



DEPARTMENT OF PLANNING & ZONING
PLANNING | ZONING | LAND PRESERVATION | FOREST CONSERVATION | GIS

AGENDA
WASHINGTON COUNTY PLANNING COMMISSION
100 W Washington Street, Room 2000
December 2, 2024, 6:00 PM

CALL TO ORDER AND ROLL CALL

NEW BUSINESS

MINUTES

1. November 4, 2024, Planning Commission regular meeting * ***Discussion/Action***

ORDINANCE MODIFICATIONS

1. **Jacob Burtner, Trustee [OM-24-008]** – Misty Wagner-Grillo * ***Discussion/Action***
Ordinance modification request to create a 6 acre parcel with 103 acres in remaining lands. Parcel is to be created by a Simplified Plat and NOT for development. Location: 114 Soaring Eagle Lane, Keedysville; Zoning: Town/P - Preservation
2. **Matt Breeding [OM-24-009]** - Misty Wagner-Grillo * ***Discussion/Action***
Ordinance modification request to create a 6 acre agricultural parcel by Simplified Plat, NOT for development and without public road frontage; Location: 14013 Maple Ridge, Hancock; Zoning: EC – Environmental Conservation

SUBDIVISIONS

1. **Interstate 70 Partners LLC [S-22-052]** – Jennifer Kinzer * ***Discussion/Action***
One-year extension request for the proposed Interstate 70 Partners warehouse located east of Sharpsburg Pike due to marketing issues; Zoning: HI – Highway Interchange
2. **Cascade Town Centre Development LLC #3 [S-22-051]** - Jennifer Kinzer * ***Discussion/Action***
One-year extension request for the proposed Cascade Town Centre Lot 3 located at the southwest corner of Pen Mar High Rock Road and Lake Wastler Drive due to road adequacy study for the existing private streets; Zoning: SED/P – Special Economic Development/Preservation

SITE PLANS

1. **James and Corina Mills [SP-23-046]** – Misty Wagner-Grillo * ***Discussion/Action***
Site plan for the construction of a 40' x 100' building with stone driveway and parking area for a landscaping business; Location: 12545 Licking Creek Road, Big Pool; Zoning: EC – Environmental Conservation
2. **Boonsboro Reservoir and Water Main Replacement [SP-24-011]** – Misty Wagner-Grillo * ***Discussion/Action***
Site plan for the replacement of the existing Boonsboro reservoir and associated water main which carries water to the Town's water distribution system; Location: 20854 Boonsboro Mountain Road, Boonsboro; Zoning: RT – Residential Transition
3. **Rosewood PUD Lot 17B [SP-24-031]** – Misty Wagner-Grillo * ***Discussion/Action***
Revised Rosewood PUD Lot 17B site plan to add a restaurant use; Location: 20115 Professional Boulevard; Zoning: RS/PUD – Residential Suburban with Planned Unit Development overlay

OTHER BUSINESS

1. **Update of Projects Initialized** – Jennifer Kinzer * ***Information/Discussion***
2. **Discussion of upcoming Zoning Ordinance amendments** - Jill Baker ***Information/Discussion***

WORKSHOP

ADJOURNMENT

747 Northern Avenue | Hagerstown, MD 21742 | P: 240.313.2430 | F: 240.313.2431 | TDD: 7-1-1

UPCOMING MEETINGS

1. January 6, 2025, 6:00 p.m. – Washington County Planning Commission regular meeting

*attachments

The Planning Commission reserves the right to vary the order in which the cases are called. Individuals requiring special accommodations are required to contact the Washington County Planning Department at 240-313-2430 to make arrangements no later than 10 working days prior to the meeting. Notice is given that the Planning Commission agenda may be amended at any time up to and including the Planning Commission meeting.

**WASHINGTON COUNTY PLANNING COMMISSION
REGULAR MEETING
November 4, 2024**

The Washington County Planning Commission held its regular monthly meeting on Monday, November 4, 2024 at 6:00 p.m. at the Washington County Administrative Complex, 100 W. Washington Street, Room 2000, Hagerstown, MD.

CALL TO ORDER AND ROLL CALL

The Chairman called the meeting to order at 6:00 p.m.

Planning Commission members present were: David Kline, Jeff Semler, Denny Reeder, Terrie Shank, Jay Miller, and Ex-officio County Commissioner Randy Wagner. Staff members present were: Washington County Department of Planning & Zoning: Jill, Baker, Director; Jennifer Kinzer, Deputy Director; Travis Allen, Senior Planner; Misty Wagner-Grillo and Scott Stotelmyer, Planners; Chris Boggs, Rural Preservation Administrator; and Debra Eckard, Office Manager.

NEW BUSINESS

MINUTES

Motion and Vote: Ms. Shank made a motion to approve the minutes of the October 7, 2024 Planning Commission regular meeting as presented. The motion was seconded by Mr. Semler and unanimously approved.

PRELIMINARY PLATS

Paradise Heights, Section C [PP-24-001]

Mr. Stotelmyer presented a preliminary plat and site improvements plan for 86 single-family lots within Section C of Paradise Heights. The site is located at Parcels 432 and 1192 on Amesbury Road. The property is currently zoned RS (Residential Suburban). Both parcels will be accessed from Amesbury Road. The site will be served by public water provided by the City of Hagerstown and public sewer from Washington County. No new signage is proposed for this project. Forest Conservation will be mitigated on-site along with a payment-in-lieu of planting. All agency approvals have been received.

Mr. Allen presented a request to use the payment-in-lieu of planting to satisfy the majority of forest conservation mitigation. There is an 8.88 acre planting requirement resulting from the disturbance of 37.52 acres. Mr. Allen reviewed the preferred sequence of mitigation options from Article 10 of the Forest Conservation Ordinance noting that the payment-in-lieu of planting is the least preferred option on the list. The developer is proposing 2.2 acres of on-site mitigation. Due to the close proximity of this site to the Hagerstown Regional Airport, creating additional forest on-site would be less than optimal.

Motion and Vote: Mr. Semler made a motion to approve the preliminary plat as well as the request for payment-in-lieu of planting as presented. The motion was seconded by Mr. Reeder and unanimously approved with Commissioner Wagner abstaining from the vote.

SITE PLANS

Creekstone Landscaping [SP-23-018]

Mr. Stotelmyer presented a site plan for a proposed excavating contractor business located at 13236 National Pike in Clear Spring. Water and sewer services will be provided by a private well and septic system. There will be one access point from National Pike. Hours of operation will be 7 am to 5 pm, Monday thru Friday. There is existing building mounted lighting; additional building mounted lighting is proposed on the new buildings. There is no existing or proposed signage for the property. Parking required is 42 spaces; 50 spaces will be provided. Forest Conservation mitigation will be addressed on-site. All agency approvals have been received.

Motion and Vote: Commissioner Wagner made a motion to approve the site plan as presented. The motion was seconded by Ms. Shank and unanimously approved.

Trammel Crow – Rhoton Farm [SP-23-028]

Mr. Stotemyer presented a site plan for a 1,023,120 sq. ft. warehouse to be located at 16545 Cargo Drive. The property is currently zoned PI (Planned Industrial). One access is proposed from Cargo Drive via Greencastle Pike. Public water service will be provided by the City of Hagerstown and public sewer service will be provided by Washington County. Hours of operation will be 24 hours per day, 7 days per week. There will be pole mounted and building mounted lighting on the site. Ground mounted signage is proposed on-site as well. A parking waiver to reduce the number of parking spaces has been approved by the Board of Zoning Appeals from 736 required parking spaces to 566 parking spaces; 572 parking spaces will be provided. Forest Conservation mitigation is being addressed on-site. The developer is seeking conditional approval contingent upon receiving final approvals from the Soil Conservation District, Forest Conservation, Washington County Dept. of Water Quality, and the Health Department.

Motion and Vote: Mr. Semler made a motion to approve the site plan contingent upon receiving final approvals from the aforementioned agencies. The motion was seconded by Mr. Reeder and unanimously approved.

Sheetz – Spielman Road [SP-24-003]

Ms. Wagner-Grillo presented a site plan for a proposed Sheetz convenience store and gas station to be located at 15919 Spielman Road. The property is currently zoned HI (Highway Interchange). In 2022, the Board of Zoning Appeals approved a special exception request to allow a truck stop at this location. The proposed convenience store is 6,789 sq. ft. Total parking required is 35 spaces; 47 vehicular spaces and 34 tractor trailer spaces are proposed. Fueling stations will include five vehicular pumps and five tractor trailer pumps. Two access points are proposed from Spielman Road; one access for vehicular traffic and one for tractor trailer traffic. A signal improvement at the intersection of Spielman and Lappans Roads is proposed. Hours of operation will be 24 hours per day, 7 days per week. There will be five to six employees per shift. There will be building and pole mounted lighting; a photometric plan has been completed. There will be building mounted signage as well as free-standing signs. Public water service will be provided by the City of Hagerstown and public sewer service will be provided by Washington County. Landscaping is proposed along Spielman and Lappans Road around the parking areas. Storm water management requirements have been met using the existing pond on-site. Forest Conservation mitigation was previously approved in 2017. Approval should be contingent upon approvals from Environmental Health; all other agency approvals have been received.

Motion and Vote: Mr. Reeder made a motion to approve the site plan contingent upon approval from the Department of Environmental Health. The motion was seconded by Mr. Semler and unanimously approved.

FOREST CONSERVATION

Adna Fulton Forest Bank [FBK-24-001]

Mr. Allen presented a request to establish a new forest mitigation bank containing 65.47 acres across three properties located on Alternate 40 near Roxbury Road. The purpose of forest mitigation banks is to provide off-site mitigation options for development projects. Mr. Allen briefly described how and when forest mitigation banks can be used by developers. Article 20 of the Forest Conservation Ordinance describes specific characteristics that are targeted in the establishment of new banks. This particular forest bank would retain a forested buffer along the Antietam Creek. There is also the potential for rare, threatened or endangered species in this area.

Mr. Jason Divelbiss, speaking on behalf of the applicant, stated this forest mitigation bank will be used for development projects of the Fulton's family-related businesses.

Motion and Vote: Mr. Reeder made a motion to recommend approval of the forest mitigation bank to the Board of County Commissioners. The motion was seconded by Ms. Shank and unanimously approved with Commissioner Wagner abstaining from the vote.

Battlefield Estates [FP-24-006]

Mr. Allen presented a payment in-lieu of planting request for a 48-lot townhouse development on Orchard Drive in Boonsboro. There is a 4.42 acre planting requirement resulting from the disturbance of 10 acres. Fifty-nine street trees are proposed within the development. Mr. Allen explained that the County is the Forest Conservation approving authority for all municipalities in the County except for the City of Hagerstown. It is the intent of the Forest Conservation Ordinance to

provide mitigation on-site to the greatest extent possible if remotely feasible to ensure the impacts of development are mitigated where they actually occur. It is staff's opinion that the current Forest Conservation Plan for this development does not meet the intent of the preferred sequence of mitigation outlined in the Ordinance. Mr. Allen presented the following facts to justify Staff's objection to the request.

- The site contains 3 ½ acres of existing forest; none of which is being proposed for retention.
- There is little forest cover in the vicinity of the neighboring residential areas to absorb the loss of the forest stand on this property.
- It is not clear why no mitigation, beyond the 59 street trees proposed, can be accomplished on-site. The current plan contains unessential design elements, such as a pavilion and a parking lot, that could be removed to make room for forest mitigation on-site. There is also an open space area between Lots 20 and 21 which already shows intended landscaping plantings that could be added to provide additional forest mitigation on-site.
- The applicant has provided substantial information about the history of this project, which has seen a lot of iterations over the years. Of the various iterations of this plan, the 2007 version had a higher density of lots and a smaller land area than the current plan and it was able to provide .40 acres of retention in addition to the payment-in-lieu of planting that was requested at that time; therefore, being able to provide more on-site mitigation than what is being proposed currently.

Mr. Allen explained that approved Forest Conservation mitigation is not binding until it appears on a recorded final plat or until a PIL fee is collected. Neither of these have occurred with past iterations of this project. Past approvals of this project were never implemented and have since expired. Mr. Allen reiterated that the County is the approving authority for Forest Conservation, not the Town of Boonsboro. It is the Department of Planning & Zoning's responsibility to make sure the intent of the Forest Conservation Ordinance is met. In this case, staff does not believe the intent of the Ordinance has been met; and therefore, is recommending denial of this plan.

Mr. Steve Cvijanovich of Fox & Associates, Inc. provided a brief history of the property. He noted that this project consists of two parcels of land, one of which was the former London Fog facility. In 2007, the developer submitted a plan for 35 townhouses on his five acre parcel of land (which did not include the London Fog property). Due to economic concerns, the project did not move forward and has since expired. The developer later purchased the London Fog facility, which was in disrepair and the Town of Boonsboro encouraged the developer to demolish the building. The building was ultimately demolished several years ago. In October 2014, Fox & Associates began design efforts on this project for 48 townhomes on 10 acres. Preliminary plat approval was received from the Town of Boonsboro in 2016 including the payment in lieu of planting into the Town of Boonsboro's Forest Mitigation program. Mr. Allen again reiterated that the Town did not have the authority to approve this mitigation. The developer believed that the mitigation had been approved; however, no payment was made to the mitigation program. These approvals subsequently expired in 2019 because the project again did not move forward. In 2022, the developer decided to pursue re-approval of the project. The Town of Boonsboro is in favor of the project moving forward at this time and provided a letter of support. The Town also offered an option for the developer to plant trees in one of the Town's parks to help meet mitigation efforts.

Discussion and Comments: Commissioner Wagner asked what hardship would be created if part of the mitigation were done on site. Mr. Cvijanovich stated extensive work had to be done to the storm water management facility which is larger than normal and noted it is the intent of the developer to make this a 55+ community. Part of the amenities for the residents would be a small parking area and a pavilion. If mitigation were to be accomplished on-site, most of the common areas/open space would have to be eliminated.

Motion and Vote: Commissioner Wagner made a motion to approve the payment-in-lieu of planting request and to use street trees to meet Forest Conservation Ordinance requirements. The motion was seconded by Mr. Reeder and unanimously approved.

Pemberton Lots D6 and D8 Reallotment [S-24-031]

Mr. Allen presented a payment-in-lieu of planting (PIL) request for a reallotment in Pemberton, Section D on Pembroke Drive. Lots D6 thru D8 are being combined from three lots to two lots. The existing forest easement in Section D was created by a 16 lot subdivision in 2004 and was successfully planted by the developer in 2007. The new property owner wishes to convert an approximate .58 acre portion of the total 1.14 acre planted forest easement into a PIL payment. The applicant's justification letter describes the steepness of the slope in the front versus the rear yard. The applicant wants to use the rear yard forested area as a recreational space and contends that the narrowness of the forest easement limits its effectiveness.

Mr. Allen stated that forest easements are intended to be permanent in the location where they are designated unless there are very special circumstances that exist, such as matters of health and safety issues that must be accommodated. Even in these special circumstances, it is not usually necessary to relocate the entire existing forest easement, only the portion that is being displaced by the disturbance. Because these are permanent easements, it is the burden of the applicant to prove that the current forest conservation plan and easement can no longer be maintained to the standards of the Ordinance. The owner's preference is not grounds for moving a permanent easement nor should a new purchaser of a lot with a permanent easement expect that the easement can be discarded at any time. Mr. Allen explained that he made a field visit to the property to investigate claims made in the justification letter. It is staff's professional opinion that these lots are not unusable with the forested easement in its current configuration. There is an ample flat area on top of the hill on Lot D8 that would provide enough space to accomplish what the owner wants to do on the site. Lot D6 is hilly but not as steep as Lot D8. The letter by the qualified professional specifically states that the easement areas are in good condition, which was confirmed by staff during the field visit. Staff also noted that the trees are acting as a buffer to adjacent residential and agricultural uses in close proximity. The reallocation plat noted no significant impacts to the easement area and none are mentioned in the justification letter. The removal of the easement area on these lots would reduce the total easement area for Section D to a notable degree significantly devaluing the easement area that would remain on the other lots. Mr. Allen explained that we typically discourage easement areas on the backs of lots; however, it can still work in some circumstances. There are less problems with these easements where the easement does not encumber the entire back yard.

Mr. Allen explained that the County has ample PIL funds currently available (\$458,748.20); the overuse of this mitigation technique puts notable pressure on the Soil Conservation District to expend the funds within a two year period as mandated by the Ordinance. In the applicant's justification letter, it is noted that the PIL monies would be better used in other sensitive areas; however, Mr. Allen stated that these lots are located within 1/3 mile of Beaver Creek, the County's highest value watershed. This would be an area where the Soil Conservation District would be looking to spend money to establish a forest easement, which has already been established in the current Forest Conservation Plan. Mr. Allen noted that the applicant does not discuss reconfiguring the easement anywhere on-site. Staff believes that by combining the three lots into two lots, there would be enough space to accomplish what the applicant wants without removing the forest easement.

Mr. Allen stated that the payment in lieu program was never intended to be a buy-out program. Allowing this request, will set a dangerous precedent moving forward. The Department of Planning & Zoning strongly opposes the conversion of this easement into a PIL payment.

Mr. Ed Schreiber of Frederick, Seibert & Associates, representing Mr. Brock Twigg, the applicant, stated that the property has many steep slopes and required several perc tests to find an appropriate septic area. The septic areas are very long and narrow and take up considerable space on the property. The houses have been pushed a considerable distance back on the property to allow for grading. There will be a distance of approximately 30 feet from the top of the hill to the bottom of the hill. The property owner wants to achieve a larger back yard for recreational space; therefore, the forest easement needs to be removed and planted in another area of the County.

Commissioner Wagner asked if there is forest behind all of the houses in this section of the development. Mr. Schreiber expressed his opinion that the easement is more like a dense fence row with farm fields to the east and north and residential properties to the northwest.

Mr. Miller asked if this is a well-established easement. Mr. Allen stated it is a well-established easement with hardwoods such as oak and maple.

Ms. Baker asked if the applicant has considered moving the easement to another area on the property. Mr. Schreiber stated that the applicant does not want to entertain that idea.

Commissioner Wagner expressed his opinion that that many PILs have been accepted for warehouses, car washes, etc. and this applicant is trying to build his "forever" home. He does not believe that the Commission would be setting a precedent because the next request may be viewed differently. He believes it would be hypocritical to have approved several other payments-in-lieu prior to this request and to deny this request now.

Motion and Vote: Commissioner Wagner made a motion to approve the payment-in-lieu of request. The motion was seconded by Mr. Reeder and unanimously approved.

OTHER BUSINESS

MDP/MALPF Recertification Report

Mr. Boggs presented the five-year recertification report for the Maryland Department of Planning and the Maryland Agricultural Land Preservation Foundation. He explained that MALPF is the cornerstone of the County's land preservation program. It constitutes 39% or 16,000 acres of the total 41,000 acres currently preserved in the County. A big part of being able to accrue that much preserved land thru the program is the 60/40 match mechanism that certified counties can use. The State will match the County's funding up to \$3 million per year; however, the County must remain certified. Additionally, being certified allows the County to retain 75% of the State Ag Transfer taxes that also go toward land preservation programs. Interim recertification reports are submitted to the State annually. Every five years the recertification report must be reviewed and signed by the Ag Advisory Board, the Planning Commission, and the Board of County Commissioners.

Motion and Vote: Mr. Reeder made a motion to approve the Recertification Report as presented. The motion was seconded by Mr. Semler and unanimously approved with Commissioners Wagner abstaining from the vote.

Update of Projects Initialized

Ms. Kinzer provided a written report for land development plan review projects initialized during the month of September which included three forest stand delineations and four site plans.

Comp Plan Update

Ms. Baker announced that the final draft was released for public comment last week and a few comments have already been received. The Commission discussed dates for a public hearing to be held in January at the Public Safety Training Center off of Sharpsburg Pike. The public hearing is a time to take public comment; we will not be answering questions or addressing the public. Commission members decided on Monday, January 13, 2025 at 6:00 p.m.

UPCOMING MEETINGS

1. December 2, 2024, 6:00 p.m. – Washington County Planning Commission regular meeting

ADJOURNMENT

Mr. Reeder made a motion to adjourn the meeting at 7:15 p.m. The motion was seconded by Mr. Semler and so ordered by the Chairman.

Respectfully submitted,

David Kline, Chairman

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Jacob Burtner, Trustee

MAILING ADDRESS 114 Soaring Eagle Lane, Keedysville, MD 21756

TELEPHONE 240-217-4681
(home) (work) (cell)

PROPERTY OWNER

NAME Same as above

MAILING ADDRESS _____

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME Fred Frederick, FSA

ADDRESS 128 S Potomac St, Hagerstown, MD 21740

TELEPHONE _____

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 73 GRID 14 PARCEL 73

PROPOSED LOT ACREAGE 6 ac TOTAL SITE ACREAGE 109 ac

ZONING DISTRICT Preservation ROAD FRONTAGE(FT) 525'

LOCATION / ADDRESS

114 soaring Eagle Lane, Keedysville, MD 21756

EXISTING AND PROPOSED USE OF PROPERTY The 109 acres is used as a farm and residence and residence for the owners.

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER Yes

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 318

MODIFICATION IS TO ALLOW A 6 ac AG use only parcel be created by Simplified Plat and is NOT for Development.

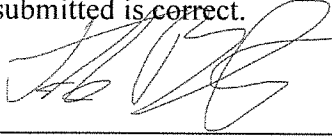
STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other

The 109 acre farm has a mortgage on it and the Ag structures are in the floodplain which the bank is requiring have flood insurance which costs \$8,000 per year. The Ag buildings are older and are pole building type construction which allows any flood water enter and exit the buildings without creating damage. The owner would like to create a 6 acre Ag Use Only parcel, created by Simplified plat and NOT for Development. That 6 acre lot can then be removed from the mortgage and remove the requirement for flood insurance.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

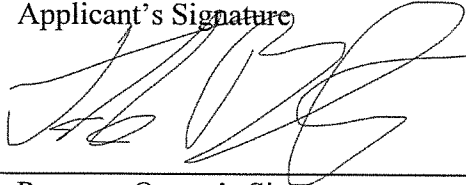
To the best of my knowledge, the information provided in this application and other material submitted is correct.



Applicant's Signature

11-6-24

Date



Property Owner's Signature

11-6-24

Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

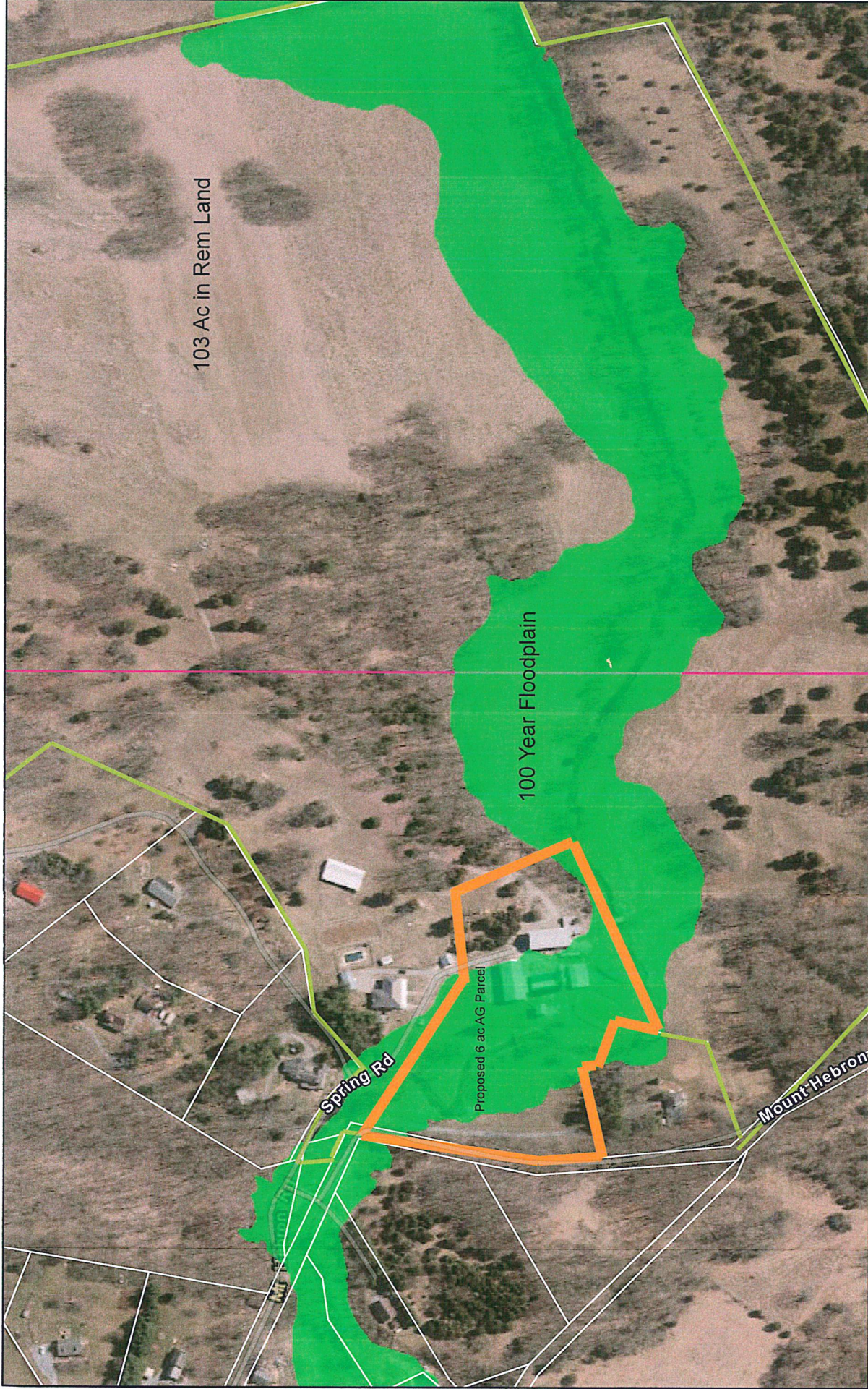
NUMBER: _____

MEETING DATE: _____

SUBDIVISION MODIFICATION APPLICATION CHECKLIST

The following items are required as part of the Subdivision Modification application:

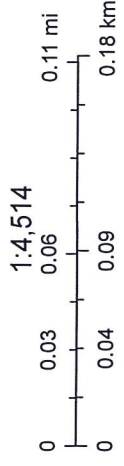
Applicant	Staff	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A complete Application Form, signed by the applicant, property owner, and consultant (if applicable). All information must be typed or clearly printed on the application. Please include this checklist.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	A filing fee of \$115.00. Make check payable to: Washington County Treasurer . Include fee worksheet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Twelve (12) sketch plans, drawn to scale, showing:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. dimensions & shape of proposed lot with acreage;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	b. size & location of existing and/or future structures;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	c. existing/proposed roadways and associated access right of way or easements;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. existing/proposed entrance/exit to property;
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. natural or topographic peculiarities of the lot in question.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any additional drawings, pictures, or information that will assist the Planning Commission in making its decision.



11/6/2024, 6:59:30 AM

World Transportation Parcels Washington County Special Flood Hazard Areas

MD_SixInchImagery FIRM Panels A,





ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: Burtner Ordinance Modification
NUMBER.....: OM-24-008

OWNER.....: BURTNER MEGAN LEIGH TRUSTEE BURTNER JACOB KELBY TRUSTEE
LOCATION.....: 114 SOARING EAGLE Lane
 Keedysville, MD 21756

DESCRIPTION.....: Create a 6 acre parcel with 103 acres in the remaining lands. Said parcel is to be created by a Simplified Plan and NOT for Development. Said parcel contains existing AG building which are located in the floodplain and cost the farm over \$8,000 per year for flood insurance. The applicant desires to create the 6 ac parcel in order to remove it from the farm which has a mortgage on it that requires the flood insurance.

