~~

~~(2) THE ADMINISTRATION MAY APPROVE A LICENSE RENEWAL WITHOUT A HEARING IF THE ADMINISTRATION FINDS THAT THE BASIS OF THE PROTEST FILED AGAINST THE RENEWAL IS WITHOUT ANY REASONABLE GROUND.~~

~~(C) IN HEARING AND MAKING A DETERMINATION ON A PROTEST FILED AGAINST A LICENSE RENEWAL, THE ADMINISTRATION:~~

~~(1) MAY CONSIDER ONLY:~~

~~(I) ISSUES ARISING OUT OF SPECIFIC COMPLAINTS ABOUT THE OPERATION OF THE LICENSED PREMISES; AND~~

~~(II) THE PERFORMANCE OF THE LICENSE HOLDER FOR THE 4 YEAR PERIOD IMMEDIATELY PRECEDING THE DATE OF THE RENEWAL APPLICATION; AND~~

~~(2) MAY NOT CONSIDER ZONING ISSUES.~~

~~(D) THE ADMINISTRATION MAY ADOPT REGULATIONS TO IMPLEMENT THIS SECTION.~~

SECTION 2. AND BE IT FURTHER ENACTED, That this Act shall take effect June 1, 2024.

Approved by the Governor, April 25, 2024.

**Proposed Zoning Ordinance Text Amendments
Cannabis Facilities
Planning Commission 8/5/2024**

ARTICLE 3. DISTRICTS ESTABLISHED; ZONING MAPS, DISTRICT BOUNDARIES; LAND USE REGULATIONS (RURAL AREA USES)

Section 3.3 - Table No. 3.3 - TABLE OF LAND USE REGULATIONS (RURAL AREA USES)

| Land Uses | A(R) | EC | P | RV | RB | IM | Intensity of Use |
|--------------------------------------|----------|----------|----------|-----------|----------|----------|------------------|
| K. Manufacturing | | | | | | | |
| <u>Cannabis Processor, Standard</u> | <u>P</u> | <u>P</u> | <u>P</u> | <u>N</u> | <u>P</u> | <u>N</u> | <u>N/A</u> |
| <u>Cannabis Processor, Micro</u> | <u>P</u> | <u>P</u> | <u>P</u> | <u>N</u> | <u>P</u> | <u>N</u> | <u>N/A</u> |
| P. Retail and Wholesale Trade | | | | | | | |
| <u>Cannabis Dispensary, Standard</u> | <u>N</u> | <u>N</u> | <u>N</u> | <u>N</u> | <u>P</u> | <u>N</u> | <u>N/A</u> |
| <u>Cannabis Dispensary, Micro</u> | <u>N</u> | <u>N</u> | <u>N</u> | <u>SE</u> | <u>P</u> | <u>N</u> | <u>N/A</u> |

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Article 11 “BL” Business, Local District

Section 11.1 Principal Permitted Uses

- (a) Local retail goods and service shops, including:
Candy Stores

Cannabis Dispensary, Standard and Micro. Provided that the use is a minimum 500 feet from pre-existing primary or secondary school in the State, or a licensed childcare center or registered family childcare home; a pre-existing playground, recreation center, library, public park, or place of worship; and that the use be a minimum one half-mile from another dispensary.
Clothing Stores

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Article 12 “BG” Business, General District

Section 12.2 Special Exception Uses (Requiring Board Authorization After Public Hearing)

(l) Cannabis Processor, Standard and Micro.

~~(m)~~ Any other use that the Board finds is functionally similar to any principally permitted use or special exception except adult book stores, adult minimotion picture theaters, or any other type of adult entertainment listed in this Article. The Board shall not grant any special exception which is inconsistent with the purpose set forth for this District, nor which will materially or adversely affect the use of any adjacent or neighboring properties.

Article 13 “IR” Industrial, Restricted District

Section 13.1 Principal; Permitted Uses

(i) Cannabis Processor, Standard and Micro.

Article 19C “Special Economic District”

Section 19C.2 Principal Permitted Uses

Assisted Living Facility

Cannabis Dispensary, Standard and Micro. Provided that the use is a minimum 500 feet from pre-existing primary or secondary school in the State, or a licensed childcare center or registered family childcare home; a pre-existing playground, recreation center, library, public park, or place of worship; and that the use be a minimum one half-mile from another dispensary.

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Child or Adult Day Care Facilities

ARTICLE 28A – DEFINITIONS

Cannabis Dispensary: An entity licensed under this title that acquires, possesses, repackages, transports, sells, distributes, or dispenses cannabis or cannabis products, including tinctures, aerosols, oils, and ointments, related supplies, and educational materials for use by qualifying patients, caregivers, or consumers through a storefront or through a delivery service, based on license type

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- A standard licensed dispensary operates a store at a physical location that sells cannabis or cannabis products.

- A micro licensed dispensary operates a delivery service that sells cannabis or cannabis products without a physical storefront, provided that the licensee employs not more than 10 employees.

Cannabis Grower: An entity licensed under this title that: (1) cultivates or packages cannabis; and (2) is authorized by the Administration to provide cannabis to other cannabis licensees and registered independent testing laboratories. Per the definition of agriculture provided in Article 28A, the growing, drying and packaging of cannabis, a product of the soil, is considered an agricultural use. Therefore, cannabis growing facilities must be permitted in every district agriculture is permitted.

- A standard licensed grower operates more than 10,000 square feet, but not more than 300,000 square feet, of indoor canopy or its equivalent, as calculated by the Administration.
- A micro licensed grower operates not more than 10,000 square feet of indoor canopy or its equivalent, as calculated by the Administration.

Cannabis Processor: An entity licensed under this title that: (1) transforms cannabis into another product or an extract and packages and labels the cannabis product; and (2) is authorized by the Administration to provide cannabis to licensed dispensaries and registered independent testing laboratories

- A standard licensed processor processes more than 1,000 pounds of cannabis per year, as calculated by the Administration.
- A micro licensed processor processes no more than 1,000 pounds of cannabis per year, as calculated by the Administration.

Cannabis Products: Products that are composed of cannabis, cannabis concentrate, cannabis extract, or other ingredients and are intended for use or consumption, including edible products, oils, and tinctures

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