ZONING.....: TOWN; P Refer to Map
COMP PLAN LU.....: Municipalities
PARCEL.....: 19000613
PLANNING SECTOR.....: 2
ELECTION DISTRICT.....: 19

TYPE.....:
GROSS ACRES.....: 6.1
DWELLING UNITS.....:
TOTAL LOTS.....: 0
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: November 8, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: Yes
WETLANDS.....: No
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: State Listed
HISTORIC INVENTORY.....: II0457
EASEMENTS PRESENT.....: RL-04-001

SCHOOL INFORMATION

Staff Comments:
SCHOOL DISTRICT
Not Applicable
PUPIL YIELD

ELEMENTARY

Sharpsburg

MIDDLE

Boonsboro

HIGH

Boonsboro

CURRENT ENROLLMENT
MAXIMUM CAPACITY

PUBLIC FACILITIES INFORMATION



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

FIRE DISTRICT.....: Boonsboro
AMBULANCE DISTRICT.....: Boonsboro

WATER & SEWER INFORMATION

	WATER	SEWER
METHOD.....:	Well/Cistern	County
SERVICE AREA.....:	Well	County
PRIORITY.....:	3-Programmed Service	3-Programmed Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Boonsboro



MEMORANDUM

TO: Misty Wagner-Grillo, Planner, Department of Planning and Zoning

FROM: ^{RAC} Rebecca Calimer, EIT, CFM, Chief of Plan Review

DATE: November 19, 2024

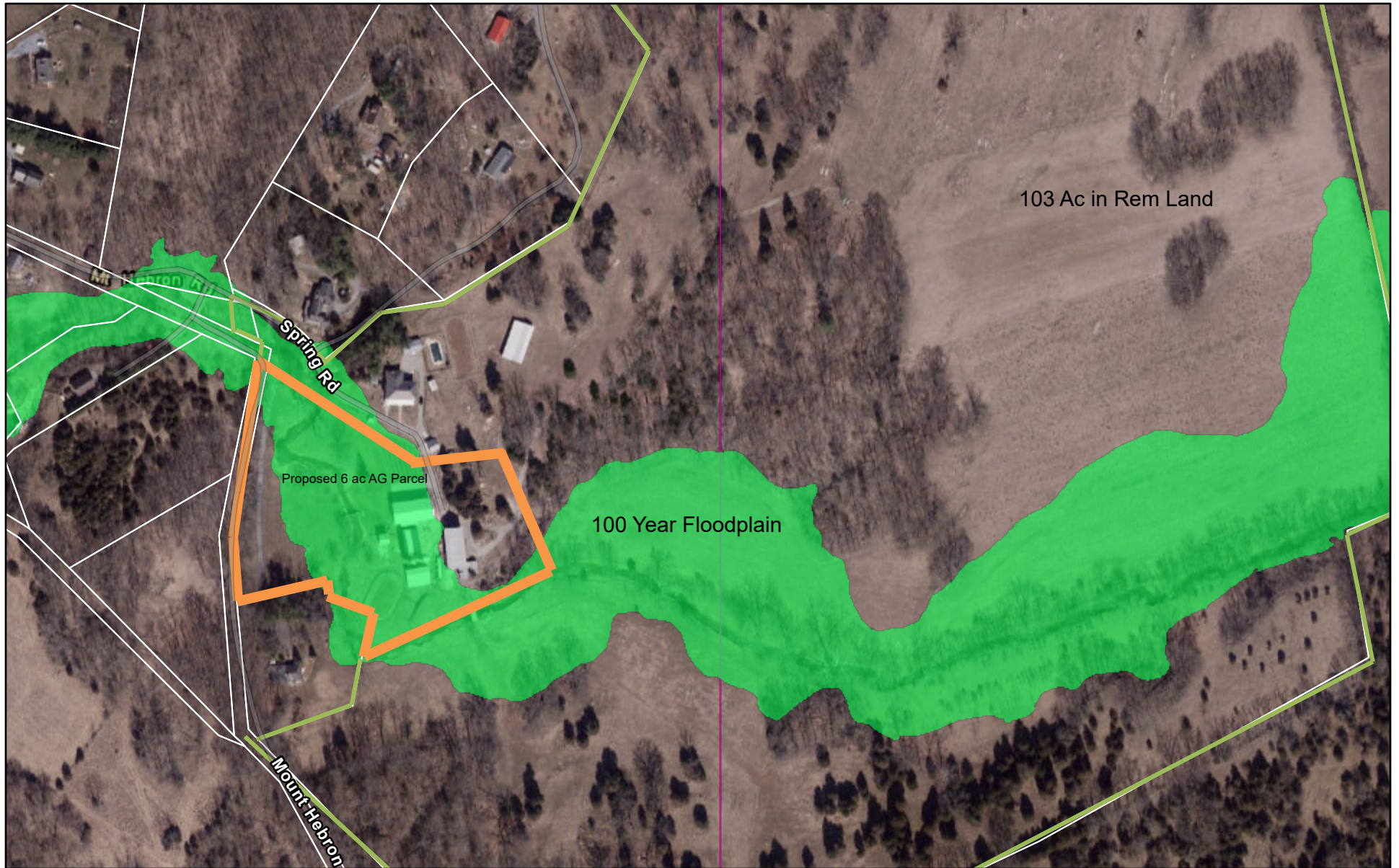
SUBJECT: OM-24-008 Burtner Ordinance Modification
114 Soaring Eagle Lane, Keedysville, MD 21756

We have reviewed the ordinance modification request to allow “A 6 ac AG use only parcel be created by Simplified Plat and is NOT for Development”. Our office has significant concerns about this proposal, as summarized below. We recommend denial of this modification so it may have a formal hearing before the Appeals Board.

1. Approval of this modification would allow for creation of a fee simple, salable lot without direct access to a publicly owned and maintained roadway. The proposed lot is bisected by Tributary No. 97, headwaters of Little Antietam Creek. The County maintained portion of Mount Hebron Road terminates at a private bridge, approximately 200 feet west of the proposed lot. The main section of the lot which would contain the structures would be accessed by a private road referenced as Spring Rd in the applicant’s exhibit. The other section, opposite Tributary No. 97, fronts a non-public piece of County right-of-way that is only accessible via the private bridge, owned by others not party to this modification request.
2. Mount Hebron Road is inadequate with typical pavement widths ~10-13 ft. Future sale of the lot to others, as would be made possible by approval of this modification, would generate additional traffic that the road could not support.
3. Removal of the barns from the mortgaged property does not necessarily eliminate the requirement to carry flood insurance. The federally backed lender may still mandate flood insurance on the still mortgaged property, especially given the proximity of the dwelling to the regulatory floodplain. Even if not required by the current lender, if the mortgage is sold the new lender will make their own flood determination and may require flood insurance.

4. The application states the pole construction “allows any flood water [to] enter and exit the buildings without creating damage” but does not mention what, if any, measures have been taken to improve compliance. NFIP recognized practices, such as elevation of electrical panels and systems, installing flood openings (venting), limiting construction below the base flood elevation to flood damage resistant materials, and completion of elevation certificate, can significantly reduce the flood damage risk rating and may result in a lower insurance premium. We recommend applicant explore these and any other opportunities offered by their insurance provider, if they haven’t done so already.
5. The Floodplain Ordinance, consistent with Code of Federal Regulations, 44 CFR 59, defines “development” broadly, including any number of activities that would not be restricted on a “simplified lot” by the Subdivision and/or Zoning Ordinances. There are no separate subdivision rules for “simplified” plats. If the agricultural structures are substantially damaged, regardless of the cause of the damage (fire, wind, flood, or other means), they could not be repaired or replaced without being brought into full compliance. The primary structure would either need to meet non-residential requirements through elevation or relocation outside of the special flood hazard area. At-grade accessory structures are limited to no more than 600 square feet in total floor area and are only permitted if there is a primary structure. As such, any subdivision must be laid out with building pads outside of the special flood hazard area with any land below the base flood elevation preserved as open space or used for purposes other than structures.
6. We note for the record that should this modification be granted it does not relieve the Developer/Owner of any other requirements including:
 - a. Complying with the Washington County Floodplain Ordinance.
 - b. Complying with the Washington County Adequate Public Facilities Ordinance.
 - c. Complying with the Washington County Stormwater Management, Grading, and Soil Erosion and Sediment Control Ordinance.

Frederick Seibert & Associates, Inc.



11/6/2024, 6:59:30 AM

World Transportation

Parcels Washington County

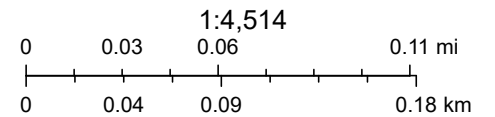
Special Flood Hazard Areas

MD_SixInchImagery



FIRM Panels

A,



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Web AppBuilder for ArcGIS



ORDINANCE MODIFICATION STAFF REPORT

BASE INFORMATION

SITE NAME.....: Matt Breeding Ordinance Modification
NUMBER.....: OM-24-009

OWNER.....: MOSIER STUART L MOSIER STACY J
LOCATION.....: 14013 MAPLE Ridge
Hancock, MD 21750

DESCRIPTION.....: Request to create a 6 acre Ag Parcel by Simplified Plat, NOT for Development
and without road frontage.
Sections 318 & 405.11.B

ZONING.....: Environmental Conservation
COMP PLAN LU.....: Environmental Conservation
PARCEL.....: 05014204
PLANNING SECTOR.....: 6
ELECTION DISTRICT.....: 05

TYPE.....:
GROSS ACRES.....: 10.45
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FREDERICK SEIBERT & ASSOCIATES
RECEIVED.....: November 18, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: No
WATERSHED.....: Potomac River WA Cnty
ENDANGERED SPECIES.....: None
HISTORIC INVENTORY.....: No Resources Present On National Register
EASEMENTS PRESENT.....: None

SCHOOL INFORMATION

	ELEMENTARY	MIDDLE	HIGH
Staff Comments:			
SCHOOL DISTRICT	Hancock	Hancock	Hancock
<i>Not Applicable</i> PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

PUBLIC FACILITIES INFORMATION

FIRE DISTRICT.....: Hancock
AMBULANCE DISTRICT.....: Hancock

WATER & SEWER INFORMATION



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

	WATER	SEWER
METHOD.....:	Well/Cistern	Septic Tank
SERVICE AREA.....:	Well	Septic
PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

WASHINGTON COUNTY PLANNING COMMISSION

APPLICATION FOR SUBDIVISION ORDINANCE MODIFICATION

APPLICANT

NAME Matt Breeding

MAILING ADDRESS 11022 Staley Drive, Hagerstown, MD 21742

TELEPHONE _____ 240-500-0530
(home) (work) (cell)

PROPERTY OWNER

NAME Stuart & Stacy Mosier

MAILING ADDRESS 14013 Maple Ridge, Hancock, MD 21750

TELEPHONE _____
(home) (work) (cell)

CONSULTANT

NAME FSA c/o Fred Frederick

ADDRESS 128 S Potomac St, Hagerstown, MD 21740

TELEPHONE 301-791-3650

DESCRIPTION OF PROPERTY

PARCEL REFERENCE: MAP 18 GRID 10 PARCEL 171

PROPOSED LOT ACREAGE 6.0 Ac TOTAL SITE ACREAGE 10.5 ac

ZONING DISTRICT EC ROAD FRONTAGE(FT) 0.00

LOCATION / ADDRESS

14013 Maple Ridge Road, Hancock MD 21750

EXISTING AND PROPOSED USE OF PROPERTY

Residence and mountain ground. Existing and proposed.

LOT TO BE CONVEYED TO IMMEDIATE FAMILY MEMBER yes

SUBDIVISION MODIFICATION INFORMATION

MODIFICATION TO SUBDIVISION ORDINANCE SECTION 318 & 401.11.B

MODIFICATION IS TO ALLOW Create a 6 acre parcel by Simplified Plat and NOT for Development and
and without road frontage.


STATEMENT OF JUSTIFICATION TO THE REQUESTED MODIFICATION (quantify modification – i.e. hardship resulting from irregular shape; safety hazard; topographic conditions; extraordinary hardship; other


The applicant desires to remove 6 ac of his overall 10.5 ac holdings. The proposed 6 ac stand alone parcel would be created
by way of a Simplified Plat which is not for development nor is it intended to be added to adjacent property. The 6 acre
parcel does not contain any structures and is entirely wooded with steep slopes leading to a stream at the lowest point.
The applicant is a Veteran with the opportunity to utilize a mortgage with a very low interest rate and other desirable conditions.
Unfortunately one of the conditions is that the overall parcel size cannot be over 5 acres in size. By creating a second
6 acre parcel he can then qualify for the mortgage and retain ownership of the 6 acre parcel by other means.

(Attach additional sheets if necessary)

In addition, two (2) sketch plans, drawn to scale must accompany this application showing: the dimensions and shape of proposed lot with acreage; size and location of existing and/or future structures; existing/proposed roadways and associated access right-of-ways or easements; existing/proposed entrance/exit to property; natural or topographic peculiarities of the lot in question.

To the best of my knowledge, the information provided in this application and other material submitted is correct.


Robert M. Beed 11/16/2024
Applicant's Signature Date


Stacy Marie 11/16/24
Property Owner's Signature Date

STAFF USE ONLY:

STAFF PLANNER: _____ DATE RECEIVED: _____

NUMBER: _____

MEETING DATE: _____

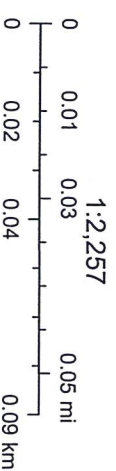
Frederick Seibert & Associates, Inc.



11/17/2024, 3:16:10 PM

World Transportation  Streams

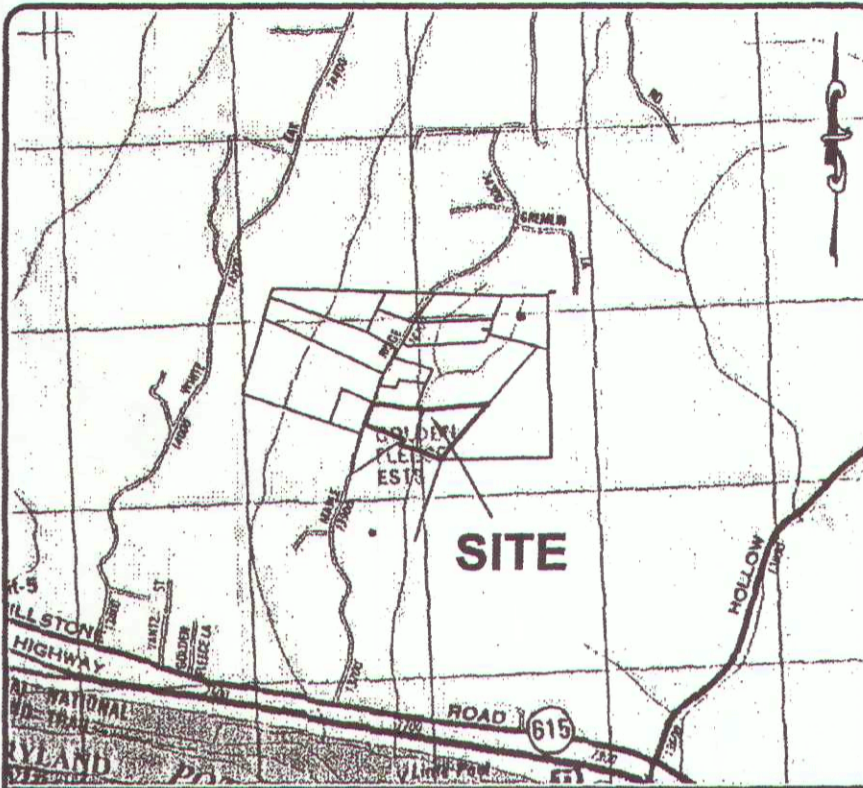
MD_SixInchImagery  Parcels Washington County



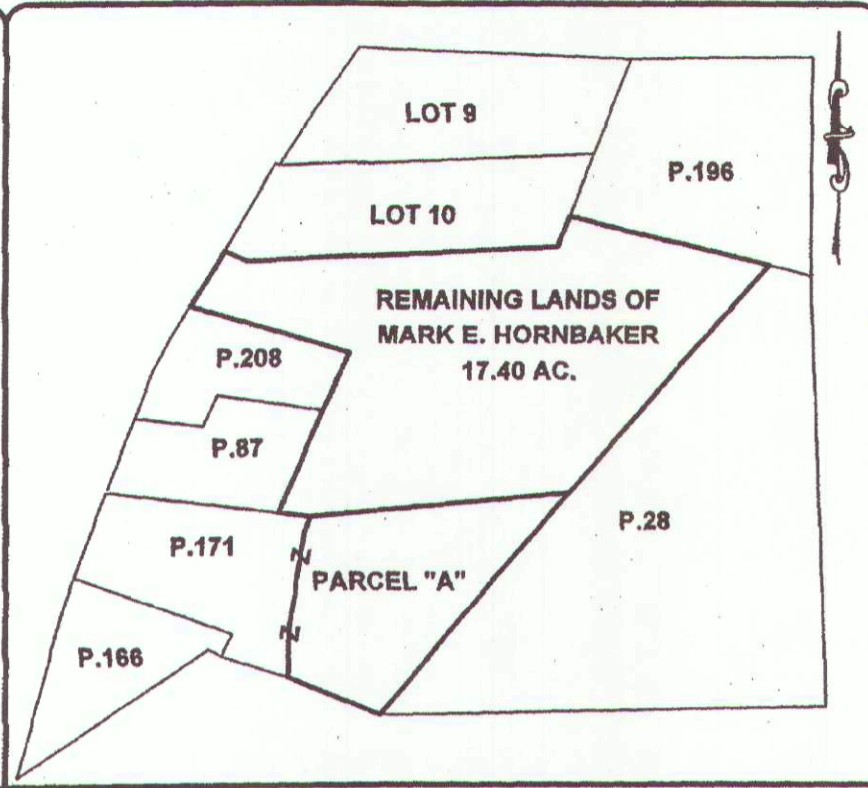
Maxar, Microsoft, Esri Community Maps Contributors, WVU Facilities, WashCo MD, West Virginia GIS, © OpenStreetMap, Microsoft, Esri, TomTom,

Web AppBuilder for ArcGIS

Maxar, Microsoft | MD IMAP, DoIT | U.S. Geological Survey | Hagerstown MD | Washington County Planning Department | Source: USDA NRCS, Esri | Washington County | Maryland Department of Transportation (MDOT), Maryland Department of Transportation State



LOCATION MAP
SCALE: 1"=2000'



INDEX MAP
SCALE: 1"=500'

NOTES:

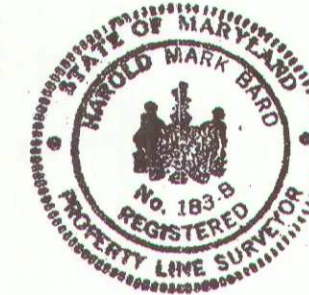
1. THIS PLAT IS INTENDED TO CONVEY PARCEL "A" FROM THE LANDS OF MARK E. HORNBAKER TO LOT 3 OWNED BY STUART L. & STACEY J. MOSIER AND IS NOT TO BE SOLD SEPARATELY.
2. "NOT FOR DEVELOPMENT" AS NOTED IN THE OWNER'S STATEMENT SHALL MEAN THAT BUILDING OR ZONING PERMITS, INCLUDING RESIDENTIAL, WILL NOT BE ISSUED UNTIL SUCH TIME AS A DEVELOPMENT PLAN IS SUBMITTED IN ACCORDANCE WITH THE PROVISIONS OF ALL APPLICABLE ORDINANCES AND APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION.
3. ACCESSORY STRUCTURES SHALL BE PERMITTED IN ACCORDANCE WITH SECTION 318.1 OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE.
4. THERE ARE NO FLOODPLAINS, STEEP SLOPES, STREAMS AND RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH AND WILDLIFE SERVICE PER 50 CFR 17 AS REQUIRED TO BE SHOWN BY SECTION 318 OF THE SUBDIVISION ORDINANCE AND SECTION 4.21 OF THE ZONING ORDINANCE, EXCEPT AS SHOWN HEREON.
5. PARCEL IS ZONED 'EC' - ENVIRONMENTAL CONSERVATION.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAN SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF ALL OF THE LANDS CONVEYED BY RUTH MARIE LEWIS, TO MARK EDWARD HORNBAKER, BY DEED DATED DECEMBER 15, 2004 AND RECORDED IN LIBER 2809, AT FOLIO 707 AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND AND THAT REBARS WITH CAPS HAVE BEEN PLACED AS INDICATED.

4-3-08
DATE

Harold Mark Bard
HAROLD MARK BARD, PROPERTY LINE SURVEYOR
MARYLAND REGISTRATION NO. 183



OWNER'S STATEMENT

APPLICATION IS HEREBY MADE FOR APPROVAL OF THE INDICATED TRANSFER OF LAND FOR PROPERTY ENLARGEMENT PURPOSES AND NOT FOR DEVELOPMENT EXCEPT AS INDICATED HERON. ANY DEVELOPMENT OF THIS LAND OTHER THAN FOR PERMITTED ACCESSORY USES OR ANY FUTURE SEPARATION OF THE PARCELS COMBINED HEREON WILL BE SUBMITTED IN THE REGULAR MANNER FOR APPROVAL IN ACCORDANCE WITH THE PROVISIONS OF THE EXISTING SUBDIVISION ORDINANCE.

WITNESS: *Mark E. Hornbaker*

SIGNED: *Mark E. Hornbaker*
OWNER / GRANTOR

WITNESS: _____

SIGNED: _____
OWNER / GRANTEE

APPROVAL GRANTED 5/14/08
DATE

WASHINGTON COUNTY PLANNING COMMISSION

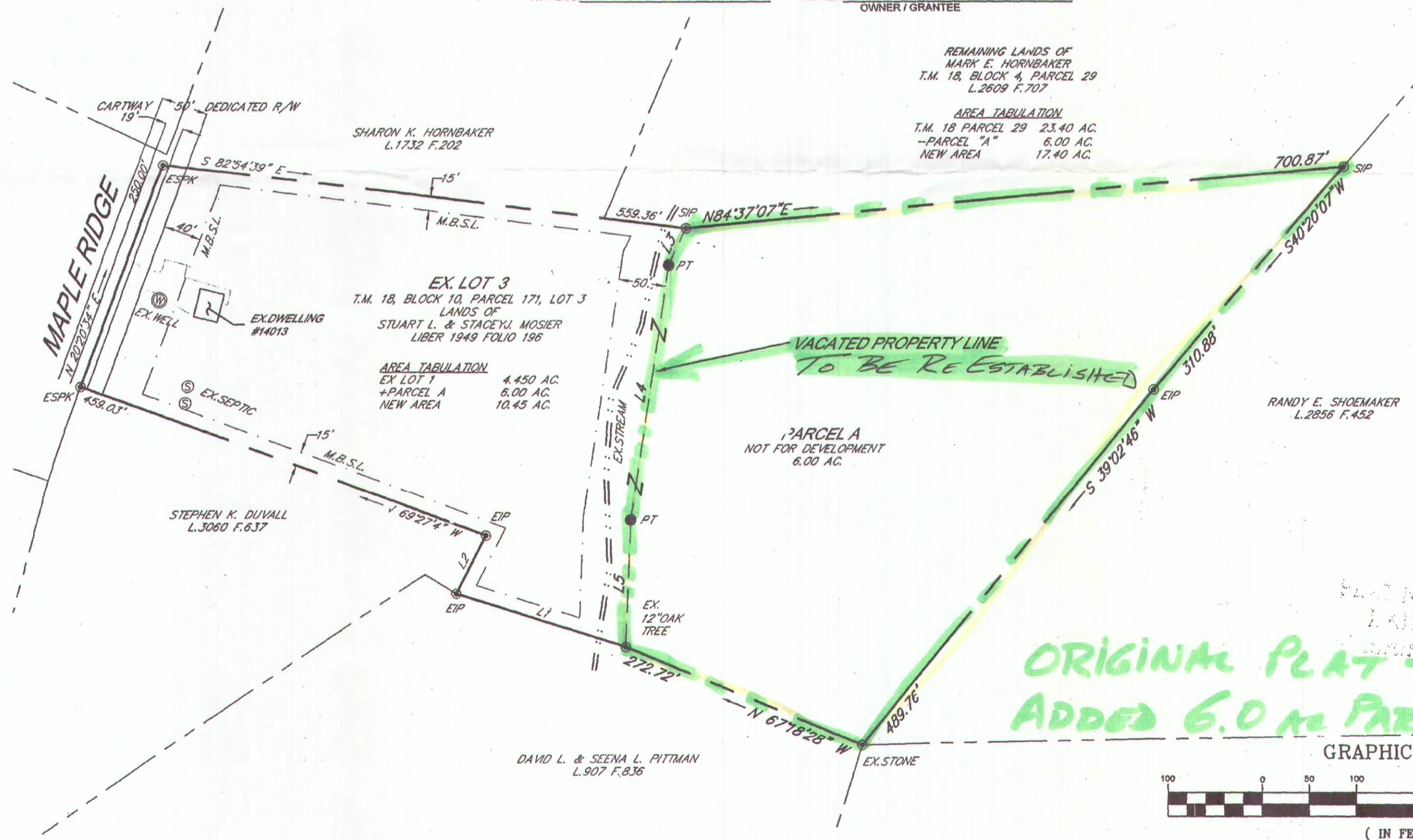
BY: *Michael Chang*
CHAIRMAN

APPROVED AS A SUBDIVISION OF LAND NOT FOR DEVELOPMENT WITH THE STIPULATION THAT THE FOREGOING OWNER'S STATEMENT BE A PART OF THE DEED CONVEYANCE.

LINE	LENGTH	BEARING
L1	188.89	N 72°20'22" W
L2	70.00	N 26°28'14" E
L3	43.82	N 25°12'21" E
L4	273.47	N 8°24'50" E
L5	136.89	N 2°6'24" E

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- MINIMUM BUILDING RESTRICTION LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTER OF ROAD
- EXISTING EDGE OF ROAD
- PROPOSED EDGE OF ROAD
- EXISTING EASEMENT
- EXISTING ELECTRIC LINE
- EXISTING TREE LINE
- SOIL BOUNDARY
- ▲ SOIL PROBE LOCATION
- EIP EXISTING IRON PIN
- EXISTING STONE PILE
- ESPK EXISTING RAILROAD SPIKE
- SIP SET IRON PIN



REMAINING LANDS OF
MARK E. HORNBAKER
T.M. 18, BLOCK 4, PARCEL 29
L.2809 F.707

AREA TABULATION
T.M. 18 PARCEL 29 23.40 AC
-PARCEL "A" 6.00 AC
NEW AREA 17.40 AC

SHARON K. HORNBAKER
L.1732 F.202

EX. LOT 3
T.M. 18, BLOCK 10, PARCEL 171, LOT 3
LANDS OF
STUART L. & STACEY J. MOSIER
LIBER 1949 FOLIO 196

AREA TABULATION
EX LOT 1 4.450 AC
+PARCEL A 6.00 AC
NEW AREA 10.45 AC

STEPHEN K. DUVALL
L.3060 F.637

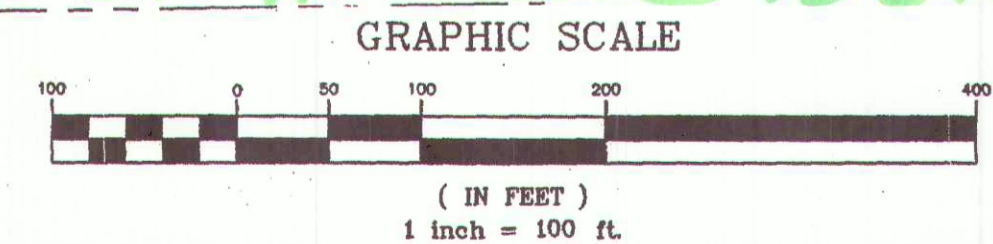
DAVID L. & SEENA L. PITTMAN
L.907 F.836

RANDY E. SHOEMAKER
L.2856 F.452

PLAT FEE-A
RECORDING FEE
TOTAL
Rept # 1827
DJM TLR Bkr # 2532
May 23, 2008 83:38

ORIGINAL PLAT THAT
ADDED 6.0 AC PARCEL TO EX LOT 3

PLAT NO 9462
MAY 23 2008
WASHINGTON COUNTY



OWNER /GRANTOR
MARK E. HORNBAKER
2195X LAKEPARK DRIVE
SMYRNA, GA. 30080

OWNER /GRANTEE
STUART & STACEY MOSIER
14013 MAPLE RIDGE
HANCOCK, MD 21750

ALL LAND SERVICES, INC.

SURVEYING ~ ENGINEERING
LAND DEVELOPMENT PLANNING
All Land Services, Inc.
75 S. Second Street
Chambersburg, PA 17201
Tel: (717) 264-0804
Fax: (717) 264-1321
alland@earthlink.net

DRAWN BY
M.A.M.
CHECKED BY
H.M.B./C.A.K.
JOB NUM 3ER
0E-003

SIMPLIFIED PLAT
FOR
STUART L. & STACEY J. MOSIER
LOT ADDITION
SITUATE ON THE EAST SIDE OF MAPLE ... BE APPROXIMATELY 3,500 FT NORTH
OF MILLSTONE ROAD, WASHINGTON COUNTY, MARYLAND
ELECTION DISTRICT: 05 TAX MAP: 18 L.R.D: 4 & 10 PARCEL: 29 & 171

DATE
APRIL 2008
PAGE
01
OF 01 PAGES

Frederick Seibert & Associates, Inc.



11/7/2024, 3:16:10 PM

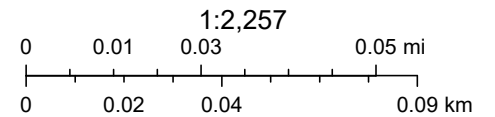
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Streams

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Web AppBuilder for ArcGIS

FOX
& ASSOCIATES INC.

Est. 1966

**ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS**

981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853

November 18, 2024

Washington Co. Planning Dept.
747 Northern Avenue
Hagerstown, Maryland 21742

Attention: Jennifer Kinzer, Deputy Director

Re: Interstate 70 Partners, LLC S-22-052

Dear Jennifer,

Please accept this letter as our formal request to have the Planning Commission extend this plat for one-year through 12/22/25. The owner is having trouble marketing the project.

Please feel free to contact me with any additional questions or concerns.

Sincerely,
FOX & ASSOCIATES, INC.

Gordon Poffenberger, PE
Director of Engineering

FOX
& ASSOCIATES INC.

Est. 1966

**ENGINEERS
SURVEYORS
PLANNERS
LANDSCAPE ARCHITECTS**

**981 Mt Aetna Rd
Hagerstown, MD 21740
Phone: 301-733-8503
Fax: 301-733-1853**

November 18, 2024

Washington Co. Planning Dept.
747 Northern Avenue
Hagerstown, Maryland 21742

Attention: Jennifer Kinzer, Deputy Director

Re: Cascade Town Centre Lot 3, S-22-051

Dear Jennifer,

Please accept this letter as our formal request to have the Planning Commission extend this plat for one-year through 12/22/25. Our obstacle at this point is the road adequacy study for the existing private streets. Fox and our client have been in touch with Triad Engineering regarding a road adequacy study including pavement cores.

Please feel free to contact me with any additional questions or concerns.

Sincerely,
FOX & ASSOCIATES, INC.



Gordon Poffenberger, PE
Director of Engineering



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Site Plan for James and Corina Mills
NUMBER.....: SP-23-046

OWNER.....: MILLS JAMES LEE MILLS CORINA SUE
LOCATION.....: 12545 LICKING CREEK Road
 Big Pool, MD 21711

DESCRIPTION.....: The purpose of this site plan is to construct a 40' by 100' building with stone driveway and parking area for a Landscape Business.

ZONING.....: Environmental Conservation
COMP PLAN LU.....: Environmental Conservation
PARCEL.....: 15066977
PLANNING SECTOR.....: 5
ELECTION DISTRICT.....: 15

TYPE.....: Unspecified Non-Residential

GROSS ACRES.....:
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: N/L Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: APEX LAND SOLUTIONS LLC
RECEIVED.....: December 13, 2023

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Potomac River WA Cnty
ENDANGERED SPECIES.....: State Listed
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
	Yes	Yes
Lighting Plan Meets Requirements	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Yes		
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Clear Spring	Clear Spring	Clear Spring
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	
AMBULANCE DISTRICT.....:	

	<i>WATER & SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	No Provider	No Provider
SERVICE AREA.....:	No Provider	No Provider
PRIORITY.....:	7-No Planned Service-Well	7-No Planned Service-Septic
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		None

SOILS LIST

PaB	- PECTONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR --.32
PaC	- PECTONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR --.32
PcC	- PECTONVILLE COBBLY LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR --.32
PcD	- PECTONVILLE COBBLY LOAM, 15% TO 25% SLOPES, MODERATELY ERODED, K FACTOR --.37
PeE	- PECTONVILLE-ROCK OUTCROP COMPLEX, 25% TO 45% SLOPES, MODERATELY ERODED, K FACTOR --.37
SpB	- SWANPOND SILT LOAM, 3% TO 8% SLOPES, SEVERELY ERODED, K FACTOR --.37

NOTE: NO HYDRIC SOILS ARE PRESENT.
SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1965.

ESD PRACTICES SUMMARY TABLE

TYPE	NO.	CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION: NEW ESD PRACTICES (CHAPTER 5 - NON STRUCTURAL & STRUCTURAL)				PE ADDRESSED
		DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQv (AC-FT)	ESDv (AC-FT)	
BIORETENTION	1	3.68	0.25	0.094	0.094	2.70
BIORETENTION	2	2.05	0.67	0.051	0.051	0.88

SHEET INDEX

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING AND S.E. AND S.C. PLAN
5. S.E. AND S.C. NOTES AND DETAILS
6. S.E. AND S.C. NOTES AND DETAILS
7. S.E. AND S.C. NOTES AND DETAILS
8. STORMWATER MANAGEMENT PLAN
9. BIORETENTION DETAILS
10. LANDSCAPING PLAN
11. FOREST CONSERVATION PLAN

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED AS SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.84 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 5,302 CUBIC YARDS** OF EXCAVATION AND APPROXIMATELY 750 CUBIC YARDS** OF FILL.

ENGINEER'S NAME: James L. Mills LICENSE REG. NO.: 26556 DATE: 11/1/24

**THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE NO. 1-800-257-7777.

I CERTIFY THAT THIS PLAN MEETS THE CRITERIA SET FORTH IN THE ORDINANCE FOR STORMWATER MANAGEMENT IN WASHINGTON COUNTY, MARYLAND.

DATE: 11/1/24 ENGINEER FOR DEVELOPER: James L. Mills SIGNATURE: James L. Mills

OWNER/DEVELOPERS CERTIFICATION - WASHINGTON COUNTY

"I/WE HEREBY CERTIFY ALL ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

DATE: 11/1/24 PRINTED NAME: JAMES L. MILLS SIGNATURE: James L. Mills

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 11/23/2024 REG. NO.: 26556 SIGNATURE: James L. Mills

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 2.84 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 5,302 CU. YDS. OF EXCAVATION AND APPROXIMATELY 750 CU. YDS. OF FILL (INCLUDING TOPSOIL) (FOR S.C.S. USE ONLY)

OFFER FOR DEDICATION

THE WATER SYSTEM IMPROVEMENTS SHOWN HEREIN FOR THIS PROJECT ARE HEREBY OFFERED TO THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT AS A CONTRIBUTION-IN-AID-OF-CONSTRUCTION, UNLESS PREVIOUSLY AGREED UPON IN WRITING. ALL WATER SYSTEM PIPE AND APPURTENANCES ON THE UPSTREAM SIDE OF THE METER DISCHARGE SHALL BECOME THE PROPERTY OF THE CITY OF HAGERSTOWN WATER & SEWER DEPARTMENT UPON SUCCESSFUL TESTING OF THE COMPONENTS IN ACCORDANCE WITH CURRENT POLICIES AND STANDARDS. IT IS UNDERSTOOD THAT ALL MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR A PERIOD OF ONE YEAR AFTER SUCCESSFUL TESTING. IT IS FURTHER UNDERSTOOD THAT THE OWNER/DEVELOPER IS RESPONSIBLE FOR ADJUSTING THE HEIGHT OF ANY COMPONENTS SUCH AS METER TILES, INCLUDING THE METER SETTINGS, AND VALVE BOXES AFFECTED BY GRADE CHANGES OR PLACEMENT OF FINAL STREET SURFACING.

DATE: 11/1/24 PRINTED NAME: JAMES L. MILLS SIGNATURE: James L. Mills

ENGINEER AS-BUILT STORM WATER MANAGEMENT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORM WATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCE STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO THE CONSULTANT.

SIGNATURE: _____ DATE: _____ SEAL: _____

WASHINGTON COUNTY DIVISION OF ENGINEERING

APPROVED BY: _____

DATE: _____

NOTE: ANY SPOIL AND/OR BORROW, MUST COME FROM AND/OR GO TO, A SITE WITH AN APPROVED AND CURRENT SOIL EROSION AND SEDIMENT CONTROL PLAN.

NOTE

MARYLAND DEPARTMENT OF NATURAL RESOURCES WILDLIFE AND HERITAGE SERVICE INDICATES THERE IS HABITAT SUITABLE FOR STATE-LISTED RARE-THREATENED OR ENDANGERED SPECIES IN THE IMMEDIATE VICINITY OF THIS PROJECT SITE. PRESENT AND FUTURE PROPERTY OWNERS ARE ENCOURAGED TO PURSUE THE FOLLOWING VOLUNTARY PROTECTION MEASURES DURING DEVELOPMENT ACTIVITIES TO SAFEGUARD THIS HABITAT.

GENERAL NOTES

1. ZONING IS "EC" - ENVIRONMENTAL CONSERVATION DISTRICT MINIMUM BUILDING SETBACK LINES: (M.B.S.L.) FRONT = 50', SIDE = 50', REAR = 50' MINIMUM LOT WIDTH AT FRONT M.B.S.L. IS 100'. MINIMUM LOT AREA IS 40,000 SQ. FT. WATERSHED NAME: LICKING CREEK 8-DIGIT WATERSHED NUMBER: 02140506
2. CONTOURS ARE FROM AERIAL PHOTOGRAMMETRY PROVIDED BY WASHINGTON COUNTY, MARYLAND. BOUNDARY INFORMATION SHOWN HEREON IS IN ACCORDANCE WITH A FIELD RUN SURVEY PREPARED BY APEX LAND SOLUTIONS IN APRIL OF 2023.
3. THERE IS NO 100 YEAR FLOOD PLAIN ON SUBJECT PROPERTY PER WASHINGTON COUNTY, MARYLAND FLOOD INSURANCE RATE MAP PANEL NO. 24043C0075D, DATED AUGUST 15, 2017.
4. THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY PER THE U.S. DEPARTMENT OF THE NATIONAL WETLAND INVENTORY MAPPING.
5. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL THE UTILITIES AND VERIFY EXISTING CONDITIONS BEFORE BEGINNING CONSTRUCTION. ALS ASSUMES NO LIABILITY.
6. JOB SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. THE CONTRACTOR SHALL CONTACT "MISS UTILITY" AND ALL UTILITY COMPANIES ONE (1) WEEK BEFORE START OF CONSTRUCTION -- "MISS UTILITY" --- 1-800-257-7777
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OFFICE OF THE ENGINEER, APEX LAND SOLUTIONS, INC. OF ANY DISCREPANCIES IN THE PLANS OR IN THE RELATIONSHIP OF FINISHED GRADES TO EXISTING PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR SHALL NOTE THAT IN CASE OF DISCREPANCY BETWEEN THE SCALED AND FIGURED DIMENSIONS SHOWN ON THE PLANS, THE FIGURED DIMENSIONS SHALL GOVERN.
10. ALL STORM DRAINAGE AND ROADWAY CONSTRUCTION SHALL BE THE LATEST STANDARDS AND SPECIFICATIONS OF WASHINGTON COUNTY, MARYLAND.
11. THE WASHINGTON COUNTY WATER AND SEWER DEPARTMENT IS NOT RESPONSIBLE FOR THE ACCURACY OF INFORMATION FOR EXISTING FACILITIES SHOWN HEREON.
12. ALL CONSTRUCTION SHALL CONFORM TO WASHINGTON COUNTY AND OR STATE OF MARYLAND STANDARDS AND SPECIFICATIONS.
13. ALL ROADWAY CONSTRUCTION SHALL CONFORM TO WASHINGTON COUNTY AND OR STATE OF MARYLAND STANDARDS AND SPECIFICATIONS.
14. THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE SUBDIVISION BOUNDARIES EXCEPT AS SHOWN.
15. THERE ARE NO KNOWN SINKHOLES, ROCK OUTCROPPINGS, WETLANDS, WATER COURSES, TREE GROVES, SWAMPS, OTHER NATURAL FEATURES, HISTORIC AREAS OR GRAVEYARDS WITHIN THE DISTURBED AREA OF THIS SITE, EXCEPT AS SHOWN HEREON.
16. UNLESS OTHERWISE STATED, ALL PROPERTY CORNERS ARE 5/8" REBARS WITH CAP (TO BE SET).
17. ANY AND ALL BUILDING IMPROVEMENTS (DECKS, PORCHES, BAY WINDOWS, BUMP-OUTS, FIREPLACES, SUNROOMS, ROOF EAVES, ETC.) MUST BE CONSTRUCTED WITHIN THE MINIMUM BUILDING SETBACK LINES (M.B.S.L.)
20. NOT SHOWN: UTILITY AND DRAINAGE EASEMENTS OF 10' ALONG THE FRONT AND 8' ALONG THE SIDES AND REAR OF EACH LOT ARE HEREBY DEDICATED.
21. TOTAL ACREAGE OF THE UPSTREAM WATERSHED WHICH DIRECTLY AFFECTS THIS SUBDIVISION IS LESS THAN 400 ACRES +/-.
22. THERE ARE (2) BLUELINE STREAMS LOCATED ON THE SUBJECT PROPERTY PER WASHINGTON COUNTY SOIL SURVEY MAP 20 OF 56.
23. THE MARYLAND DNR WILDLIFE AND HERITAGE SERVICE HAS DETERMINED THAT THERE IS HABITAT SUITABLE FOR STATE-LISTED RARE, THREATENED OR ENDANGERED SPECIES IN THE IMMEDIATE VICINITY OF THIS PROJECT SITE.
24. ALL GRADING ON LOT, EITHER BEFORE OR AFTER THE CONSTRUCTION OF A DWELLING OR APPURTENANCE, SHALL BE THE FULL RESPONSIBILITY OF THE LOT OWNER.
25. NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
26. FOREST STAND DELINEATION PLAN (FS-23-019) WAS APPROVED ON 9/22/23.

STANDARD UTILITY NOTES

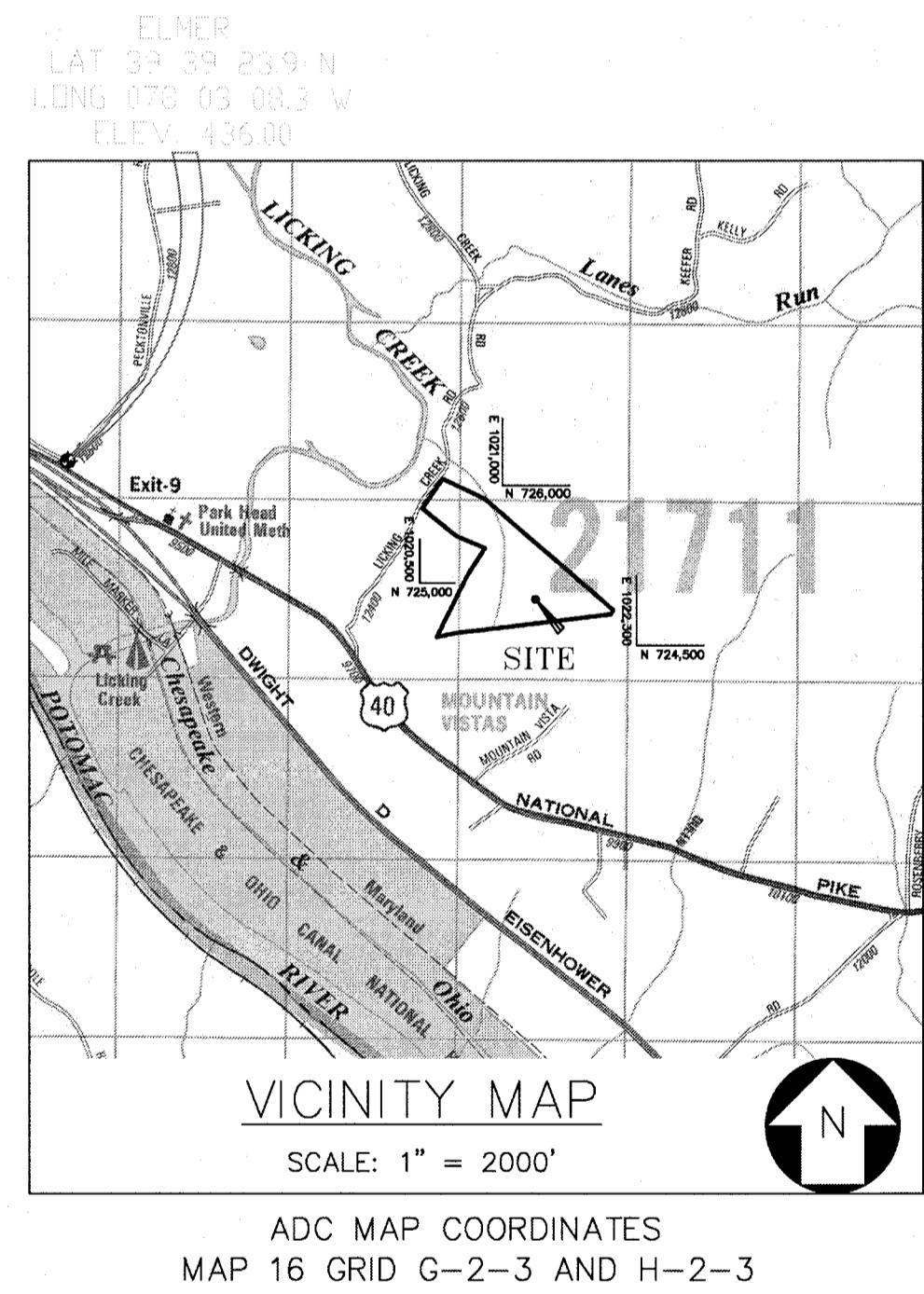
1. CONTRACTOR TO ONLY OPEN UP LENGTH OF TRENCH THAT CAN BE CONSTRUCTED AND BACKFILLED IN ONE WORKING DAY IN PAVED AREAS.
2. CONTRACTOR TO PLACE EXCAVATED MATERIALS IN A DUMP TRUCK AND HAULED TO AN APPROVED LOCATION TO WASTED MATERIALS TO PAVED AREAS.
3. CONTRACTOR TO BACKFILL TRENCH WITH APPROVED MATERIALS AND STABILIZE DISTURBED AREAS THE SAME WORKING DAY.
4. IN AREAS WHERE THE CONSTRUCTION TAKES TO PLACE OUTSIDE OF THE EXISTING ROADBED, CONTRACTOR TO INSTALL SILT FENCE ALONG THE DOWNHILL SIDE OF THE TRENCH BEFORE BEGINNING CONSTRUCTION AND PLACE EXCAVATED MATERIAL FROM THE TRENCH ON THE UPHILL SIDE.
5. IF DEWATERING OF THE TRENCH IS REQUIRED, CONTRACTOR TO PUMP WATER TO A FILTER BAG TO DEWATER.
6. CONTRACTOR TO SWEEP STREETS OF ANY DEBRIS OR SEDIMENTS CAUSED BY CONSTRUCTION OPERATIONS AND DISPOSE OF AT AN APPROVED LOCATION.
7. CONTRACTOR TO STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH OR APPROPRIATE STREET REPAIR.

SITE DATA:

PARCEL	156
TOTAL SITE AREA:	37.90 Ac.
SITE ZONING:	EC(ENVIRONMENTAL CONSERVATION)
EXISTING USE:	VACANT
PROPOSED USE:	GARAGE FOR PAVING EQUIPMENT
MINIMUM BUILDING RESTRICTION LINES (B.R.L.):	
FRONT:	50'
SIDE:	50'
REAR:	50'
MINIMUM LOT AREA:	40,000 SF
PARKING REQUIRED:	
NO CUSTOMERS (1 SPACE PER EMPLOYEE):	2
2 EMPLOYEES:	2
PARKING PROVIDED:	2
PROPOSED LIGHTING:	NONE
NUMBER OF EMPLOYEES:	2
PROPOSED SIGNAGE:	NONE
DELIVERIES:	NONE
AVERAGE DAILY TRAFFIC:	4 TRIPS PER DAY

HOURS OF OPERATION

MONDAY-FRIDAY:	7:30 AM - 6:30 PM
SATURDAY:	12:00 AM - 11:59 PM
SUNDAY:	12:00 AM - 11:59 PM



PREPARED FOR:

OWNER

JAMES L. AND CORINA S. MILLS
12609 LICKING CREEK ROAD
BIG POOL, MARYLAND 21711
PHONE: 240-520-1081

PROPERTY ADDRESS:

12545 LICKING CREEK ROAD

WASHINGTON COUNTY STANDARD NOTES

1. ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
2. THERE IS A 10' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL FRONT LOT LINES AND AN 8' WIDE DRAINAGE AND UTILITIES EASEMENT ALONG ALL SIDE AND REAR LOT LINES HEREBY RESERVED UNLESS OTHERWISE SHOWN HEREON.
3. A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT OF WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY PERMIT OR ENTRANCE PERMIT.
4. A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT OF WAY.
5. A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ONSITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF ENGINEERING & CONSTRUCTION.
6. PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A "NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY" (NO). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.26 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY CAN PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDRIO) HAS BEEN ISSUED BY MDE.
7. NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
8. DEVELOPER/CONTRACTOR MUST CONTACT THE CERTIFYING ENGINEER AND THE COUNTY AT LEAST FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM TO SCHEDULE AND COORDINATE INSPECTION TIMETABLES.
9. IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AND ACCESS AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF AND BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.

Apex Land Solutions, LLC
223 N. Prospect Street, Ste 304
Hagerstown, MD 21742
Tel: (240) 455-5209
Fax: (866) 914-0344
info.apexlandsolutions@gmail.com

REVISIONS

DESCRIPTION	BY	APPROVED	DATE
REVISED PER AGENCY COMMENTS	MER		01-18-2024
REVISED PER AGENCY COMMENTS	MER		05-21-2024
REVISED PER AGENCY COMMENTS	MER		08-20-2024
REVISED PER AGENCY COMMENTS	MER		09-12-2024

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UTILITY NOTIFICATION
Apex Land Solutions, LLC cannot guarantee the existence or non-existence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified by above ground indicators and available utility and subsurface drawings. It is the responsibility of the owners or operators and contractors to assure themselves that no hazards exist or damage will occur to utilities. It is suggested that 811 be contacted at: Phone No. 1-800-248-1786

PROFESSIONAL CERTIFICATION

I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Michael E. Renn License No. 26556
Expiration Date: 07/25/2025

COVER SHEET
FOR
JAMIE L. AND CORINA S. MILLS
PROPERTY MAP NO. 32 GRID 17
PARCEL NO. 156 ELECTION DISTRICT NO. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

SP-23-046

Drawn:	M. RENN
Checked:	M. RENN
Date:	December 1, 2023
Project No.:	23-016
Scale:	No Scale
Sheet:	1 of 11

SOILS LIST

PaB - PECTONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR .28 TO .43

PaC - PECTONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR .28 TO .43

PcC - PECTONVILLE COBBLY LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR .28 TO .43

PcD - PECTONVILLE COBBLY LOAM, 15% TO 25% SLOPES, HIGHLY ERODED, K FACTOR .28 TO .43

PeE - PECTONVILLE-ROCK OUTCROP COMPLEX, 25% TO 45% SLOPES, HIGHLY ERODED, K FACTOR .28 TO .43

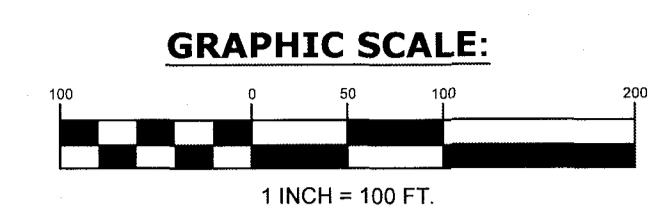
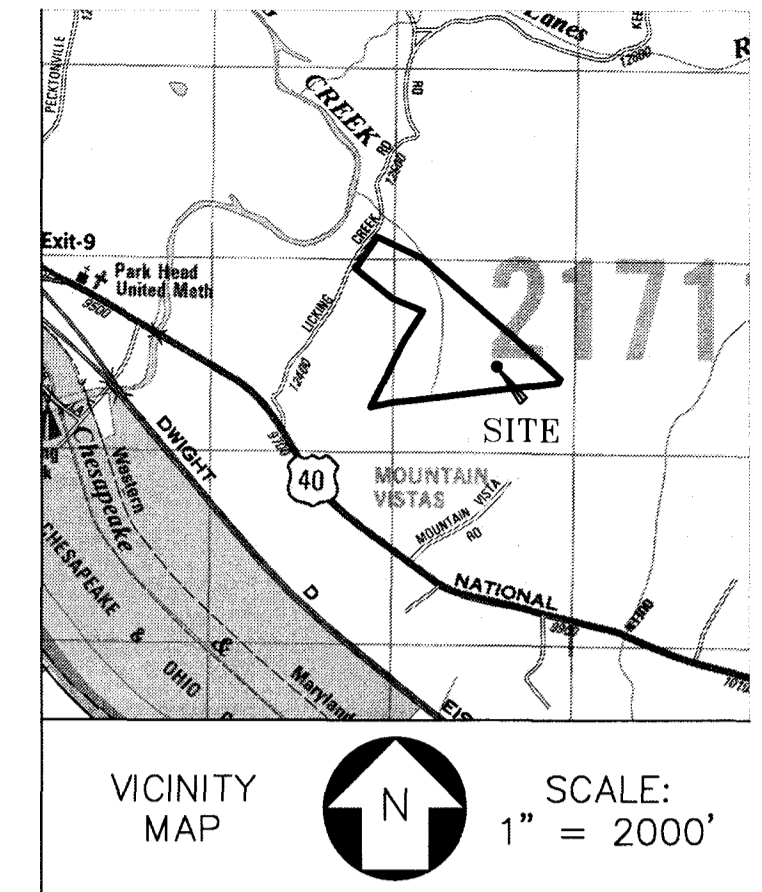
SpB - SWANPOND SILT LOAM, 3% TO 8% SLOPES, HIGHLY ERODED, K FACTOR .37 TO .43

NOTE: NO HYDRIC SOILS ARE PRESENT.

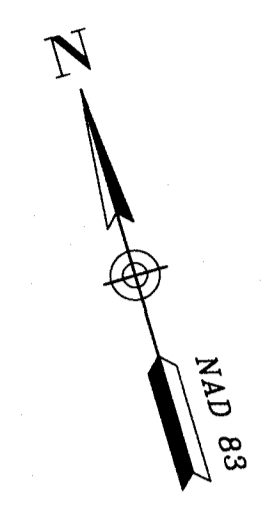
SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1960.

SENSITIVE AREA NOTICE

THE STREAM BUFFERS SHOWN HEREON ARE ESTABLISHED PURSUANT TO THE REQUIREMENTS OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE ARTICLE IV, SECTION 409. IN AN EFFORT TO PRESERVE OR IMPROVE WATER QUALITY, THE PROPERTY OWNER IS REQUIRED TO ESTABLISH AND THEREAFTER MAINTAIN IN PERPETUITY VEGETATIVE GROUND COVER IN ACCORDANCE WITH URBAN BEST MANAGEMENT PRACTICES RECOMMENDED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. NO PERMANENT STRUCTURES OR CONSTRUCTION ARE PERMITTED WITHIN THE STREAM BUFFER EXCEPT THOSE DESIGNED TO IMPROVE WATER QUALITY OR FLOW AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, LAWS, AND POLICIES. NO SEPTIC SYSTEMS SHALL BE CONSTRUCTED WITHIN THE BUFFER NOR SHALL ANY RESERVE AREA BE ESTABLISHED WITHIN THE BUFFER.

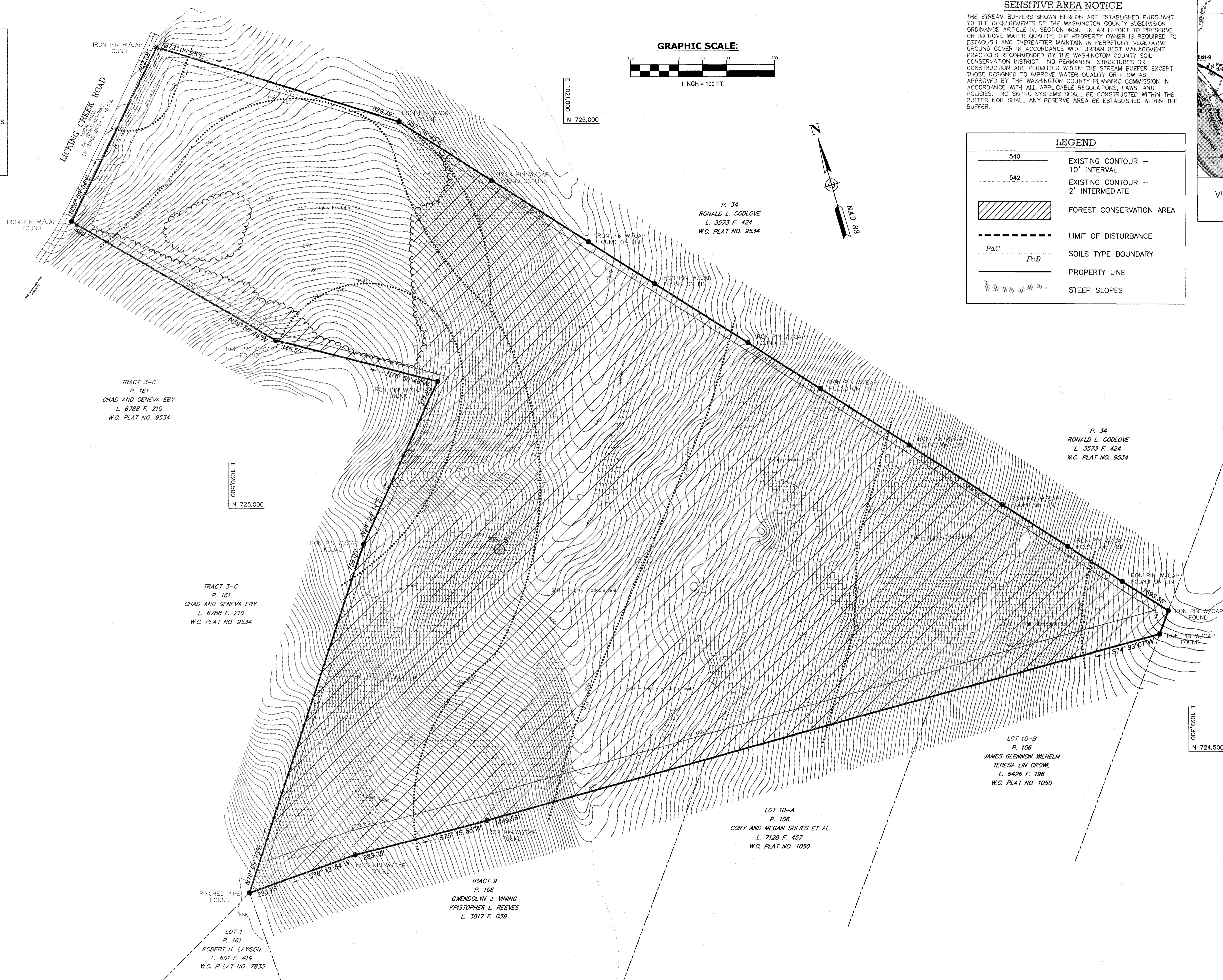


E 1020,000
N 726,000



LEGEND

— 540 —	EXISTING CONTOUR — 10' INTERVAL
- - - 542 - - -	EXISTING CONTOUR — 2' INTERMEDIATE
[Hatched Box]	FOREST CONSERVATION AREA
- - - - -	LIMIT OF DISTURBANCE
PaC	SOILS TYPE BOUNDARY
PcD	SOILS TYPE BOUNDARY
— — — — —	PROPERTY LINE
[Wavy Line]	STEEP SLOPES



PREPARED FOR:
OWNER
JAMES L. AND CORINA MILLS
12609 LICKING CREEK ROAD
BIG POOL, MARYLAND 21711
PHONE: 240-520-1081

SP-23-046

APEX
LAND SOLUTIONS, LLC

Apex Land Solutions, LLC
223 N. Prospect Street, Ste 304
Hagerstown, MD 21742

Tel: (240) 455-5209
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	REVISED PER AGENCY COMMENTS	MER		08-20-2024
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PROFESSIONAL CERTIFICATION

I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Michael E. Renn License No. 26556
Expiration Date 07/25/2025

EXISTING CONDITIONS PLAN
FOR
JAMIE L. AND CORINA S. MILLS

PROPERTY MAP No. 32 GRID 17
PARCEL No. 151 ELECTION DISTRICT No. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

Drawn:	M. RENN
Checked:	M. RENN
Date:	June 26, 2023
Project No.:	23-016
Scale:	1 inch = 100 feet
Sheet:	2 of 11

SOILS LIST

PaB - PECTONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR -32

PaC - PECTONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -32

PeC - PECTONVILLE COBBLY LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -32

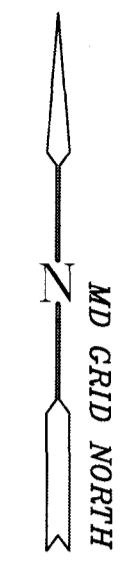
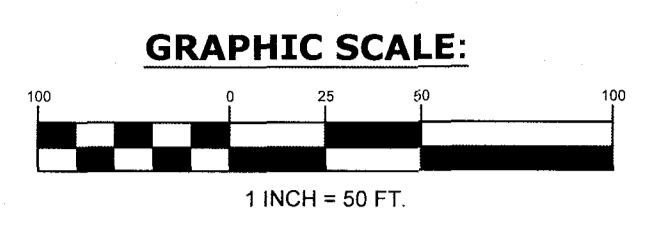
PeD - PECTONVILLE COBBLY LOAM, 15% TO 25% SLOPES, MODERATELY ERODED, K FACTOR -37

PeE - PECTONVILLE-ROCK OUTCROP COMPLEX, 25% TO 45% SLOPES, MODERATELY ERODED, K FACTOR -37

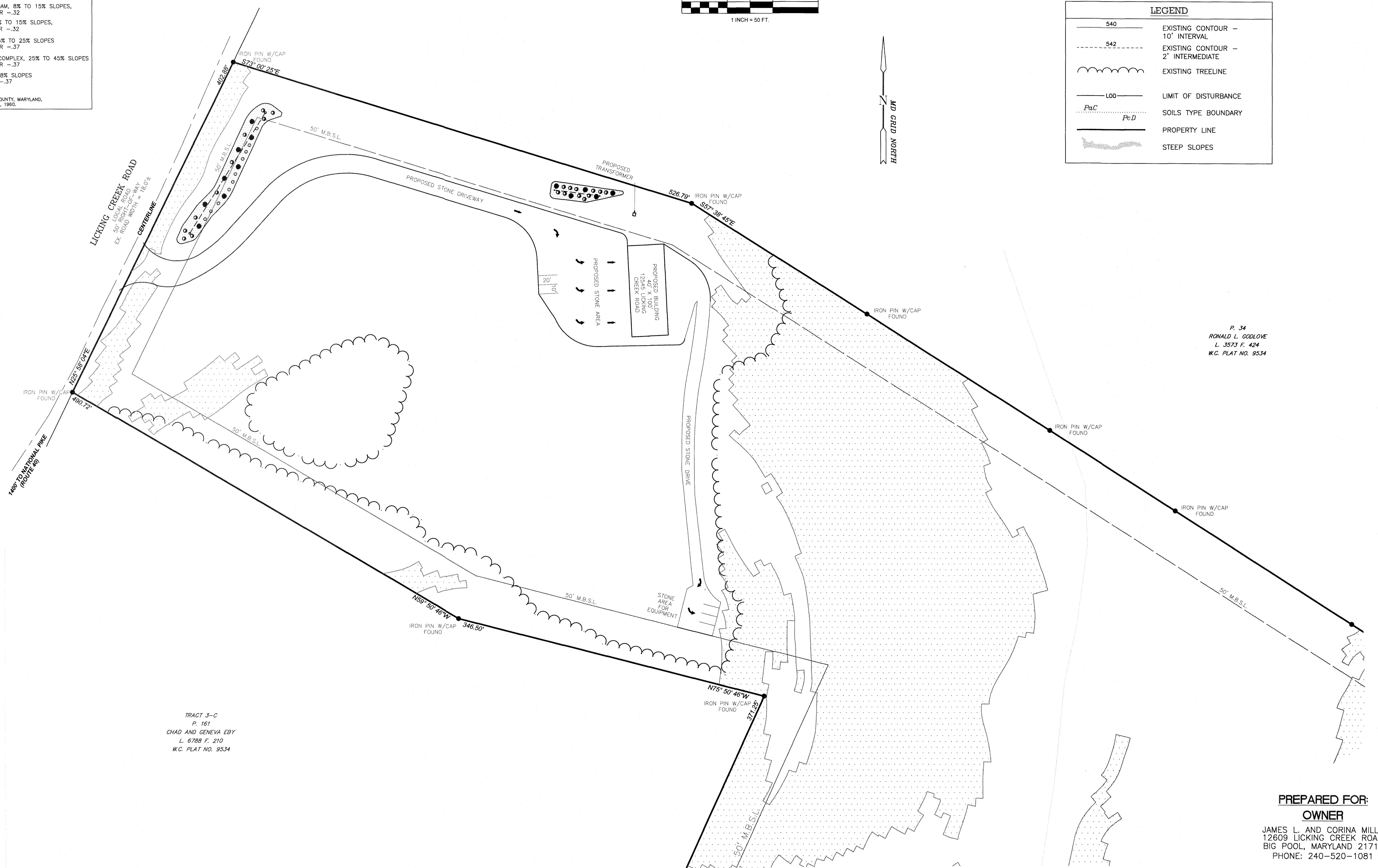
SpB - SWANPOND SILT LOAM, 3% TO 8% SLOPES, SEVERELY ERODED, K FACTOR -37

NOTE: NO HYDRIC SOILS ARE PRESENT.

SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1960.



LEGEND	
— 540 —	EXISTING CONTOUR — 10' INTERVAL
- - - 542 - - -	EXISTING CONTOUR — 2' INTERMEDIATE
~~~~~	EXISTING TREELINE
— LOD —	LIMIT OF DISTURBANCE
- - - PaC - - -	SOILS TYPE BOUNDARY
- - - PeD - - -	SOILS TYPE BOUNDARY
—	PROPERTY LINE
~~~~~	STEEP SLOPES



P. 34
RONALD L. GODLOVE
L. 3573 F. 424
W.C. PLAT NO. 9534

TRACT 3-C
P. 161
CHAD AND GENEVA EBY
L. 6788 F. 210
W.C. PLAT NO. 9534

PREPARED FOR:
OWNER
JAMES L. AND CORINA MILLS
12609 LICKING CREEK ROAD
BIG POOL, MARYLAND 21711
PHONE: 240-520-1081

SP-23-046

Apex Land Solutions, LLC
223 N. Prospect Street, Ste 304
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Tel: (240) 455-5209
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REVISED PER AGENCY COMMENTS	MER		08-20-2024
REVISED PER AGENCY COMMENTS	MER		09-12-2024

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SITE PLAN
FOR
JAMIE L. AND CORINA S. MILLS

PROPERTY MAP No. 32 GRID 17
PARCEL No. 156 ELECTION DISTRICT No. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

Drawn:	M. RENN
Checked:	M. RENN
Date:	December 1, 2023
Project No.:	23-016
Scale:	1 inch = 50 feet
Sheet:	3 of 11

SOILS LIST

PaB - PECTONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR -.32

PaC - PECTONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -.32

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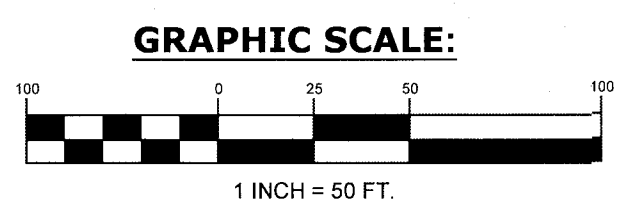
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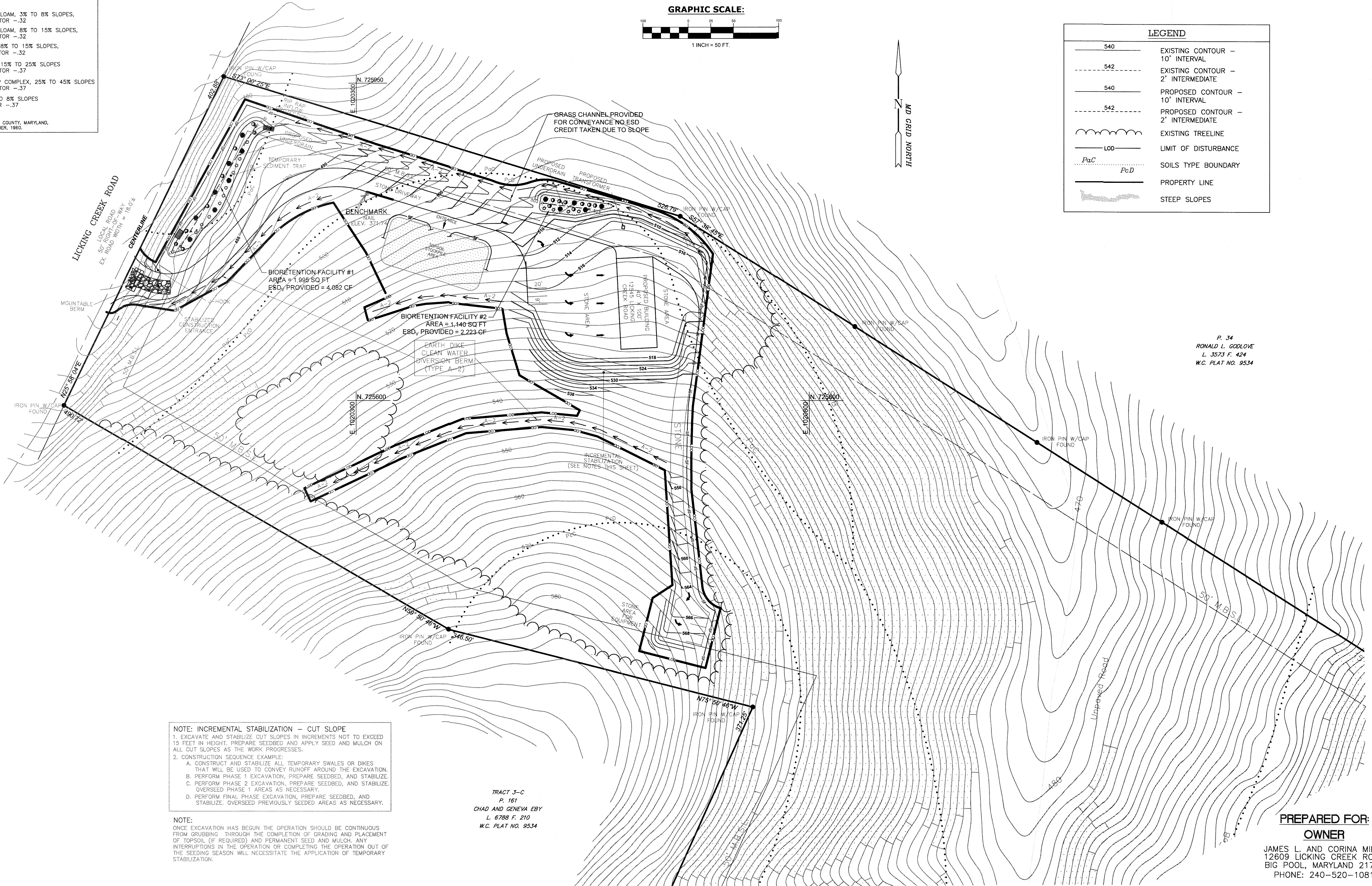
NOTE: NO HYDRIC SOILS ARE PRESENT.

SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1960.



LEGEND

540	EXISTING CONTOUR - 10' INTERVAL
542	EXISTING CONTOUR - 2' INTERMEDIATE
540	PROPOSED CONTOUR - 10' INTERVAL
542	PROPOSED CONTOUR - 2' INTERMEDIATE
	EXISTING TREELINE
LOD	LIMIT OF DISTURBANCE
PaC	SOILS TYPE BOUNDARY
PcD	PROPERTY LINE
	STEEP SLOPES



P. 34
RONALD L. GODLOVE
L. 3573 F. 424
W.C. PLAT NO. 9534

NOTE: INCREMENTAL STABILIZATION - CUT SLOPE

- EXCAVATE AND STABILIZE CUT SLOPES IN INCREMENTS NOT TO EXCEED 15 FEET IN HEIGHT. PREPARE SEEDBED AND APPLY SEED AND MULCH ON ALL CUT SLOPES AS THE WORK PROGRESSES.
- CONSTRUCTION SEQUENCE EXAMPLE:
 - CONSTRUCT AND STABILIZE ALL TEMPORARY SWALES OR DIKES THAT WILL BE USED TO CONVEY RUNOFF AROUND THE EXCAVATION.
 - PERFORM PHASE 1 EXCAVATION, PREPARE SEEDBED, AND STABILIZE.
 - PERFORM PHASE 2 EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PHASE 1 AREAS AS NECESSARY.
 - PERFORM FINAL PHASE EXCAVATION, PREPARE SEEDBED, AND STABILIZE. OVERSEED PREVIOUSLY SEEDED AREAS AS NECESSARY.

NOTE:
ONCE EXCAVATION HAS BEGUN THE OPERATION SHOULD BE CONTINUOUS FROM GRUBBING THROUGH THE COMPLETION OF GRADING AND PLACEMENT OF TOPSOIL (IF REQUIRED) AND PERMANENT SEED AND MULCH. ANY INTERRUPTIONS IN THE OPERATION OR COMPLETING THE OPERATION OUT OF THE SEEDING SEASON WILL NECESSITATE THE APPLICATION OF TEMPORARY STABILIZATION.

TRACT 3-C
P. 161
CHAD AND GENEVA EBY
L. 6788 F. 210
W.C. PLAT NO. 9534

PREPARED FOR:
OWNER
JAMES L. AND CORINA S. MILLS
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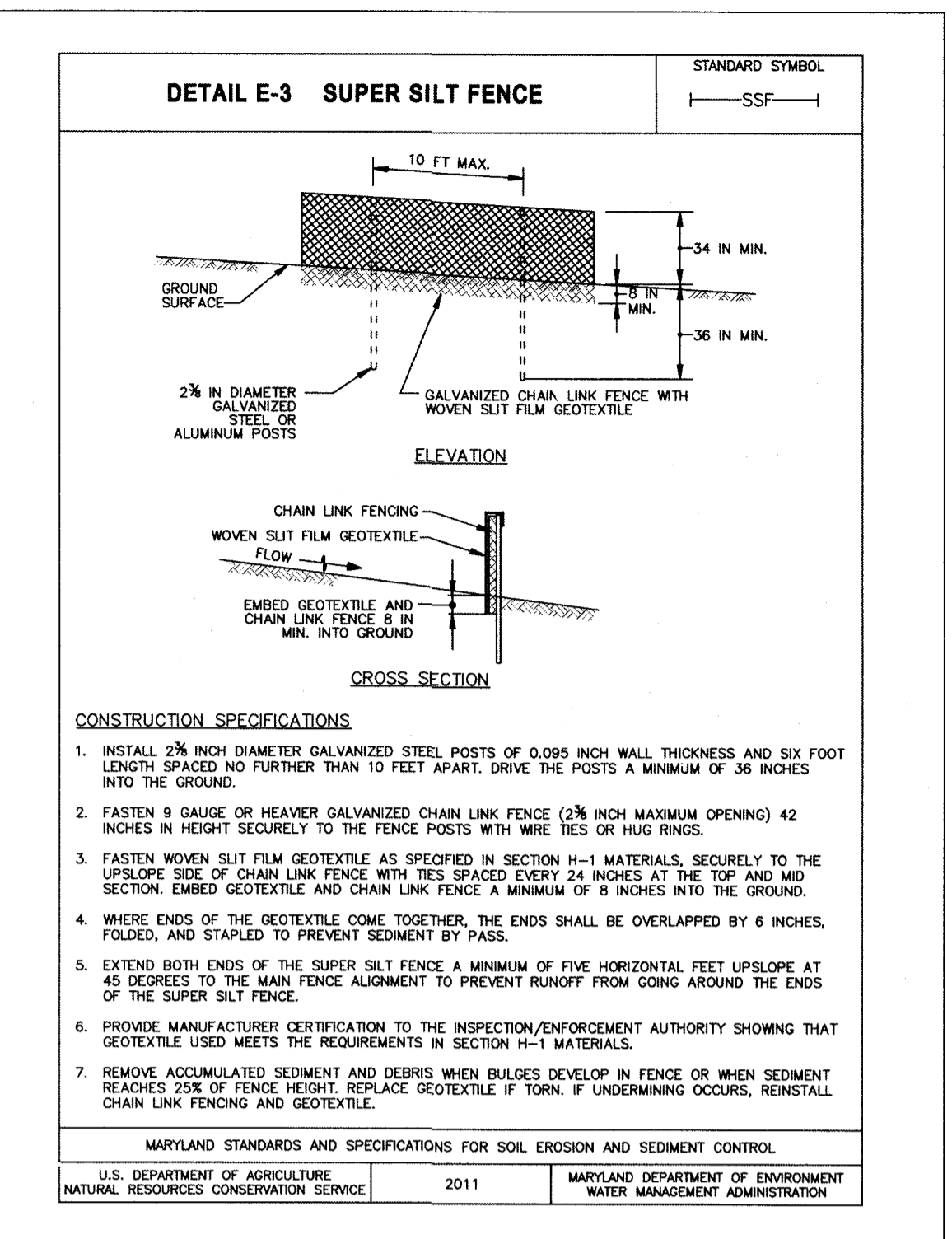
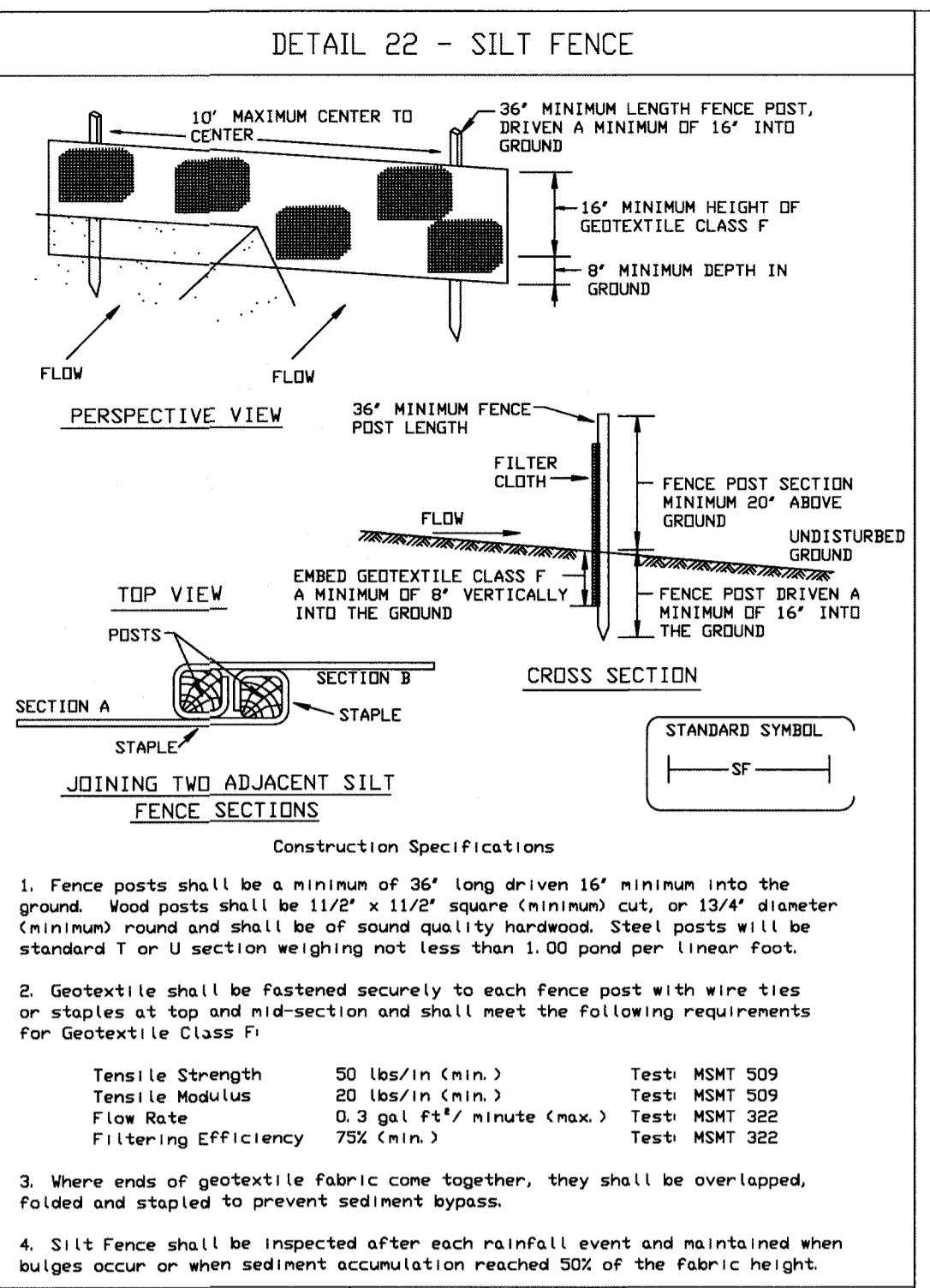
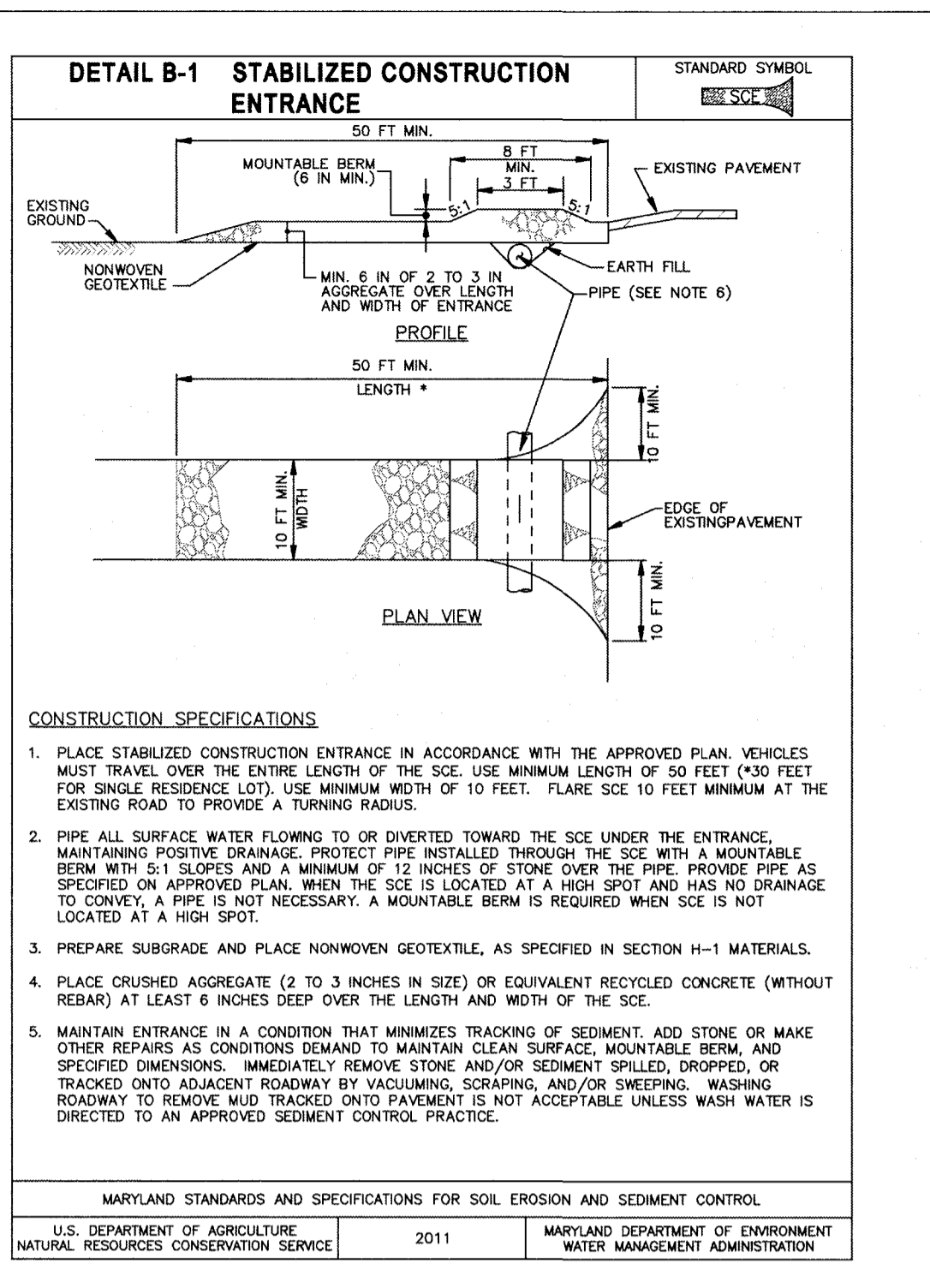
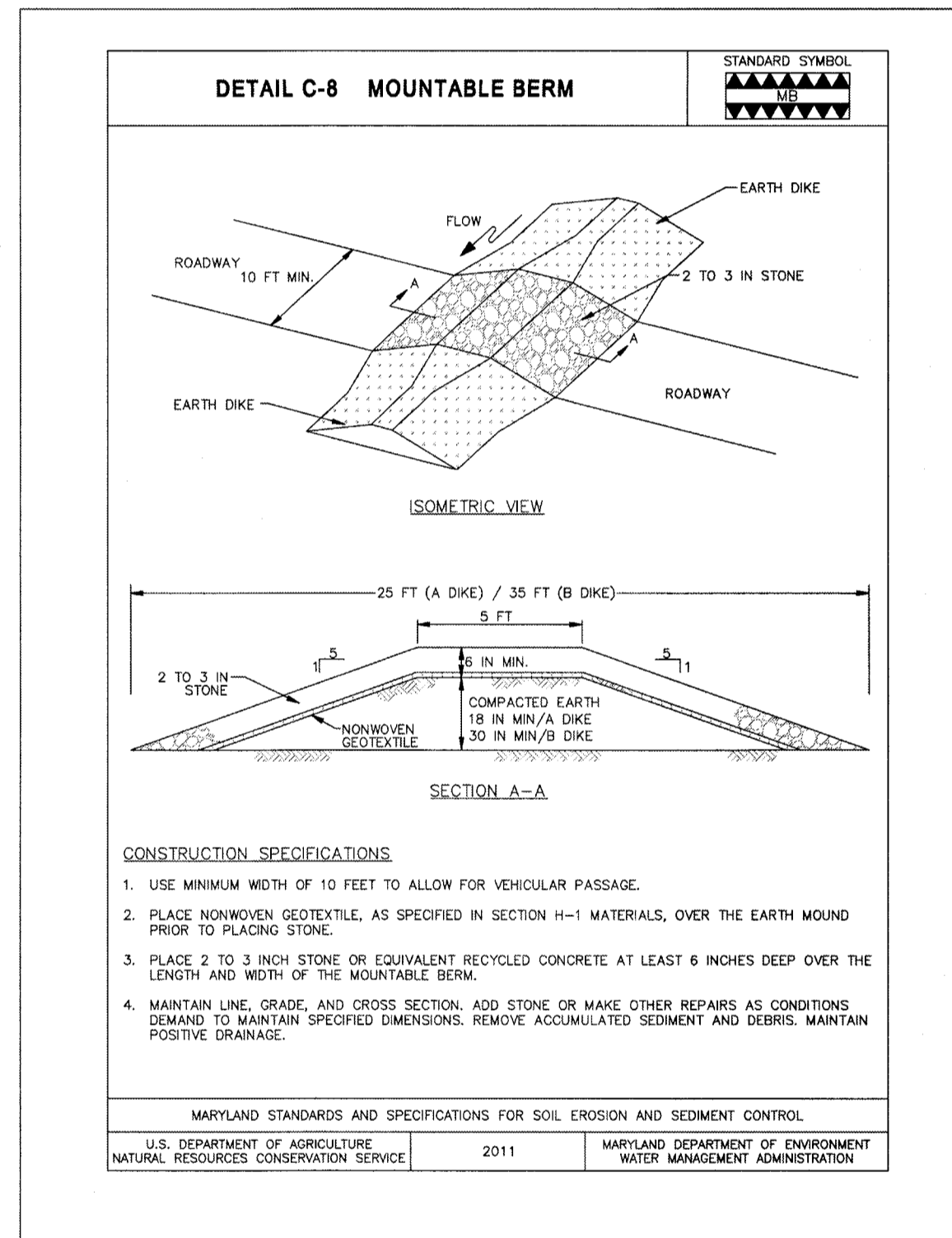
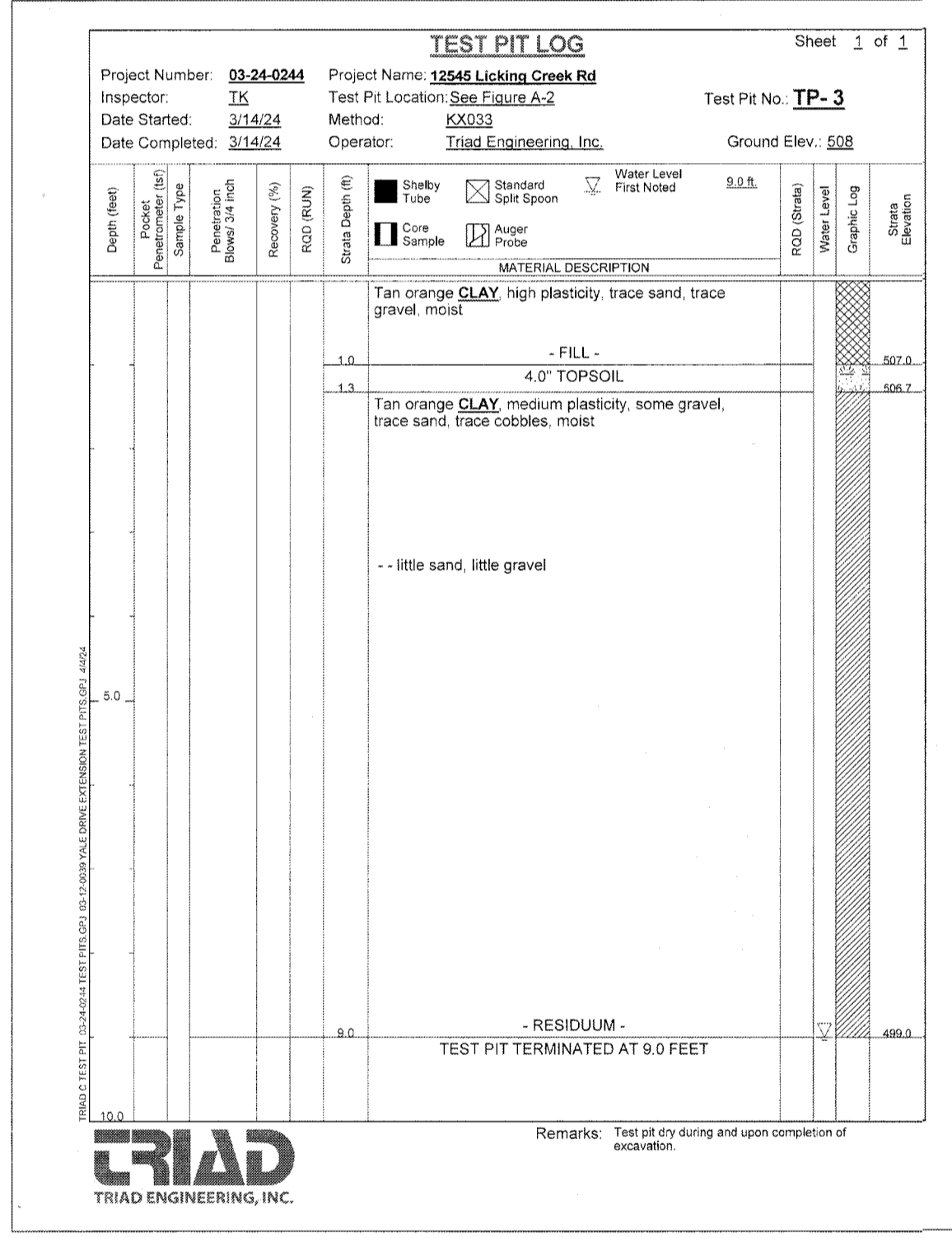
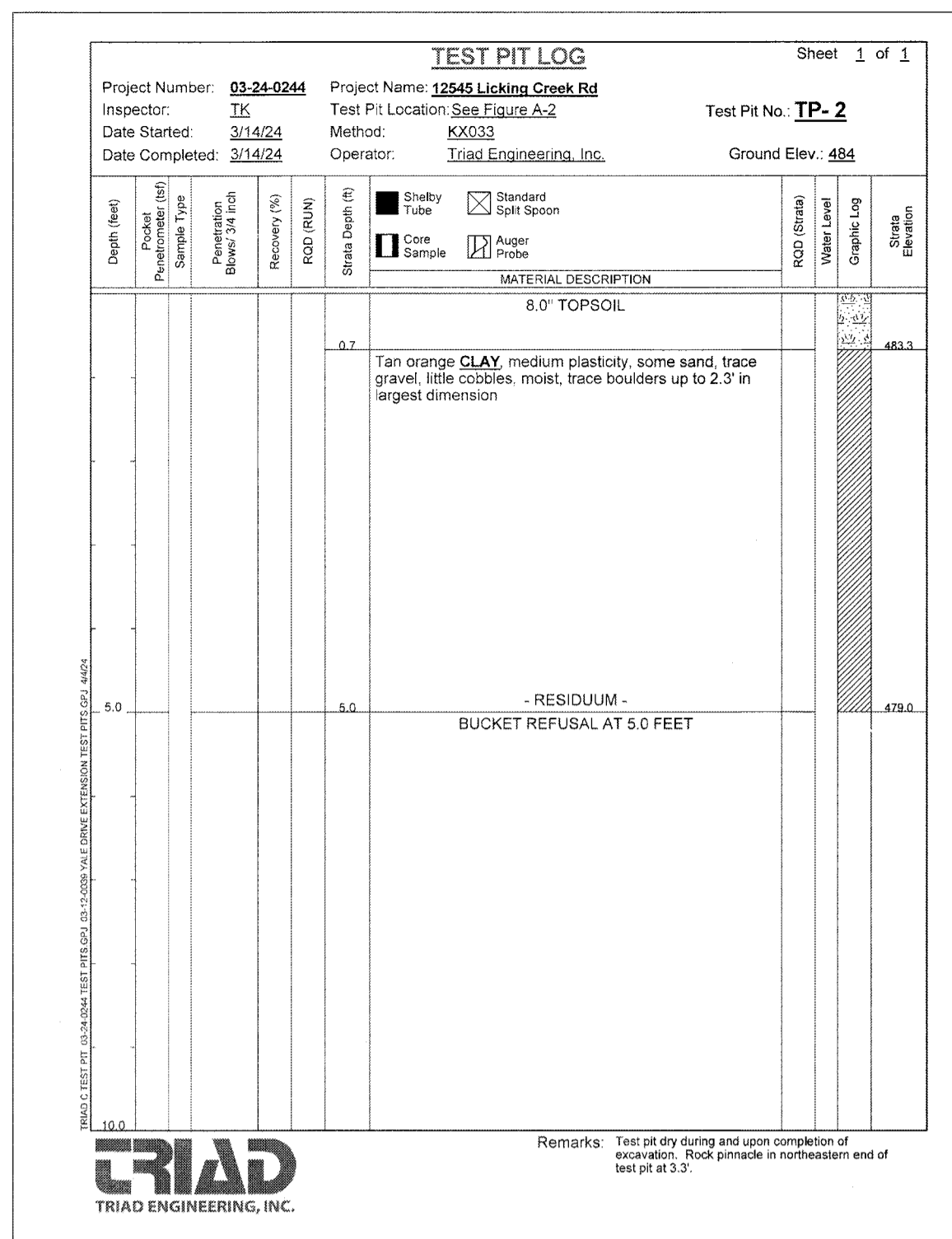
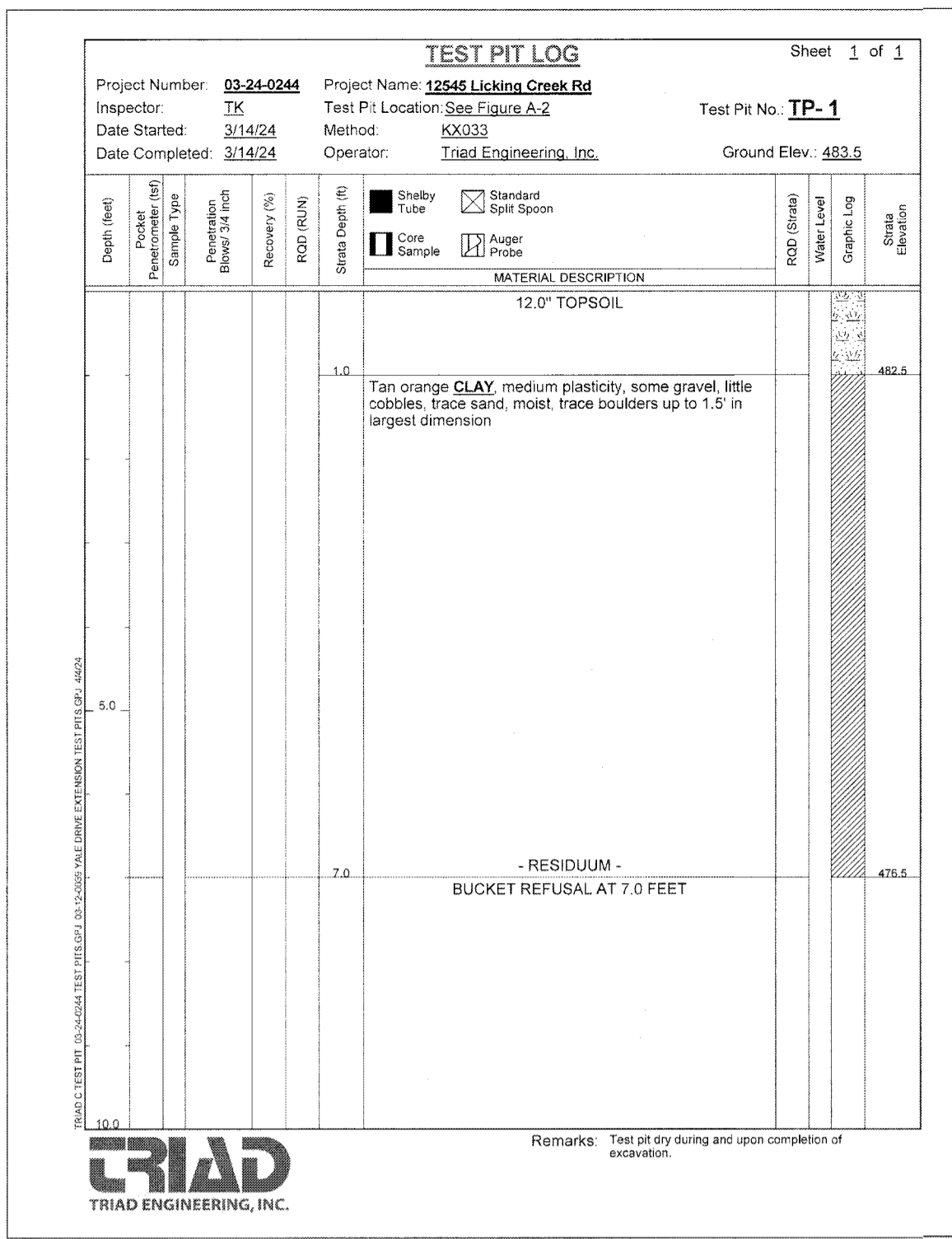
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PROFESSIONAL CERTIFICATION
I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.
Michael E. Renn
License No. 26556
Expiration Date 07/25/2025

GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN
FOR
JAMIE L. AND CORINA S. MILLS
PROPERTY MAP No. 32 GRID 17
PARCEL No. 156 ELECTION DISTRICT No. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

SP-23-046

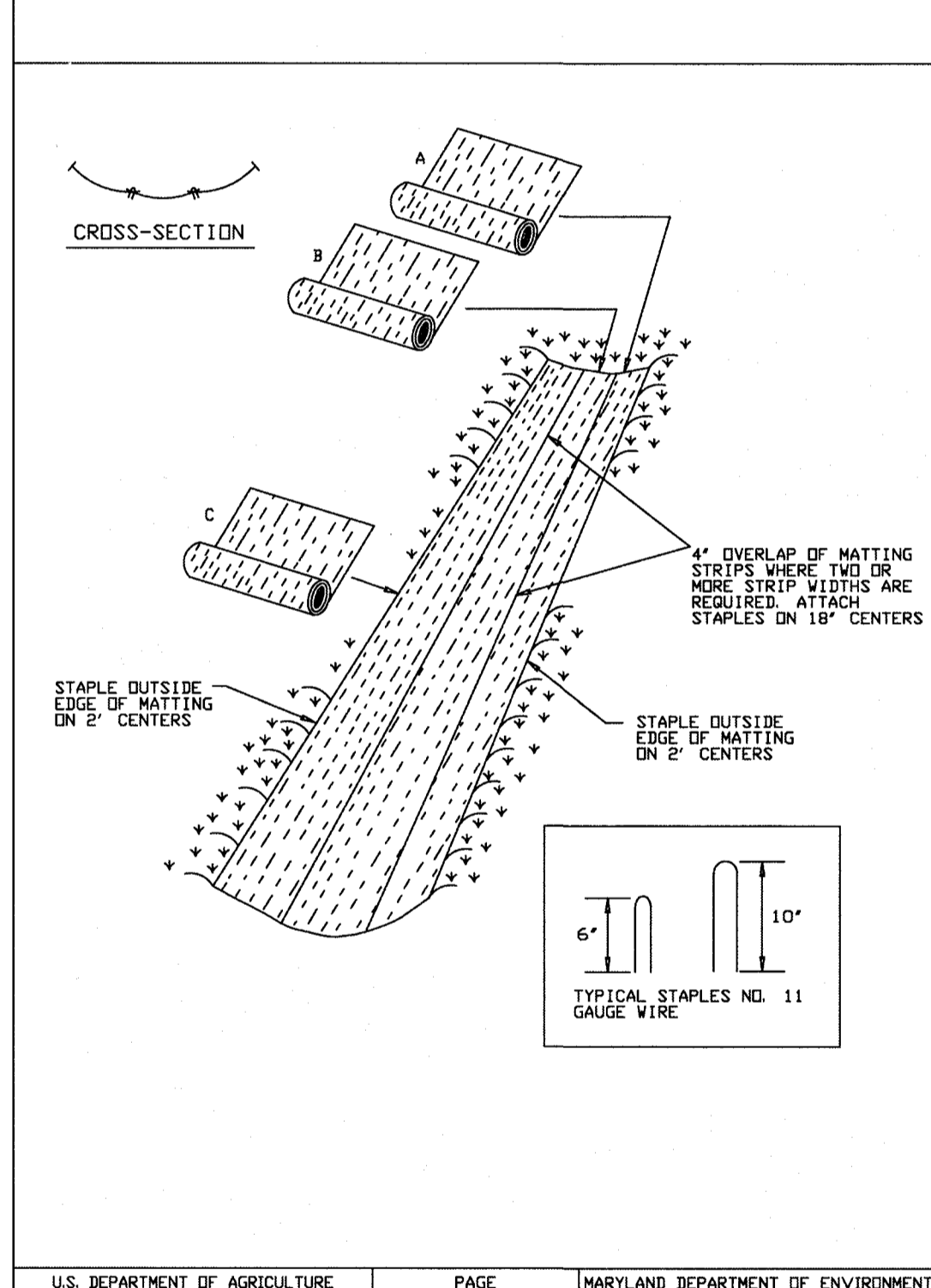
Drawn:	M. RENN
Checked:	M. RENN
Date:	December 1, 2023
Project No.:	23-016
Scale:	1 inch = 50 feet
Sheet:	4 of 11



SEDIMENT AND EROSION CONTROL NOTES

- ALL SOIL EROSION/SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE "2011 MARYLAND STANDARD AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL GRADING AND STABILIZATION SHALL COMPLY WITH THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," SECTION B - GRADING AND STABILIZATION" AND THE PROVISIONS OF THE APPROVED PLAN.
- ALL EROSION AND SEDIMENT CONTROL MEASURES (EMPS) ARE TO BE CONSTRUCTED AND/OR INSTALLED PRIOR TO OR AT THE INITIATION OF GRADING IN ACCORDANCE WITH "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL AND SEDIMENT CONTROL" AND THE APPROVED PLAN.
- A GRADING UNIT IS THE MAXIMUM CONTIGUOUS AREA ALLOWED TO BE GRADED AT A GIVEN TIME, AND IS LIMITED TO 20 ACRES. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY AND/OR THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT (APPROVAL AUTHORITY). UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
- FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, TEMPORARY OR PERMANENT STABILIZATION MUST BE COMPLETED WITHIN:
 - THREE (3) CALENDER DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 - SEVEN (7) CALENDER DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
 THIS DOES NOT APPLY TO THOSE AREAS WHICH ARE SHOWN ON THE PLAN AND ARE CURRENTLY BEING USED FOR MATERIAL STORAGE OR FOR THOSE AREAS ON WHICH ACTUAL CONSTRUCTION ACTIVITIES ARE CURRENTLY BEING PERFORMED. MAINTENANCE SHALL BE PERFORMED AS NECESSARY TO INSURE THAT STABILIZED AREAS CONTINUOUSLY MEET THE APPROPRIATE REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL."

- STOCKPILES MUST BE STABILIZED IN ACCORDANCE WITH THE 7 DAY STABILIZATION REQUIREMENT, AS WELL AS, STANDARD B-4-1 INCREMENTAL STABILIZATION AND STANDARD B-4-4 TEMPORARY STABILIZATION (AS APPLICABLE).
- ALL CONSTRUCTED CHANNELS AND SWALES SHALL HAVE SPECIFIED TREATMENT INSTALLED TO THE DESIGN FLOW DEPTH COMPLETED DOWNSTREAM TO UPSTREAM AS CONSTRUCTION PROGRESSES. AN INSTALLATION DETAIL SHALL BE SHOWN ON THE PLANS.
- ALL STORM DRAIN AND SANITARY SEWER LINES NOT IN PAVED AREAS ARE TO BE MULCHED AND SEEDED WITHIN THREE (3) DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- ELECTRIC POWER, TELEPHONE, AND GAS LINES ARE TO BE COMPACTED, SEEDED, AND MULCHED WITHIN THREE (3) DAYS OF INITIAL BACKFILL UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- NO SLOPES SHALL BE GREATER THAN 2:1.
- AS REQUIRED BY SECTION B, OF THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, " ADEQUATE VEGETATIVE STABILIZATION" IS DEFINED AS 95 PERCENT GROUND COVER. THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT REQUIRES THE PROJECT ADHERE TO THIS FOR SCHEDULING OF THE FINAL SITE CLOSE-OUT REVIEW, AND/OR RELEASE OF THE SITE FOR SOIL EROSION AND SEDIMENT CONTROL.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL SEDIMENT AND EROSION CONTROL MEASURES UNTIL DISTURBED AREAS ARE STABILIZED.
- THE OWNER/DEVELOPER OR THEIR DESIGNATE IS RESPONSIBLE FOR CONDUCTING ROUTINE MAINTENANCE. THE SITE AND CONTROLS SHOULD BE INSPECTED WEEKLY AND THE NEXT DAY AFTER EACH RAIN EVENT ** ANY ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN A SUITABLE AREA AND SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED.
- ** ANY PROJECT THAT HAS A STATE ISSUED N.O.I. PERMIT - DOCUMENT EACH INSPECTION AND MAINTAIN AN INSPECTION LOG (PLEASE SEE N.O.I. FOR DETAILS).



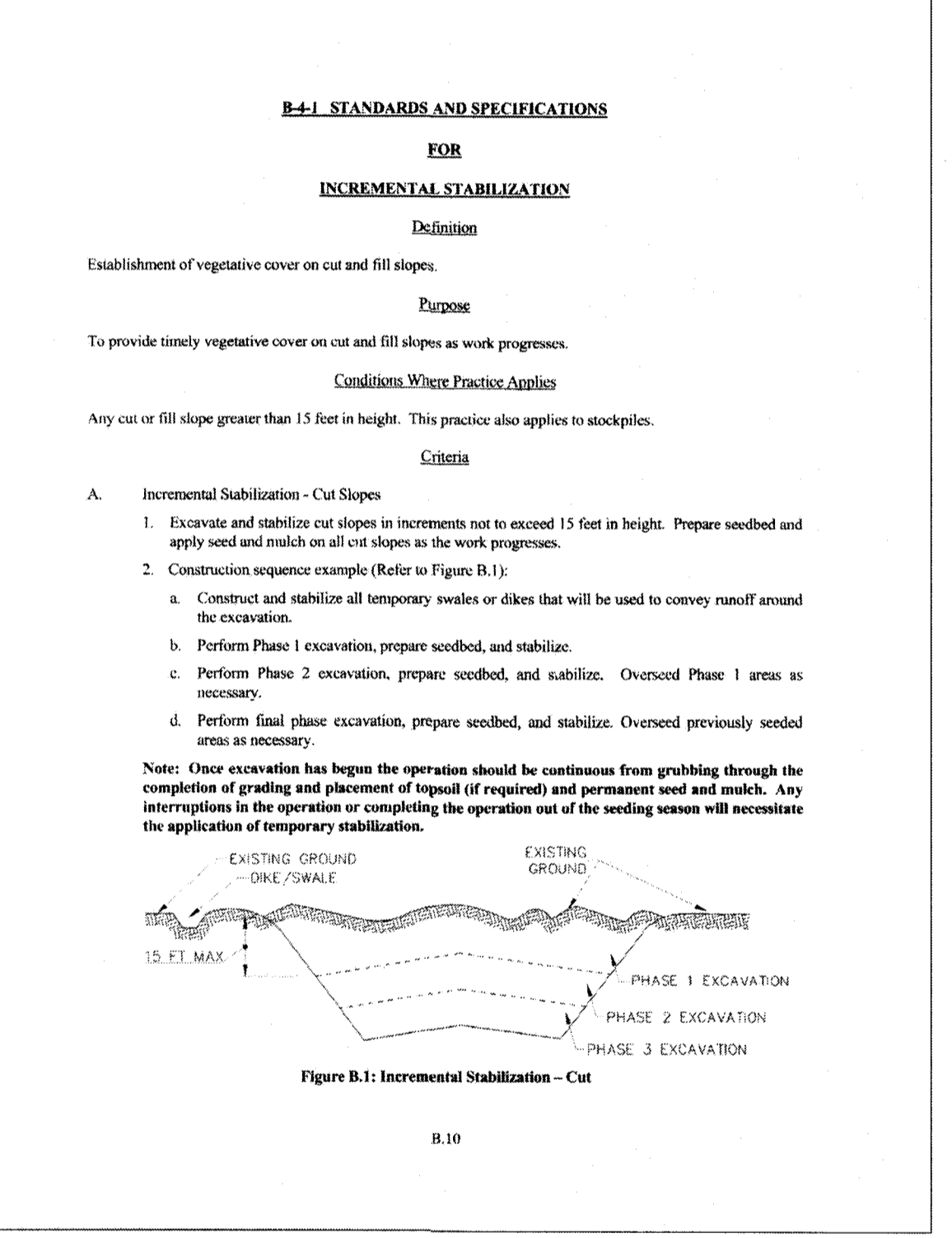
PERMANENT SEEDING AND SOD NOTES

GENERAL

- SCOPE: PLANTING PERMANENT, LONG-LIVED VEGETATIVE COVER ON GRADED OR CLEARED AREAS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.
- STANDARDS: PERMANENT SEEDING SHALL CONFORM TO ALL REQUIREMENTS OF THE "2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED JOINTLY BY WATER RESOURCES ADMINISTRATION, NATURAL RESOURCES CONSERVATION SERVICE, AND THE STATE SOIL CONSERVATION COMMITTEE.

SPECIFICATIONS

- SOIL AMENDMENTS:
 - FOR SITES OF 5 ACRES OR UNDER, APPLY 90 LBS./AC. (2.0 LBS. ACTUAL NITROGEN/1000 SQ. FT.) AND 90 LBS./AC. (4 LBS. ACTUAL P2OS AND K2O/1000 SQ. FT.). A SLOW RELEASE UREAFORM FERTILIZER (46-0-0) MAY BE APPLIED TO AREAS RECEIVING LOW MAINTENANCE TO PROVIDE NITROGEN OVER A LONGER PERIOD OF TIME. FOR THIS TREATMENT, APPLY 150 LBS./AC. (3.5 LBS./1000 SQ. FT.) OF A UNIFORM FERTILIZER IN ADDITION TO THE ABOVE FERTILIZER APPLICATION AT TIME OF SEEDING.
 - LIME SHALL BE APPLIED AT A RATE OF 2 TONS/AC. (100 LBS./1000 SQ. FT.).
 - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3-5 INCHES OF SOIL.
 - SITES HAVING A DISTURBED AREA OVER 5 ACRES SHALL HAVE SOIL TESTS PERFORMED TO DETERMINE RATE.
- SEEDBED PREPARATION:
 - SOIL SHALL BE LOOSENEED TO A DEPTH OF 3-5 INCHES BY RAKING, DISKING, OR OTHER ACCEPTABLE MEANS PRIOR TO SEEDING.
 - APPLY SEED UNIFORMLY WITH A CYCLONE SEEDER DRILL, CULTIPACKER, OR HYDRO-SEEDER (SLURRY INCLUDES SEED AND FERTILIZER ON A FIRM, MOST SEEDBED). MAXIMUM SEEDING DEPTH SHOULD BE 1/4" INCH ON CLAYEY SOILS AND 1/2" INCH ON SANDY SOILS. WHEN USING OTHER THAN HYDROSEEDER METHOD OF APPLICATION, NOTE: IF HYDROSEEDING IS USED AND THE SEED AND FERTILIZER IS MIXED, THEY WILL BE MIXED ON SITE AND THE SEEDING SHALL BE IMMEDIATE WITHOUT INTERRUPTION.



APEX LAND SOLUTIONS, LLC
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 info.apexlandsolutions@gmail.com

DESCRIPTION	BY	APPROVED	DATE
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REVISED PER AGENCY COMMENTS	MER		09-12-2024

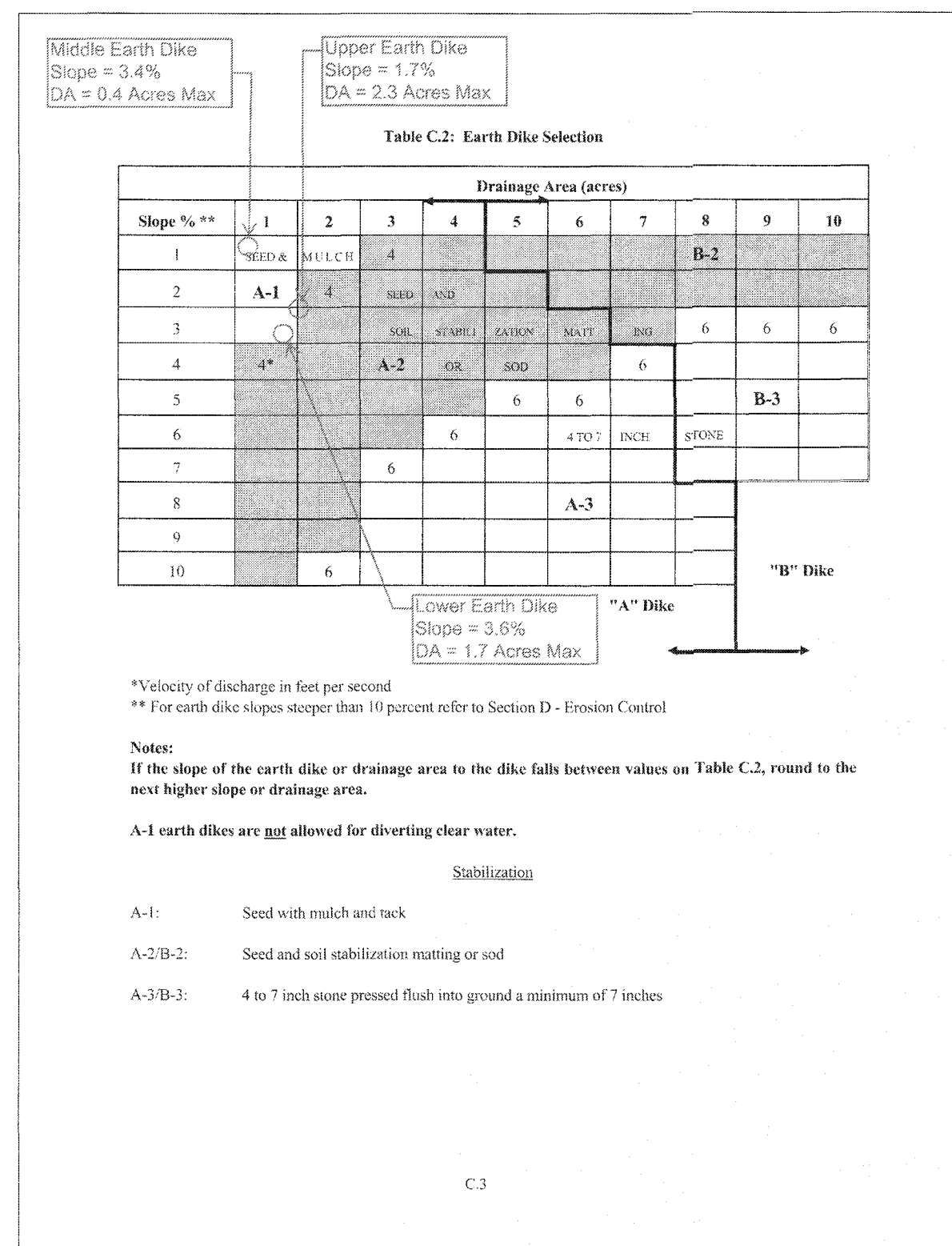
UTILITY NOTIFICATION
 811
 Know what's below.
 Call before you dig.
 DIAL 811 or 800-248-1786

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 Michael E. Renn
 License No. 26556
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SOIL EROSION AND SEDIMENT CONTROL DETAILS
 FOR
JAMIE L. AND CORINA S. MILLS
 PROPERTY MAP NO. 32 GRID 17
 PARCEL NO. 156 ELECTION DISTRICT NO. 15
 ACCOUNT NUMBER 15-066977
 WASHINGTON COUNTY, MARYLAND

Drawn: M. RENN
 Checked: M. RENN
 Date: December 1, 2023
 Project No.: 22-016
 Scale: 1inch = No Scale
 Sheet: 5 of 11

SP-23-046



PROPOSED BASIN
STAGE STORAGE TABLE

Elev. (FT)	Area (SF)	Avg. Area (SF)	Δ Elev. (FT)	Incr. Vol. (CF)	Tot. Vol. (CF)
478	1,275	1889	0	0	0.000
480	2,703	3477.5	2	3978	3978
482	4,252	4252	2	6955	10933

INTERPOLATIONS

Elevation (ft)	Vol (ft ³)	Vol (ac-ft)
481	7455.5	0.1712
480	3978.0	0.0913

Volume (ft ³)	Elevation (ft)
6856	0.1874
3428	0.0787
478.72	



DETAIL G-1-2 STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II

STANDARD SYMBOL

STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO. _____

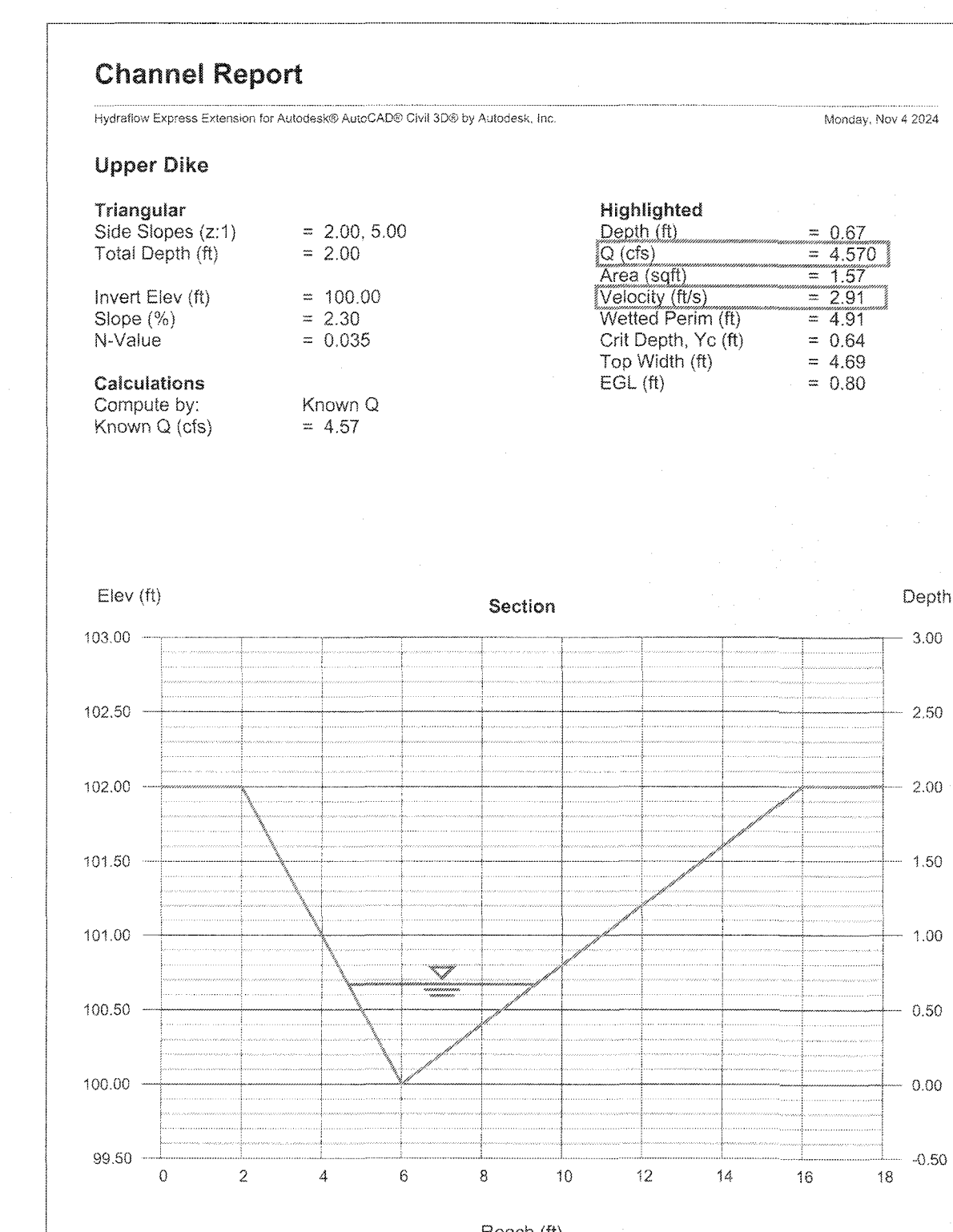
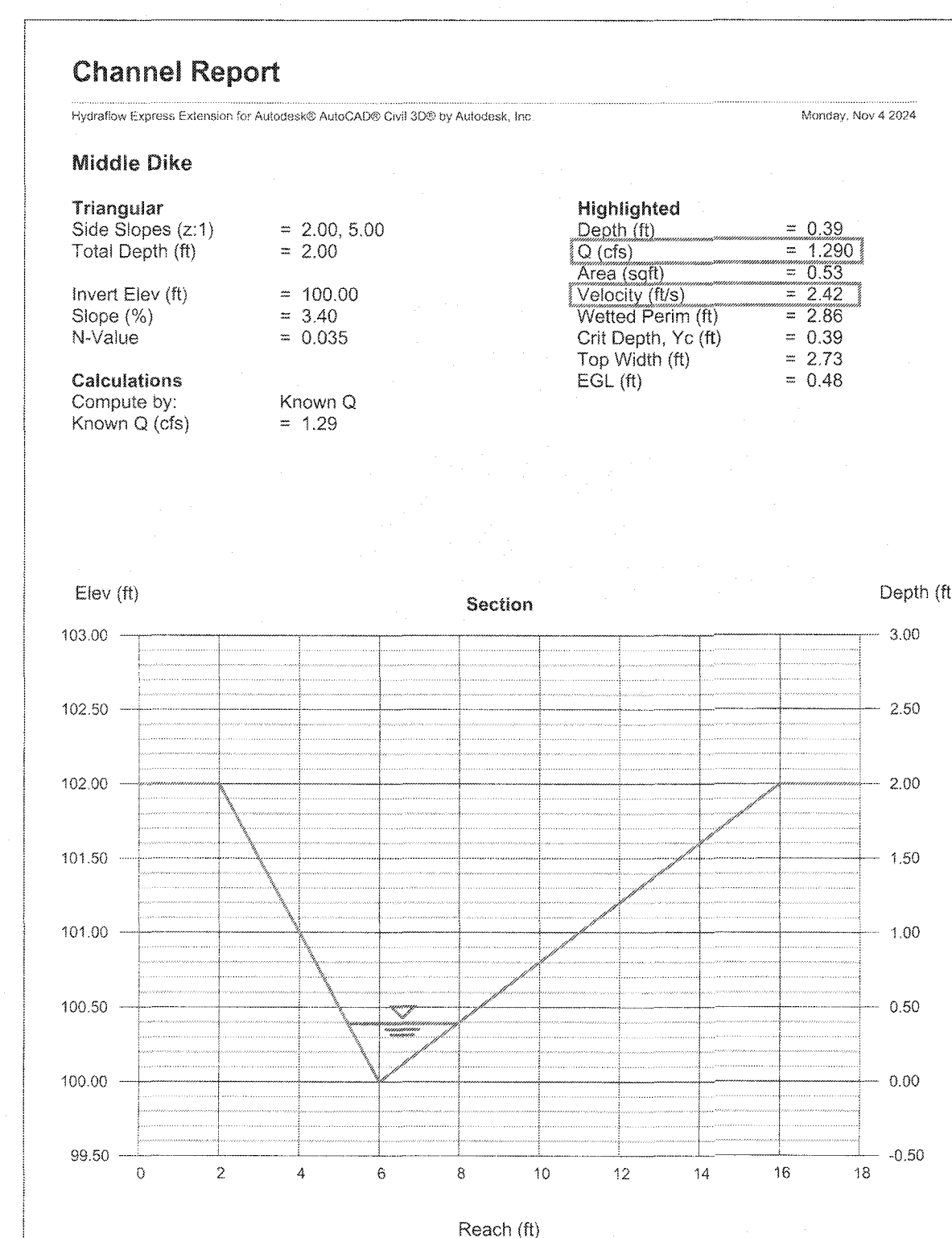
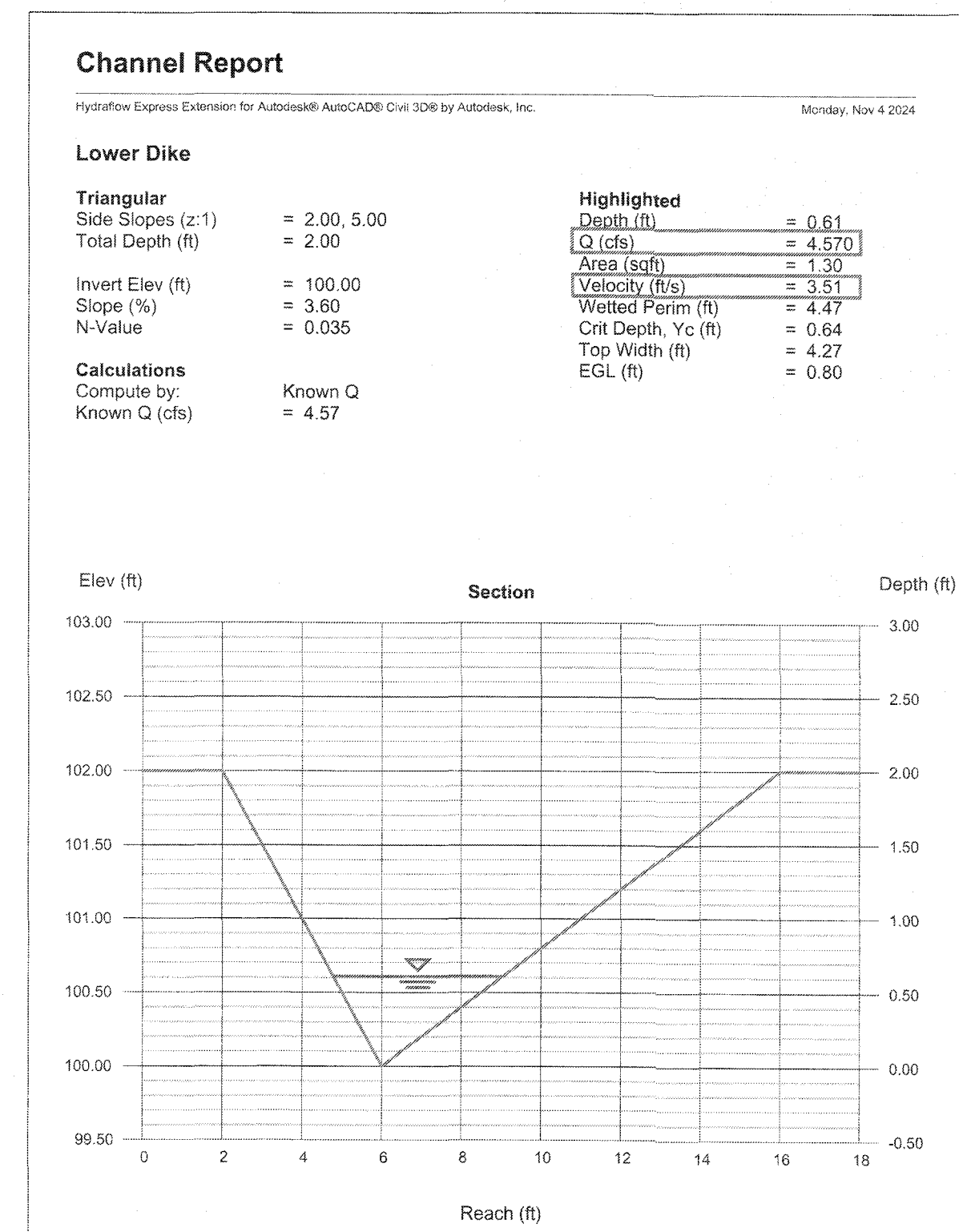
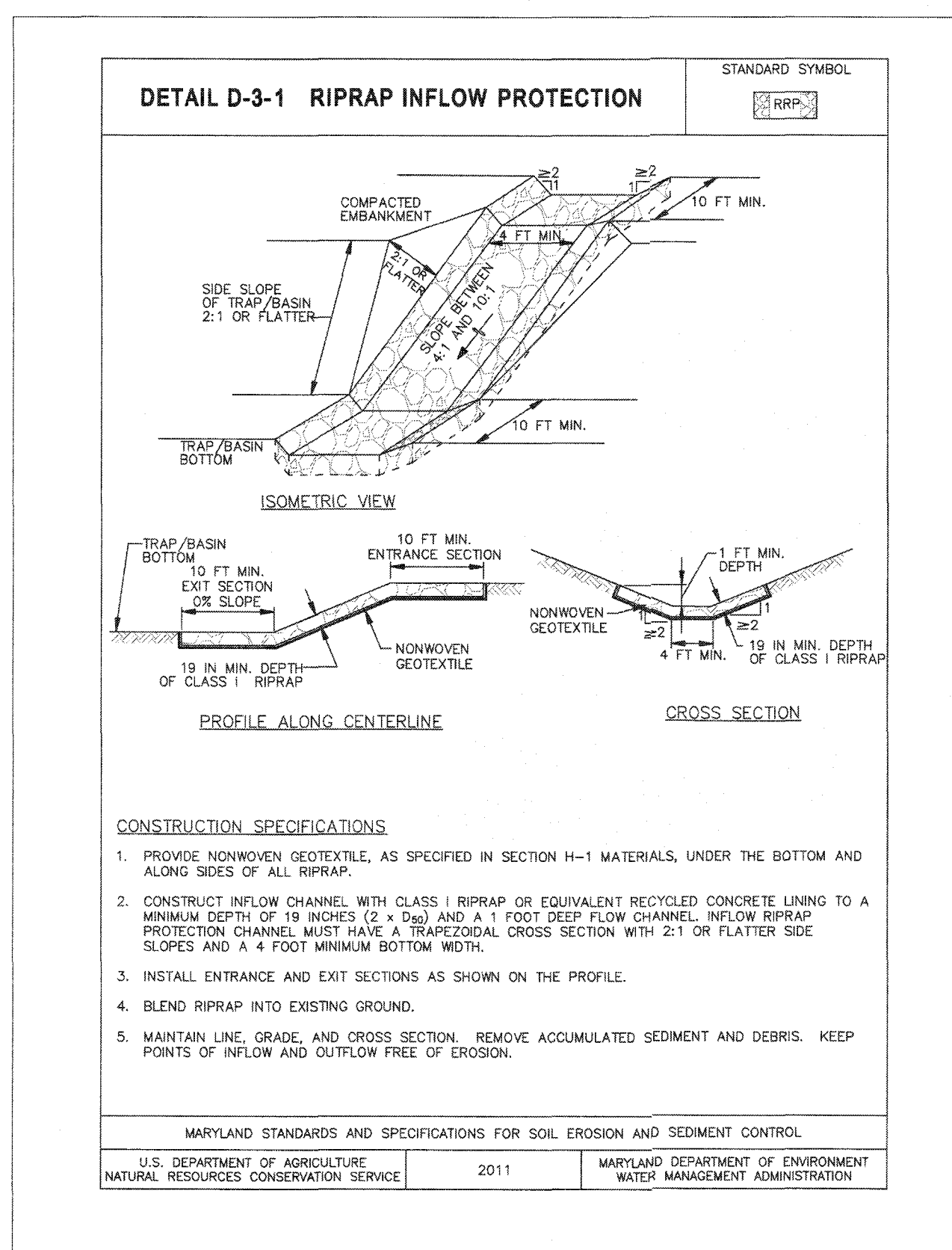
DRAINAGE AREA - INITIAL	1.9	ACRES
DRAINAGE AREA - INTERIM	1.9	ACRES
DRAINAGE AREA - FINAL	1.9	ACRES
TOTAL STORAGE REQUIRED	6856	CF
TOTAL STORAGE PROVIDED	7455	CF
WET STORAGE REQUIRED	3428	CF
WET STORAGE PROVIDED	3978	CF
DRY STORAGE REQUIRED	3428	CF
DRY STORAGE PROVIDED	3477	CF
EXISTING GROUND ELEVATION AT OUTLET (WET STORAGE ELEVATION)	480.0	FT
TRAP BOTTOM ELEVATION	478.0	FT
TRAP BOTTOM DIMENSIONS	8 x 150	FT x FT
WEIR LENGTH	8	FT
WEIR CREST (DRY STORAGE) ELEVATION	481.0	FT
CLEANOUT ELEVATION	479.0	FT
TOP OF EMBANKMENT ELEVATION	482.0	FT
SIDE SLOPE	2:1	H:V RATIO
EMBANKMENT TOP WIDTH	4	FT
OUTLET PROTECTION - LENGTH	10	FT
OUTLET PROTECTION - DEPTH	19	IN

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE

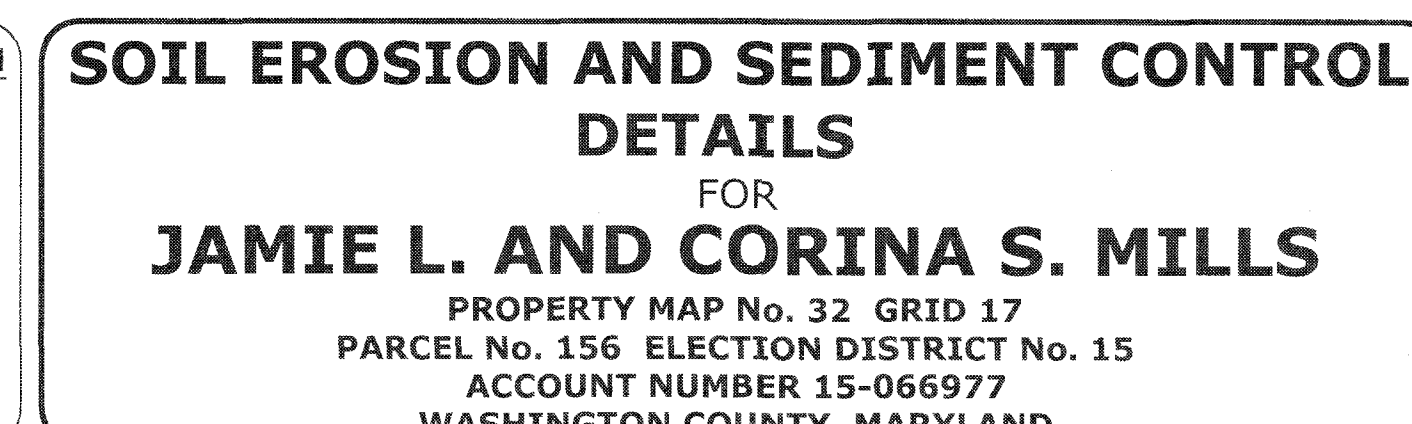
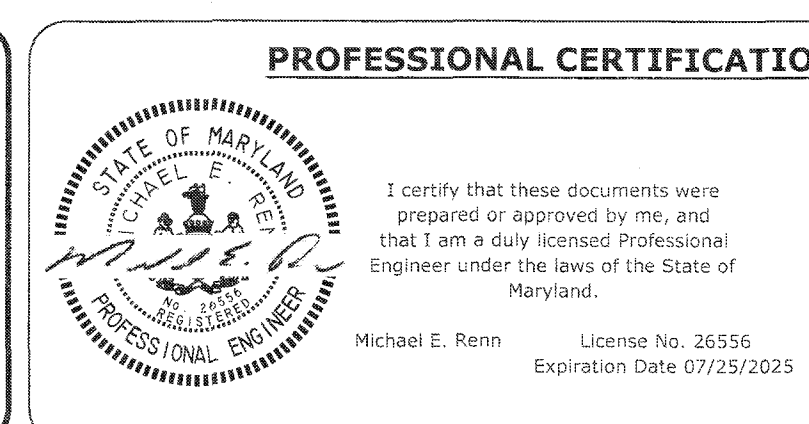
2011

MARYLAND DEPARTMENT OF ENVIRONMENT
WATER MANAGEMENT ADMINISTRATION



REVISIONS

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SP-23-046

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Sheet:	6 of 11

SOILS LIST

PaB - PECTONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR -.32

PaC - PECTONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -.32

PcC - PECTONVILLE COBBLY LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -.32

PcD - PECTONVILLE COBBLY LOAM, 15% TO 25% SLOPES, MODERATELY ERODED, K FACTOR -.37

PeB - PECTONVILLE-ROCK OUTCROP COMPLEX, 25% TO 45% SLOPES, MODERATELY ERODED, K FACTOR -.37

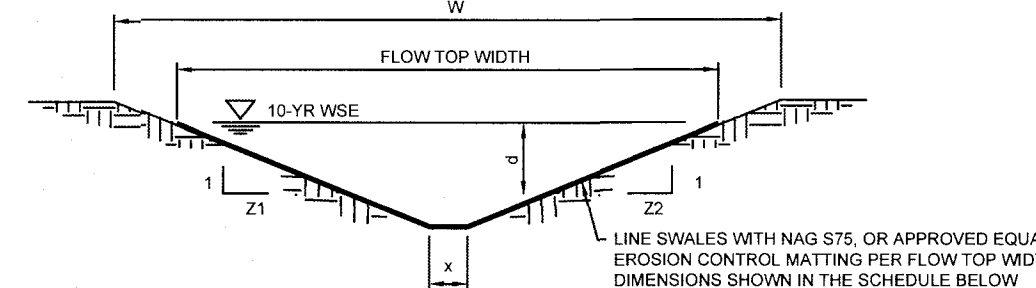
SpB - SWANPOND SILT LOAM, 3% TO 8% SLOPES, SEVERELY ERODED, K FACTOR -.37

NOTE: NO HYDRIC SOILS ARE PRESENT.

SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1960.

DISTURBED AREA QUANTITY

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 90,750 SQ.FT. AND THE TOTAL AMOUNT OF EXCAVATION AND BACKFILL AS SHOWN ON THESE PLANS HAVE BEEN COMPUTED TO BE APPROXIMATELY 5,302 CU. YDS. OF EXCAVATION AND 750 CU. YDS. OF FILL (INCLUDING TOPSOIL) (FOR S.C.S. USE ONLY).



CROSS SECTION

CHANNEL NAME	BOTTOM WIDTH(H)	FLOW TOP WIDTH	FLOW DEPTH(D)	SIDE SLOPE(Z1)	SIDE SLOPE(Z2)	SLOPE %	Q ₁₀ (CFS)	V ₁₀ (FPS)
CHANNEL-1	2'	6.98	0.83	3	3	1.0%	7.90	2.12

SWALE DETAIL
NOT TO SCALE

SENSITIVE AREA NOTICE

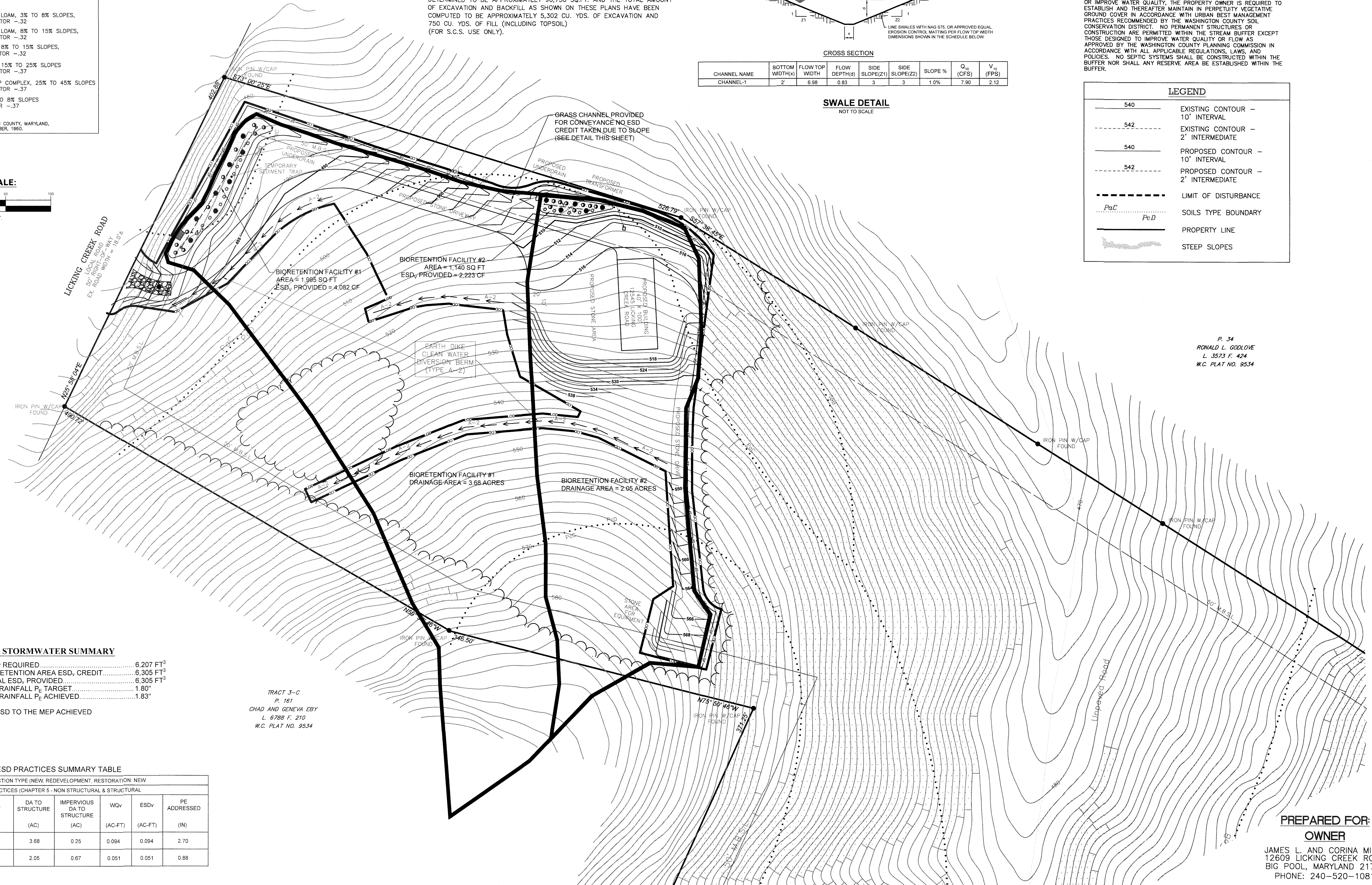
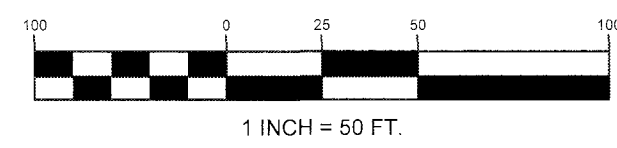
THE STREAM BUFFERS SHOWN HEREON ARE ESTABLISHED PURSUANT TO THE REQUIREMENTS OF THE WASHINGTON COUNTY SUBDIVISION ORDINANCE ARTICLE IV, SECTION 409, IN AN EFFORT TO PRESERVE OR IMPROVE WATER QUALITY. THE PROPERTY OWNER IS REQUIRED TO ESTABLISH AND THEREAFTER MAINTAIN IN PERPETUITY VEGETATIVE GROUND COVER IN ACCORDANCE WITH URBAN BEST MANAGEMENT PRACTICES RECOMMENDED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. NO PERMANENT STRUCTURES OR CONSTRUCTION ARE PERMITTED WITHIN THE STREAM BUFFER EXCEPT THOSE DESIGNED TO IMPROVE WATER QUALITY OR FLOW AS APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS, LAWS, AND POLICIES. NO SEPTIC SYSTEMS SHALL BE CONSTRUCTED WITHIN THE BUFFER NOR SHALL ANY RESERVE AREA BE ESTABLISHED WITHIN THE BUFFER.

LEGEND

540	EXISTING CONTOUR - 10' INTERVAL
542	EXISTING CONTOUR - 2' INTERMEDIATE
540	PROPOSED CONTOUR - 10' INTERVAL
542	PROPOSED CONTOUR - 2' INTERMEDIATE
---	LIMIT OF DISTURBANCE
PaC	SOILS TYPE BOUNDARY
PeD	SOILS TYPE BOUNDARY
---	PROPERTY LINE
---	STEEP SLOPES

P. 34
RONALD L. GOOLOVE
L. 3573 F. 424
W.C. PLAT NO. 9534

GRAPHIC SCALE:



ESD STORMWATER SUMMARY

ESDv REQUIRED	6,207 FT ³
BIORETENTION AREA ESD, CREDIT	6,305 FT ³
TOTAL ESD, PROVIDED	6,305 FT ³
ESD RAINFALL P _e TARGET	1.80"
ESD RAINFALL P _e ACHIEVED	1.83"

* ESD TO THE MEP ACHIEVED

TRACT 3-C
P. 161
CHAD AND GENEVIA EBY
L. 6788 F. 210
W.C. PLAT NO. 9534

ESD PRACTICES SUMMARY TABLE

CONSTRUCTION TYPE (NEW, REDEVELOPMENT, RESTORATION-NEW)						
ESD PRACTICES (CHAPTER 5 - NON STRUCTURAL & STRUCTURAL)						
TYPE	NO.	DA TO STRUCTURE (AC)	IMPERVIOUS DA TO STRUCTURE (AC)	WQv (AC-FT)	ESDv (AC-FT)	PE ADDRESSED (IN)
BIORETENTION	1	3.68	0.25	0.094	0.094	2.70
BIORETENTION	2	2.05	0.67	0.051	0.051	0.88

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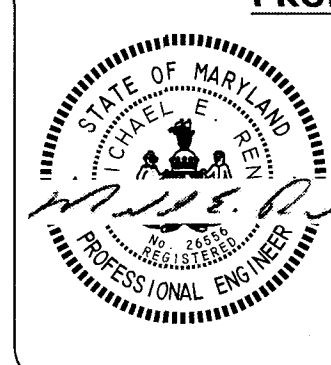


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PROFESSIONAL CERTIFICATION



I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.
Michael E. Renn License No. 26556
Expiration Date 07/25/2023

STORMWATER MANAGEMENT PLAN
FOR
JAMIE L. AND CORINA S. MILLS
PROPERTY MAP No. 32 GRID 17
PARCEL No. 156 ELECTION DISTRICT No. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

PREPARED FOR:
OWNER

JAMES L. AND CORINA MILLS
12609 LICKING CREEK ROAD
BIG POOL, MARYLAND 21711
PHONE: 240-520-1081

SP-23-046

Drawn:	M. RENN
Checked:	M. RENN
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APEX LAND SOLUTIONS, LLC
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Tel: (240) 455-5209
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SPECIFICATIONS

B.3.B Specifications for Bioretention

1. Material Specifications
2. The allowable materials to be used in bioretention area are detailed in Table B.3.2.
3. Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quack grass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.03.

The planting soil shall be tested and shall meet the following criteria:
 pH range 5.2 - 7.0
 organic matter 1.5 - 4% (by weight)
 magnesium 35 lb./ac
 phosphorus (phosphate - P2 O5) 75 lb./ac
 potassium (potash - K2 O) 85 lb./ac
 soluble salts not to exceed 500 ppm

All bioretention areas shall have a minimum of one test. Each test shall consist of both the standard soil test for pH, phosphorus, and potassium and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil, if topsoil is imported, then a texture analysis shall be performed for each location where the top soil was excavated.

Since different labs calibrate their testing equipment differently, all testing results shall come from the same testing facility.

Should the pH fall out of the acceptable range, it may be modified (higher) with lime or (lower) with iron sulfate plus sulfur.

3. Compaction

It is very important to minimize compaction of both the base of the bioretention area and the required backfill. When possible, use excavation hoses to remove original soil. If bioretention areas are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary filling operation such as a chisel plow, ripper, or subsoiler. These filling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the required sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for bioretention areas can be found in Appendix A, Section A.2.3.

5. Plant Installation

Mulch should be placed to a uniform thickness of 2" to 3". Shredded hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Root stock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, or at a minimum, impedes this goal. Only acid fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains are to be placed on a 3"-0" wide section of filter cloth. Pipe is placed next, followed by the gravel bedding. The ends of underdrain pipes not terminating in an observation well shall be capped.

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

The bioretention facility may not be constructed until all contributing drainage area has been stabilized.

General Landscape Notes:

1. Landscape contractor shall notify Miss Utility 48 hours prior to any digging or planting.
2. Landscape contractor shall install all plant material in a timely fashion.
3. Landscape contractor shall be responsible for all maintenance prior to final acceptance by Washington Co.
4. Plants shall be in accordance with the current issue of American Standards for Nursery Stock published by the American Association of Nurserymen.
5. Plant material shall be inspected yearly in order to remove and replace diseased or dead vegetation.
6. All plant material shall be warranted for two years. 60 days prior to the end of the warranty period, Washington Co. Engineering Dept. shall perform an inspection. A 90% survival rate is required with all surviving plant material in a healthy condition.

MAINTENANCE SCHEDULE

1. When the filtering capacity of the filter diminishes substantially (e.g., when water ponds on the surface bed for more than 72 hours), the top few inches of discolored material shall be removed and shall be replaced with fresh material. The removed sediments should be disposed in an acceptable manner (e.g., landfill). Silt/sediment should be removed from the filter bed when accumulation exceeds one inch.
2. Dead and diseased plant material shall be replaced. Areas devoid of mulch should be re-mulched on an annual basis.
3. Direct maintenance access shall be provided to the pretreatment area and the filter bed.
4. Areas devoid of mulch shall be re-mulched on an annual basis. Replace dead and diseased plants bi-annually (Spring & Fall).
5. All trash and debris shall be removed from the bioretention area as necessary.

BIO-RETENTION # '1'

NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

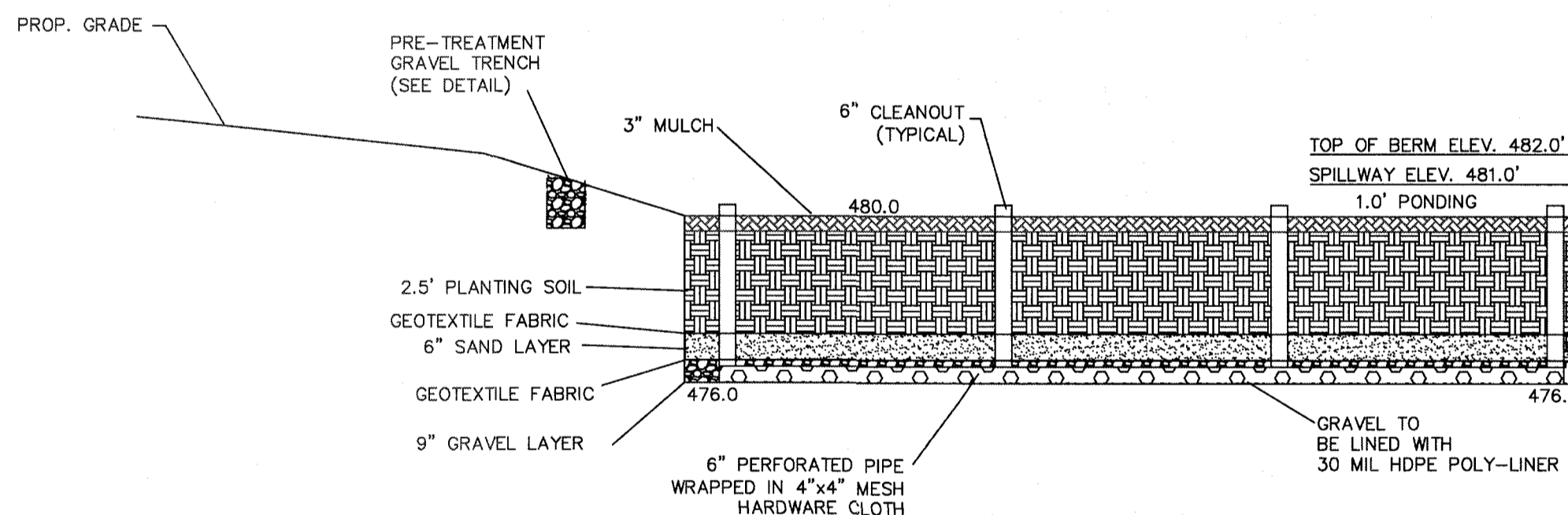
	CERTIFYING ENGINEER	DATE	COUNTY INSPECTOR	DATE
1. EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.				
2. PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.				
3. PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.				
4. PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.				
5. PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover.				
6. STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.				

BIO-RETENTION # '1'

BIORETENTION PLANTING SCHEDULE

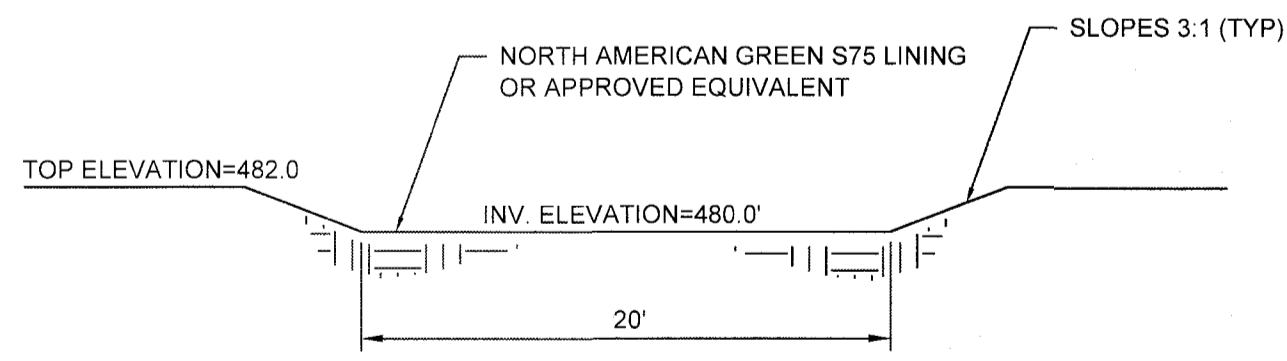
SYMBOL	TOTAL QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPACING
	8 (MIX OF ALL TREES)	VIBURNUM DENTATUM ILEX VERTICILLATA RHODODENDRON CANADENSE VIBURNUM LENTAGO	ARROW-WOOD VIBURNUM WINTERBERRY RHODODENDRON NANNYBERRY	18" HEIGHT	1 GALLON	AS SHOWN ON PLAN
	10 (CHOICE OF THREE)	ILEX GLABRA LINDERA BENZOIN CLETHRA ALNIFOLIA FOTHERGILLA GARDENII	INK-BERRY NORTHERN SPICEBUSH SWEET PEPPERBUSH DWARF WITCH-ALDER	36" HEIGHT	3 GALLON	AS SHOWN ON PLAN
	10	GRASSES (CHOOSE FROM LIST BELOW)		PLUGS	MINIMUM FIVE VARIETIES	24" ON CENTER

GRASSES
 SPREADING BENTGRASS
 BLUE-EYE-GRASS
 BOG BLUEGRASS
 BUSHY BLUESTEM
 MARSH FLATSEED
 ROUGH BARNYARD GRASS
 SWITCH GRASS
 VIRGINIA WILD RYE



BIO-RETENTION '1' PROFILE

NTS



BIORETENTION '1' SPILLWAY

NTS

BIO-RETENTION # '2'

NOTICE OF REQUIRED STORMWATER MANAGEMENT INSPECTIONS SAND FILTERS, BIORETENTION AND RAIN GARDEN FACILITIES

The following inspections are required to be performed by the Qualified Professional for the construction of any Sand Filter, Bioretention or Rain Garden Facility. Additional inspections may be needed based on professional engineering judgment. Each inspection is required at the start of each stage.

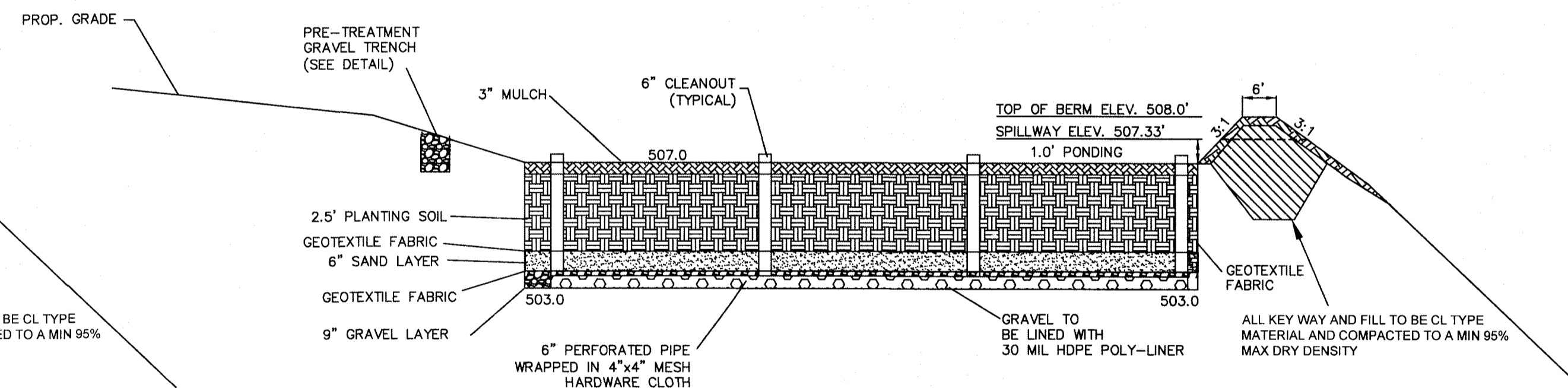
	CERTIFYING ENGINEER	DATE	COUNTY INSPECTOR	DATE
1. EXCAVATION OF FACILITY - Prior to excavation, verify sediment and erosion control features are in place to prevent sediment inflow. Verify all flagging required in the area for sensitive area protection. Verify grading is accurately staked-out and re-staked as needed. Facility dimensions shall be verified and soils checked for infiltration. Verify contributing area is permanently stabilized. Verify that water is not present. Ensure roughening of side walls if sheared and sealed by heavy equipment. Verify that compaction of facility base is minimized.				
2. PLACEMENT OF FILTER CLOTH (Trenches) - Ensure filter fabric is overlapping six (6) inches between strips of cloth. Ensure tree roots or other obstacles are removed from facility walls or sides and base to prevent tearing. Verify that uphill fabric roll overlaps two (2) feet over downhill roll.				
3. PLACEMENT OF SAND FILTER LAYER OR GRAVEL DIAPHRAGM - Verify depth and width of sand and/or diaphragm layer. Verify fill material.				
4. PLACEMENT OF FILTERING MEDIA - Verify bottom layer material and thickness. Verify sand and/or filter media layer material and thickness. Verify filter fabric or pea gravel used between sand layers. Verify top filter media layer.				
5. PLACEMENT OF UNDERDRAINS AND OBSERVATION WELLS - Location, size and material of under drain and observation wells shall be verified prior to stone placement. Verify pipe ends capped. Verify 3" gravel cover.				
6. STABILIZATION AND LANDSCAPING - Verify site top soiled, seeded and mulched. Verify embankment top soiled and seeded. Verify location, size, type and number of planted landscape material. Verify no more than 1/8 inch root ball exposed. Verify planting stock kept moist during on-site storage. Verify installation location, size, material type of fencing or other safety barriers.				

BIO-RETENTION # '2'

BIORETENTION PLANTING SCHEDULE

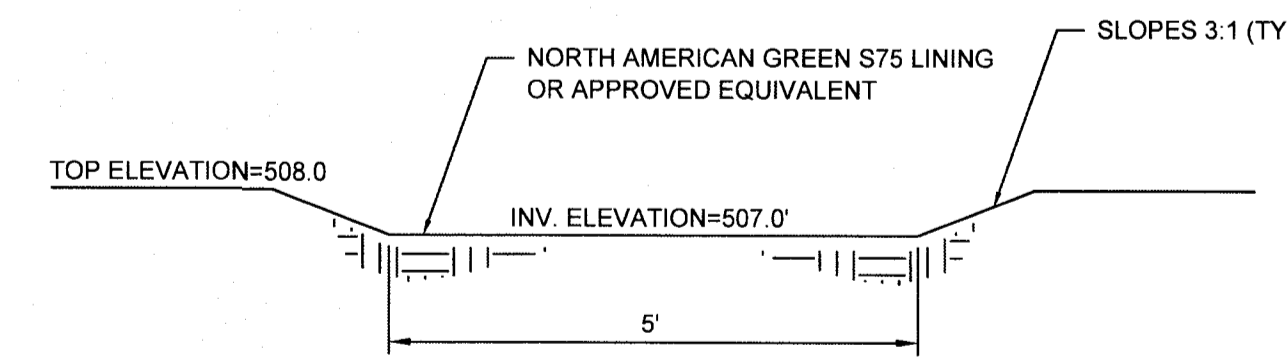
SYMBOL	TOTAL QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPACING
	5 (MIX OF ALL TREES)	VIBURNUM DENTATUM ILEX VERTICILLATA RHODODENDRON CANADENSE VIBURNUM LENTAGO	ARROW-WOOD VIBURNUM WINTERBERRY RHODODENDRON NANNYBERRY	18" HEIGHT	1 GALLON	AS SHOWN ON PLAN
	8 (CHOICE OF THREE)	ILEX GLABRA LINDERA BENZOIN CLETHRA ALNIFOLIA FOTHERGILLA GARDENII	INK-BERRY NORTHERN SPICEBUSH SWEET PEPPERBUSH DWARF WITCH-ALDER	36" HEIGHT	3 GALLON	AS SHOWN ON PLAN
	4	GRASSES (CHOOSE FROM LIST BELOW)		PLUGS	MINIMUM FIVE VARIETIES	24" ON CENTER

GRASSES
 SPREADING BENTGRASS
 BLUE-EYE-GRASS
 BOG BLUEGRASS
 BUSHY BLUESTEM
 MARSH FLATSEED
 ROUGH BARNYARD GRASS
 SWITCH GRASS
 VIRGINIA WILD RYE



BIO-RETENTION '2' PROFILE

NTS



BIORETENTION '2' SPILLWAY

NTS

MATERIAL SPECIFICATIONS FOR BIORETENTION

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
planting soil [2.5' to 4' deep]	sand 50 - 60% leaf compost 20 - 30% topsoil 20 - 30%	n/a	USDA soil types loamy sand, sandy loam or loam
mulch	shredded hardwood	n/a	aged 6 months, minimum
geotextile	Class "C" - apparent opening size (ASTM-D-4751), grab tensile strength (ASTM-D-4632), puncture resistance (ASTM-D-4833)	n/a	for use as necessary beneath underdrains only
underdrain gravel	AASHTO M-43	0.375" to 0.75"	
underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes

BIORETENTION POND NOTES:

1. LINE THE BOTTOM AND SIDES OF THE BIO-RETENTION AREA ARE TO BE LINED WITH 30 MIL HDPE POLY-LINER. INSTALL PER MANUFACTURER RECOMMENDATIONS.
2. THE SURFACE OF THE LINER SHALL NOT HAVE ANY STRIATIONS, ROUGHNESS, PINHOLES, OR BUBBLES.
3. COVER THE LINER WITH 8" OF TOPSOIL AS SOON AS POSSIBLE OR AS SHOWN IN DETAILS. COVER MATERIAL SHALL BE FREE OF FOREIGN MATERIAL AND ORGANIC MATERIAL. NO MACHINE SHALL OPERATE DIRECTLY ON THE LINER.

****IF ROCK IS DISCOVERED DURING EXCAVATION OF THE BIORETENTION AREAS THE CONTRACTOR IS TO UNDERBUT THE BIO-RETENTION AREA A MINIMUM OF 18 INCHES AND BACKFILL WITH CL TYPE SOIL.**

Apex Land Solutions, LLC
 223 N. Prospect Street, Ste 304
 Hagerstown, MD 21742
 Tel: (240) 455-5209
 Fax: (866) 914-0344
 info.apexlandsolutions@gmail.com

REVISIONS			
DESCRIPTION	BY	APPROVED	DATE
REVISED PER AGENCY COMMENTS	MER		01-18-2024
REVISED PER AGENCY COMMENTS	MER		05-21-2024
REVISED PER AGENCY COMMENTS	MER		08-20-2024
REVISED PER AGENCY COMMENTS	MER		09-12-2024

811
 Know what's below.
 Call before you dig.
 DIAL 811 or 800-248-1786

UTILITY NOTIFICATION

Apex Land Solutions, LLC cannot guarantee the existence or non-existence of any utilities at the construction site. Shown on these construction drawings are those utilities which have been identified by above ground indicators and available utility and as-built drawings. It is the responsibility of the owners or operators and contractors to assure themselves that no hazards exist or damage will occur to utilities. It is suggested that 811 be contacted at: Phone No. 1-800-248-1786

PROFESSIONAL CERTIFICATION

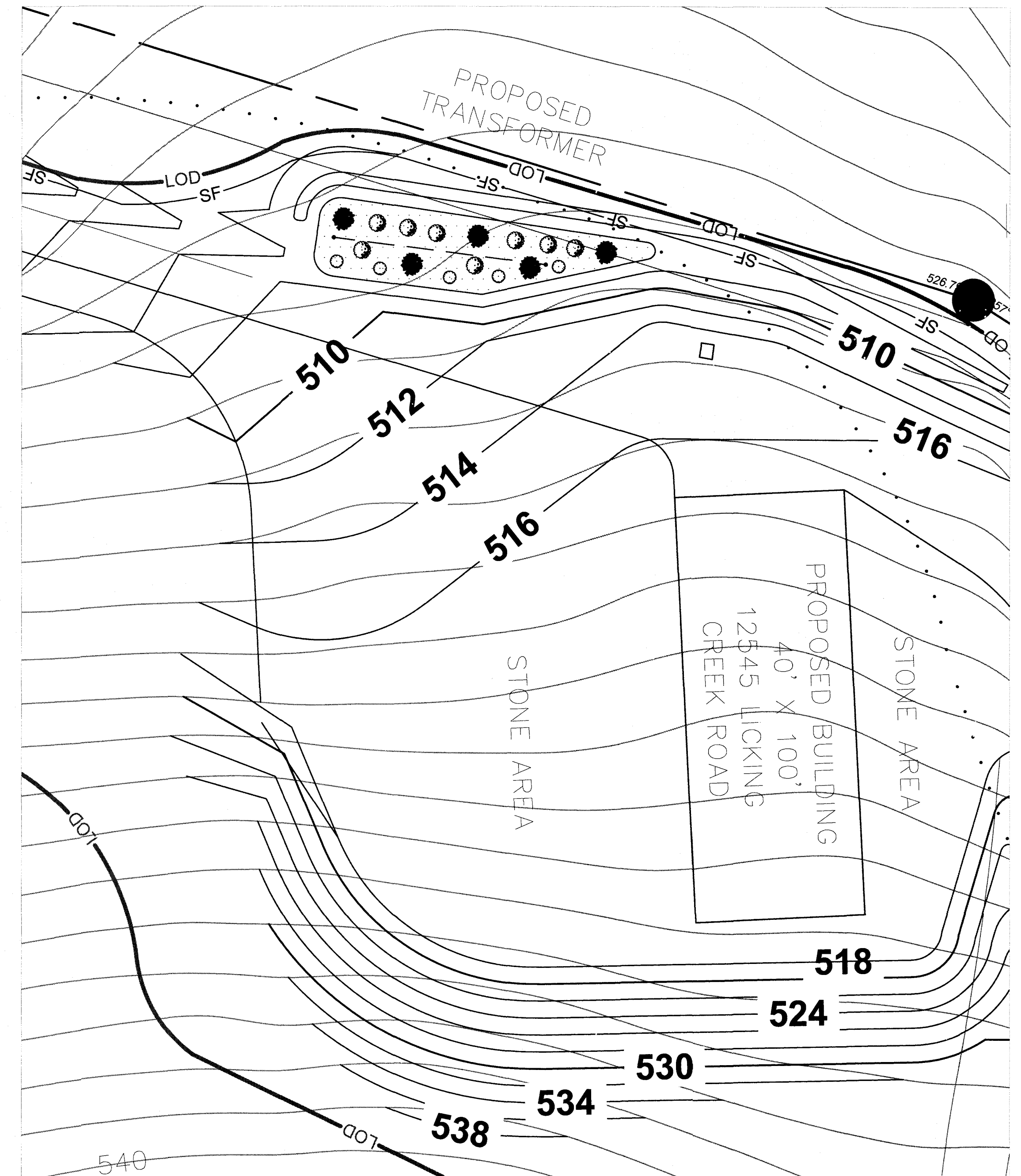
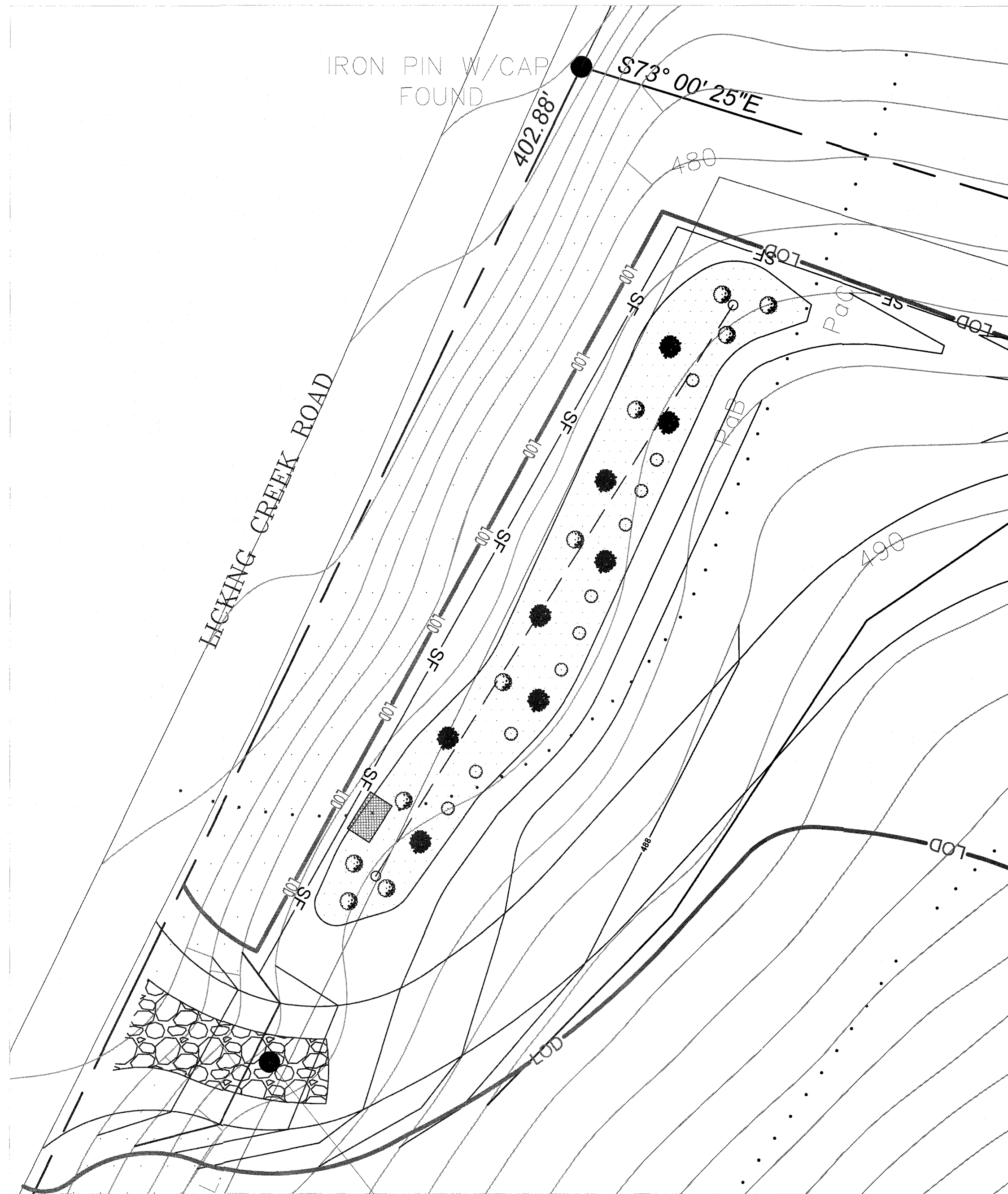
I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Michael E. Renn License No. 26556
 Expiration Date 07/25/2023

BIO-RETENTION DETAILS
 FOR
JAMIE L. AND CORINA S. MILLS
 PROPERTY MAP No. 32 GRID 17
 PARCEL No. 156 ELECTION DISTRICT No. 15
 ACCOUNT NUMBER 15-066977
 WASHINGTON COUNTY, MARYLAND

SP-23-046

Drawn: M. RENN
 Checked: M. RENN
 Date: December 1, 2023
 Project No.: 23-016
 Scale: No Scale
 Sheet: 9 of 11



BIO-RETENTION # '1'

BIORETENTION PLANTING SCHEDULE						
SYMBOL	TOTAL QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPACING
	8 (MIX OF ALL TREES)	VIBURNUM DENTATUM ILEX VERTICILLATA RHODODENDRON CANADENSE VIBURNUM LENTAGO	ARROW-WOOD WINTERBERRY RHODODENDRON NANNYBERRY	18" HEIGHT	1 GALLON	AS SHOWN ON PLAN
	10 (CHOICE OF THREE)	ILEX GLABRA LINDERA BENZOIN CLETHRA ALNIFOLIA FOTHERGILLA GARDENII	INK-BERRY NORTHERN SPICEBUSH SWEET PEPPERBUSH DWARF WITCH-ALDER	36" HEIGHT	3 GALLON	AS SHOWN ON PLAN
	10	GRASSES (CHOOSE FROM LIST BELOW)		PLUGS	MINIMUM FIVE VARIETIES	24" ON CENTER

GRASSES
SPREADING BENTGRASS
BLUE-EYE-GRASS
BOG BLUEGRASS
BUSHY BLUESTEM
MARSH FLATSEDGE
ROUGH BARNYARD GRASS
SWITCH GRASS
VIRGINIA WILD RYE

BIO-RETENTION # '2'

BIORETENTION PLANTING SCHEDULE						
SYMBOL	TOTAL QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPACING
	8 (MIX OF ALL TREES)	VIBURNUM DENTATUM ILEX VERTICILLATA RHODODENDRON CANADENSE VIBURNUM LENTAGO	ARROW-WOOD WINTERBERRY RHODODENDRON NANNYBERRY	18" HEIGHT	1 GALLON	AS SHOWN ON PLAN
	10 (CHOICE OF THREE)	ILEX GLABRA LINDERA BENZOIN CLETHRA ALNIFOLIA FOTHERGILLA GARDENII	INK-BERRY NORTHERN SPICEBUSH SWEET PEPPERBUSH DWARF WITCH-ALDER	36" HEIGHT	3 GALLON	AS SHOWN ON PLAN
	10	GRASSES (CHOOSE FROM LIST BELOW)		PLUGS	MINIMUM FIVE VARIETIES	24" ON CENTER

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BUSHY BLUESTEM
MARSH FLATSEDGE
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SWITCH GRASS
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PROFESSIONAL CERTIFICATION

I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Michael E. Renn License No. 26556
Expiration Date 07/25/2023

LANDSCAPING PLAN
FOR
JAMIE L. AND CORINA S. MILLS
PROPERTY MAP No. 32 GRID 17
PARCEL No. 156 ELECTION DISTRICT No. 15
ACCOUNT NUMBER 15-066977
WASHINGTON COUNTY, MARYLAND

SP-23-046

Drawn: M. RENN
Checked: M. RENN
Date: December 1, 2023
Project No.: 23-016
Scale: No Scale
Sheet: 10 of 11

SOILS LIST

PaB - PECTIONVILLE GRAVELLY SILT LOAM, 3% TO 8% SLOPES, MODERATELY ERODED, K FACTOR -32

PaC - PECTIONVILLE GRAVELLY SILT LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -32

PcC - PECTIONVILLE COBBLY LOAM, 8% TO 15% SLOPES, MODERATELY ERODED, K FACTOR -32

PcD - PECTIONVILLE COBBLY LOAM, 15% TO 25% SLOPES MODERATELY ERODED, K FACTOR -37

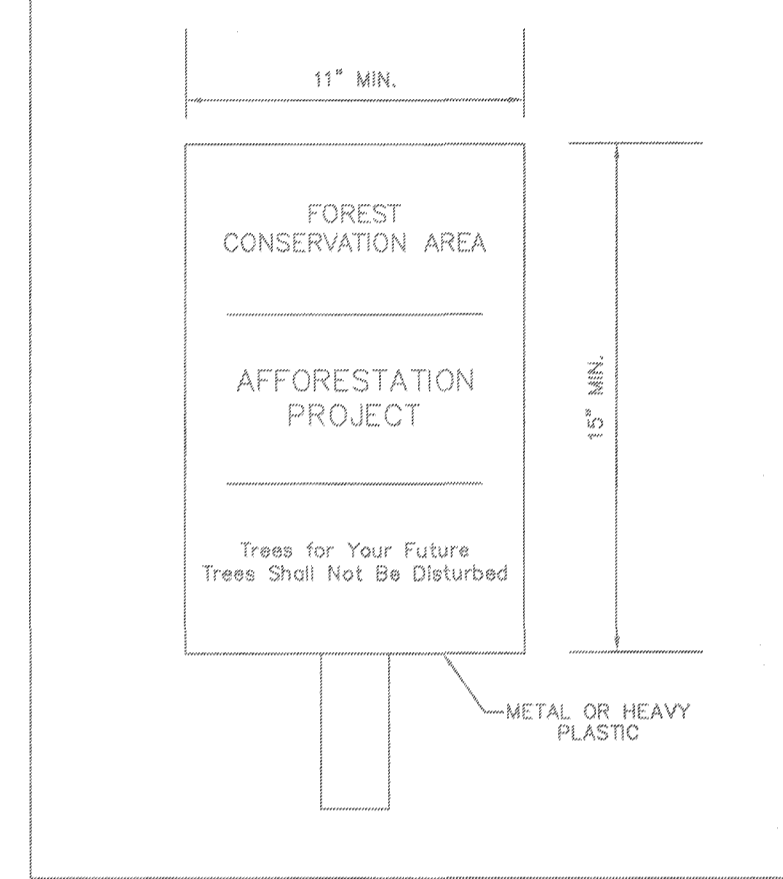
PeE - PECTIONVILLE-ROCK OUTCROP COMPLEX, 25% TO 45% SLOPES MODERATELY ERODED, K FACTOR -37

SpB - SWAMPOND SILT LOAM, 3% TO 8% SLOPES SEVERELY ERODED, K FACTOR -37

NOTE: NO HYDRIC SOILS ARE PRESENT.

SOURCE: SOIL SURVEY OF WASHINGTON COUNTY, MARYLAND, MAP NO. 51, ISSUED SEPTEMBER, 1960.

Fig. 3.6.9 Afforestation Area Protection Signage For Long-Term Conservation Area Protection



NOTES:
 1. SIGNS SHALL REMAIN INDEFINITELY.
 2. SIGNS SHALL BE LOCATED AS SHOWN ON SHEET 33 OR A MAXIMUM OF 50' O.C.

PREPARER'S CERTIFICATE

I CERTIFY THAT I AM QUALIFIED TO PREPARE THIS FOREST CONSERVATION PLAN PURSUANT TO COMAR, 08.15.06.01 AND THAT TO THE BEST OF MY INFORMATION, KNOWLEDGE, AND BELIEF, THIS FOREST CONSERVATION PLAN REPRESENTS A REASONABLE CHARACTERIZATION OF FOREST RESOURCES ON THE SUBJECT PROPERTY OF JAMIE MILLS.

Michael E. Renn
 MICHAEL E. RENN
 FOREST CONSERVATION QUALIFIED PROFESSIONAL

Forest Conservation Worksheet - Version 2.2
 Davis, Renn & Associates, Inc.

Note: Use 0 for all negative numbers that result from the calculations.

A. Total Tract Area	A = 2.08
B. Deductions (Critical Area, area restricted by local ordinance or program)	B = 0.00
C. Net Tract Area = Total Tract Area (A) - Deductions (B)	C = 2.08
Land Use Category: AGRICULTURAL AND RESOURCE	D = 0.42
Q. Afforestation Threshold (Net Tract Area (C) x 20%)	Q = 0.42
E. Conservation Threshold (Net Tract Area (C) x 90%)	E = 1.84
Existing Forest Cover	F = 0.00
F. Existing Forest Cover within the Net Tract Area	F = 0.00
G. Area of Forest Above Conservation Threshold	G = 0.00
H. Breakaway Point (Amount of forest that must be retained so that no mitigation is required)	H = 0.00
I. Forest Clearing Permitted Without Mitigation	I = 0.00
J. Total Area of Forest to be Cleared	J = 0.00
K. Total Area of Forest to be Retained	K = 0.00
L. Reafforestation for Clearing Above the Conservation Threshold	L = 0.00
M. Reafforestation for Clearing Below the Conservation Threshold	M = 0.00
N. Credit for Retention Above the Conservation Threshold	N = 0.00
O. Total Reafforestation Required	O = 0.00
P. Total Afforestation Required	P = 0.00
Q. Afforestation Threshold (D) - Existing Forest Cover (F)	Q = 0.42
R. Total Planting Requirement	R = 0.42

TRACT J-C
 P. 161
 CHAD AND GENEVA EBY
 L. 6788 F. 210
 W.C. PLAT NO. 9534

LOT 1
 P. 161
 ROBERT H. LAWSON
 L. 601 F. 419
 W.C. PLAT NO. 7833

TRACT 9
 P. 106
 CWENDOLYN J. VNIHG
 KRISTOPHER L. REEVES
 L. 3817 F. 039

LOT 10-A
 P. 106
 CORY AND MEGAN SHIVES ET AL
 L. 7128 F. 457
 W.C. PLAT NO. 1050

LOT 10-B
 P. 106
 JAMES GLENNON WILHELM
 TERESA LIN CROWL
 L. 6426 F. 196
 W.C. PLAT NO. 1050

NOTE
 ALL SPECIMEN TREES TO REMAIN. A VARIANCE MUST BE APPROVED BY THE WASHINGTON COUNTY PLANNING COMMISSION PRIOR TO THE REMOVAL OF ANY SPECIMEN TREES FROM THIS PROPERTY.

OVERVIEW
 THE TOTAL TRACT AREA IS 2.08 ACRES. THE NET TRACT AREA IS THE SAME. THE AFFORESTATION REQUIREMENT IS 0.42 ACRES. ENTIRE AREA OF EXISTING FOREST WILL BE RETAINED.

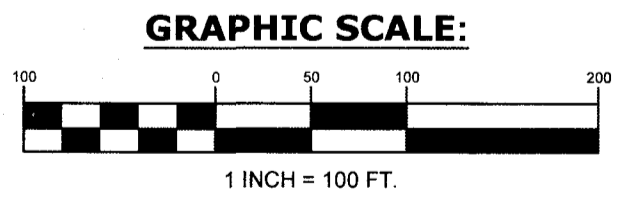
SUMMARY OF VEGETATION MAPPING UNITS

TOTAL SITE ACREAGE	37.90 AC.±
EXISTING FOREST	35.00 AC.±
MEADOW	2.90 AC.±
FOREST TO BE CLEARED	0.00 AC.±
AFFORESTATION AREA REQUIRED	0.42 AC.±
FOREST AREA PLANTED	0.00 AC.±

Certificate of Approval
FINAL APPROVAL GRANTED

DATE: _____

BY: _____
 Washington County Planning Commission
 Final Approval good for one hundred eighty (180) days from above date



PREPARED FOR:
OWNER
 JAMES L. AND CORINA S. MILLS
 12609 LICKING CREEK ROAD
 BIG POOL, MARYLAND 21711
 PHONE: 240-520-1081

SP-23-046

APEX LAND SOLUTIONS, LLC

Apex Land Solutions, LLC
 223 N. Prospect Street, Ste 304
 Hagerstown, MD 21742

Tel: (240) 455-5209
 Fax: (866) 914-0344
 info.apexlandsolutions@gmail.com

REVISIONS

DESCRIPTION	BY	APPROVED	DATE
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REVISED PER AGENCY COMMENTS	MER		08-20-2024
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UTILITY NOTIFICATION

811

Know what's below.
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 DIAL 811 or 800-248-1786

PROFESSIONAL CERTIFICATION

STATE OF MARYLAND
 PROFESSIONAL ENGINEER

I certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.

Michael E. Renn
 License No. 26556
 Expiration Date 07/25/2023

PRELIMINARY/FINAL FOREST CONSERVATION PLAN

FOR
JAMES L. AND CORINA S. MILLS

PROPERTY MAP No. 32 GRID 17
 PARCEL No. 156 ELECTION DISTRICT No. 15
 ACCOUNT NUMBER 15-066977
 WASHINGTON COUNTY, MARYLAND

Drawn: M. RENN

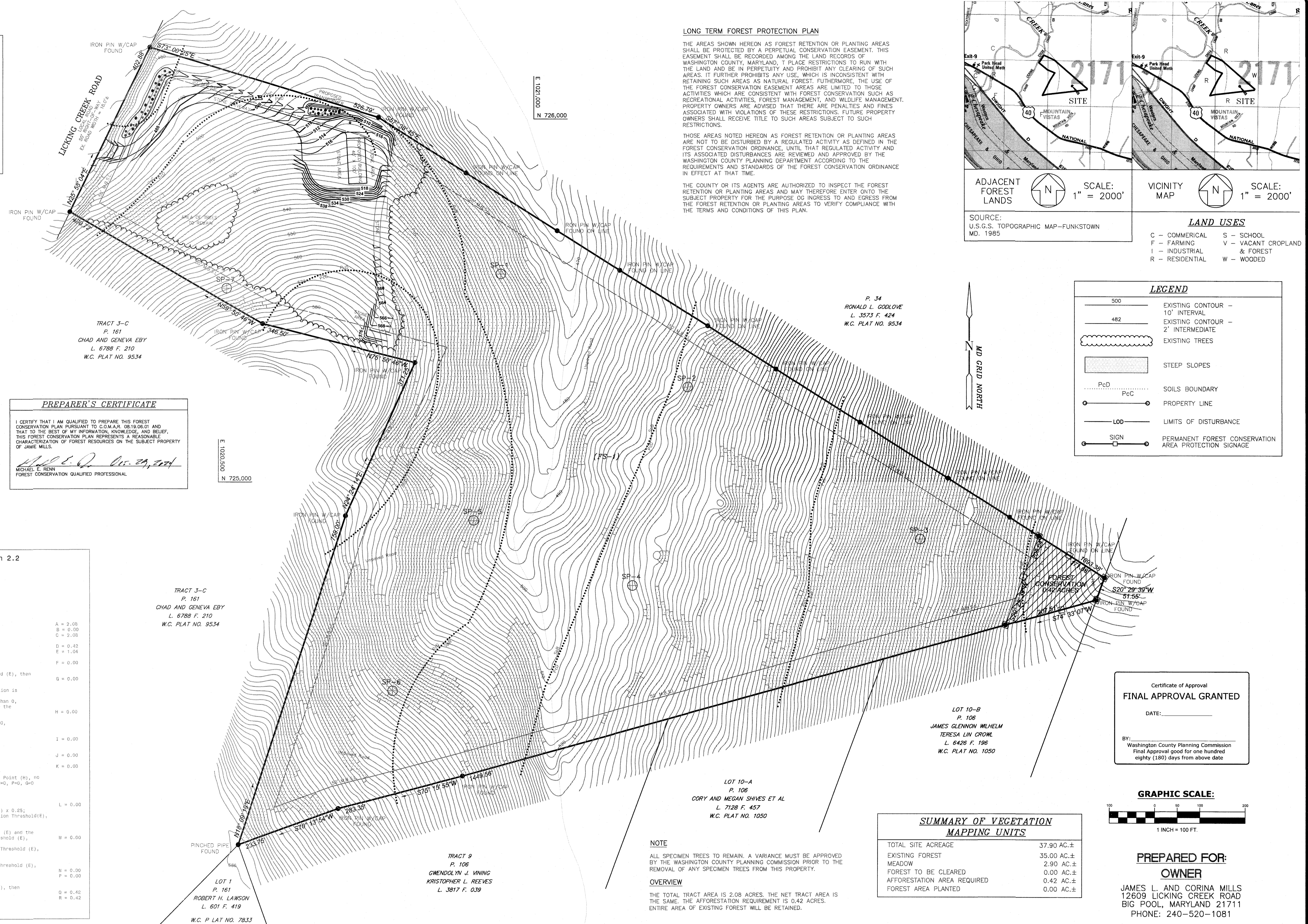
Checked: M. RENN

Date: December 1, 2023

Project No.: 23-016

Scale: 1 inch = 100 feet

Sheet: **11 of 11**



LONG TERM FOREST PROTECTION PLAN

THE AREAS SHOWN HEREON AS FOREST RETENTION OR PLANTING AREAS SHALL BE PROTECTED BY A PERPETUAL CONSERVATION EASEMENT. THIS EASEMENT SHALL BE RECORDED AMONG THE LAND RECORDS OF WASHINGTON COUNTY, MARYLAND, TO PLACE RESTRICTIONS TO RUN WITH THE LAND AND BE IN PERPETUITY AND PROHIBIT ANY CLEARING OF SUCH AREAS. IT FURTHER PROHIBITS ANY USE, WHICH IS INCONSISTENT WITH RETAINING SUCH AREAS AS NATURAL FOREST. FURTHERMORE, THE USE OF THE FOREST CONSERVATION EASEMENT AREAS ARE LIMITED TO THOSE ACTIVITIES WHICH ARE CONSISTENT WITH FOREST CONSERVATION SUCH AS RECREATIONAL ACTIVITIES, FOREST MANAGEMENT, AND WILDLIFE MANAGEMENT. PROPERTY OWNERS ARE ADVISED THAT THERE ARE PENALTIES AND FINES ASSOCIATED WITH VIOLATIONS OF THESE RESTRICTIONS. FUTURE PROPERTY OWNERS SHALL RECEIVE TITLE TO SUCH AREAS SUBJECT TO SUCH RESTRICTIONS.

THOSE AREAS NOTED HEREON AS FOREST RETENTION OR PLANTING AREAS ARE NOT TO BE DISTURBED BY A REGULATED ACTIVITY AS DEFINED IN THE FOREST CONSERVATION ORDINANCE, UNTIL THAT REGULATED ACTIVITY AND ITS ASSOCIATED DISTURBANCES ARE REVIEWED AND APPROVED BY THE WASHINGTON COUNTY PLANNING DEPARTMENT ACCORDING TO THE REQUIREMENTS AND STANDARDS OF THE FOREST CONSERVATION ORDINANCE IN EFFECT AT THAT TIME.

THE COUNTY OR ITS AGENTS ARE AUTHORIZED TO INSPECT THE FOREST RETENTION OR PLANTING AREAS AND MAY THEREFORE ENTER ONTO THE SUBJECT PROPERTY FOR THE PURPOSE OF INSPECTING TO AND EGRESS FROM THE FOREST RETENTION OR PLANTING AREAS TO VERIFY COMPLIANCE WITH THE TERMS AND CONDITIONS OF THIS PLAN.

ADJACENT FOREST LANDS

SCALE:
 1" = 2000'

VICINITY MAP

SCALE:
 1" = 2000'

SOURCE: U.S.G.S. TOPOGRAPHIC MAP-FUNKSTOWN MD. 1985

LAND USES

C - COMMERCIAL S - SCHOOL
 F - FARMING V - VACANT CROPLAND
 I - INDUSTRIAL & FOREST
 R - RESIDENTIAL W - WOODED



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Boonsboro Reservoir and Water Main Replacement
NUMBER.....: SP-24-011

OWNER.....: BOONSBORO MAYOR COUNCIL
LOCATION.....: 20854 BOONSBORO MOUNTAIN Road
 BOONSBORO, MD 21713

DESCRIPTION.....: Replacement of the existing Boonsboro reservoir and associated water main which carries water to the town's water distribution system.

ZONING.....: Residential, Transition
COMP PLAN LU.....: Community Facilities
PARCEL.....: 06023320
PLANNING SECTOR.....: 2
ELECTION DISTRICT.....: 06

TYPE.....: Unspecified Non-Residential
GROSS ACRES.....: 3.56
DWELLING UNITS.....:
TOTAL LOTS.....: 1
DENSITY.....: 0 Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....:
RECEIVED.....: March 13, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: Yes
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

[Faint, illegible handwritten notes and signatures]



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements	Landscaping Meets Requirements
Lighting Plan Meets Requirements	Yes	Yes
Yes	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		
Parking Spaces - Total Planned	Parking Spaces - Per Dwelling Unit	Not Fast Track
Parking Spaces - Minimum Required	Recreational Parking Provided	

<i>SCHOOL INFORMATION</i>			
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Boonsboro School for Global Awareness & World Languages	Boonsboro	Boonsboro
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	Boonsboro
AMBULANCE DISTRICT.....:	Boonsboro

<i>WATER & SEWER INFORMATION</i>		
	WATER	SEWER
METHOD.....:	Town	Town
SERVICE AREA.....:	Town	Town
PRIORITY.....:	5-Long Term Planned Service	5-Long Term Planned Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Boonsboro

WASHINGTON COUNTY SURVEY CONTROL
 DESIGNATION: BOON1
 CAD NUMBER: 3121
 STATE/COUNTY: MD/WASHINGTON
 U.S.G.S. QUAD: FUNKSTOWN
 MONUMENT TYPE: 3 1/2" BRONZE DISK
 SET BY: WASHINGTON COUNTY ENGINEERING DEPT.
 DATE ESTABLISHED: JUNE 2004
 LAST REVISION: JULY 13, 2010
 STAMPING: "BOON1"

HORIZONTAL DATA
 HORIZONTAL DATUM: MD GRID, NAD 83
 HORIZONTAL ORDER: 3RD
 NORTHING: 674,306.3660
 EASTING: 1,128,866.9808
 LATITUDE: 39° 30' 58.848048" (N)
 LONGITUDE: 77° 38' 01.000721" (W)
 ELLIP. HEIGHT: 486.0865
 CONVERGENCE ANGLE: -00° 24' 29.29"
 SCALE FACTOR: 1.00001228
 SOURCE: GEODETIC CONSULTING SERVICES

VERTICAL DATA
 VERTICAL DATUM: NAVD 88
 VERTICAL ORDER: 3RD
 ELEVATION: 596.316'
 DERIVED BY: DIGITAL LEVEL
 SOURCE: W.C.E.D.

DESCRIPTION
 IN BOONSBORO, MD, MONUMENT IS A STANDARD WOOD 3 1/2" BRONZE DISK SET IN AN 8" ROUND CONCRETE PAD ON THE CAMPUS OF BOONSBORO SCHOOLS. DISC IS LOCATED OPPOSITE FROM THE SHOP BUILDING, 54.5 FEET NORTHERLY FROM THE CENTERLINE OF CAMPUS AVENUE (NORTH), APPROXIMATELY 0.2 MILE FROM ITS INTERSECTION WITH MARYLAND ROUTE 66 (MAPLEVILLE ROAD). DISC IS 23.0 FEET NORTHERLY FROM THE STOP SIGN FOR THE INTERSECTION WITH THE SOCCER FIELDS ACCESS ROAD, 82.0 FEET NORTHERLY FROM THE WESTERLY CORNER OF THE TENNIS COURT FENCE AND 16.7 FEET WESTERLY FROM A MACADAM WALKWAY.

TOWN OF BOONSBORO

WASHINGTON COUNTY, MARYLAND

12-INCH WATER MAIN AND REPLACEMENT POTABLE WATER RESERVOIR

LOCATED AT 20854 BOONSBORO MOUNTAIN ROAD

CONTRACT NO. R-1

WASHINGTON COUNTY SURVEY CONTROL
 DESIGNATION: BOON2
 CAD NUMBER: 3122
 STATE/COUNTY: MD/WASHINGTON
 U.S.G.S. QUAD: FUNKSTOWN
 MONUMENT TYPE: 3 1/2" BRONZE DISK
 SET BY: WASHINGTON COUNTY ENGINEERING DEPT.
 DATE ESTABLISHED: JUNE 2004
 LAST REVISION: OCTOBER 23, 2009
 STAMPING: "BOON2"

HORIZONTAL DATA
 HORIZONTAL DATUM: MD GRID, NAD 83
 HORIZONTAL ORDER: 3RD
 NORTHING: 674,897.4528
 EASTING: 1,129,462.3937
 LATITUDE: 39° 31' 02.754717" (N)
 LONGITUDE: 77° 38' 53.477192" (W)
 ELLIP. HEIGHT: 500.679
 CONVERGENCE ANGLE: -00° 24' 24.57"
 SCALE FACTOR: 1.00001249
 SOURCE: GEODETIC CONSULTING SERVICES

VERTICAL DATA
 VERTICAL DATUM: NAVD 88
 VERTICAL ORDER: 3RD
 ELEVATION: 618.30'
 DERIVED BY: GPS
 SOURCE: GEODETIC CONSULTING SERVICES

DESCRIPTION
 IN BOONSBORO, MD, MONUMENT IS A STANDARD WOOD 3 1/2" BRONZE DISK SET IN THE TOP OF A ROCK OUTCROP ON THE BOONSBORO SCHOOLS CAMPUS. LOCATED NEAR THE NORTHERMOST PRACTICE FIELD, DISC IS LOCATED NEAR THE END OF THE ACCESS ROAD APPROXIMATELY 0.15 MILE FROM ITS INTERSECTION WITH CAMPUS AVENUE. DISC IS 85.0 FEET SOUTHERLY FROM THE NORTHEAST CORNER OF A FOOT BRIDGE AND 114.0 FEET SOUTHERLY FROM THE SOUTHEASTERLY FOOTBALL GOAL POST.

LIST OF DRAWINGS

DRAWING NO.	SHEET NO.	DESCRIPTION
GENERAL		
1	G-1	TITLE SHEET, MAP KEY, LEGEND AND GENERAL NOTES
2	G-2	LEGEND, ABBREVIATIONS AND SITE ACCESS
CIVIL		
3	C-1	EXISTING SITE AND DEMOLITION PLAN
4	C-2	SITE PLAN
5	C-3	RESERVOIR SITE WATER LINE PROFILE AND LANDSCAPE NOTES AND DETAILS
6	C-4	WATER MAIN PLAN AND PROFILE - BOONSBORO MOUNTAIN ROAD
7	C-5	WATER MAIN PLAN AND PROFILE - BOONSBORO MOUNTAIN ROAD
8	C-6	WATER MAIN PLAN AND PROFILE - BOONSBORO MOUNTAIN ROAD
9	C-7	FENCE AND GATE DETAILS
10	C-8	EROSION AND SEDIMENT CONTROL SITE PLAN
11	C-9	EROSION AND SEDIMENT CONTROL NOTES
12	C-10	EROSION AND SEDIMENT CONTROL DETAILS
13	C-11	EXISTING CONDITIONS MAP STORMWATER MANAGEMENT CONCEPT PLAN
14	C-12	ESD DRAINAGE AREA MAP STORMWATER MANAGEMENT CONCEPT PLAN
15	C-13	OVERALL DRAINAGE AREA MAP
16	C-14	SWM NOTES AND DETAILS
17	C-15	MAINTENANCE OF TRAFFIC NOTES AND DETAILS
ARCHITECTURAL		
18	A-1	ARCHITECTURAL ABBREVIATIONS AND LEGEND
19	A-2	ARCHITECTURAL DETAILS AND SCHEDULES
STRUCTURAL		
20	S-1	GENERAL STRUCTURAL NOTES
21	S-2	TYPICAL STRUCTURAL DETAILS
MECHANICAL		
22	M-1	MECHANICAL NOTES, LEGEND, ABBREVIATIONS, AND SCHEMATIC
23	M-2	POTABLE WATER RESERVOIR PLANS
24	M-3	CONTROL HOUSE PLAN AND SECTION
25	M-4	DETAILS
26	M-5	SCHEDULES AND DETAILS
ELECTRICAL		
27	E-1	LEGEND, ABBREVIATIONS AND GENERAL NOTES
28	E-2	ELECTRIC SITE PLAN
29	E-3	POTABLE WATER RESERVOIR PLAN
30	E-4	CONTROL HOUSE POWER & LIGHTING PLAN
31	E-5	ELECTRICAL PANEL AND LIGHTING FIXTURE SCHEDULES
INSTRUMENTATION		
32	I-1	I&C NOTES, LEGENDS AND ABBREVIATIONS
33	I-2	INSTRUMENTATION TANK PLAN
34	I-3	PLC, RTU-1 CONTROL DIAGRAM & PANEL ELEVATION
35	I-4	VENTILATION CONTROL DIAGRAM & PANEL ELEVATION
36	I-5	INSTRUMENTATION DETAILS

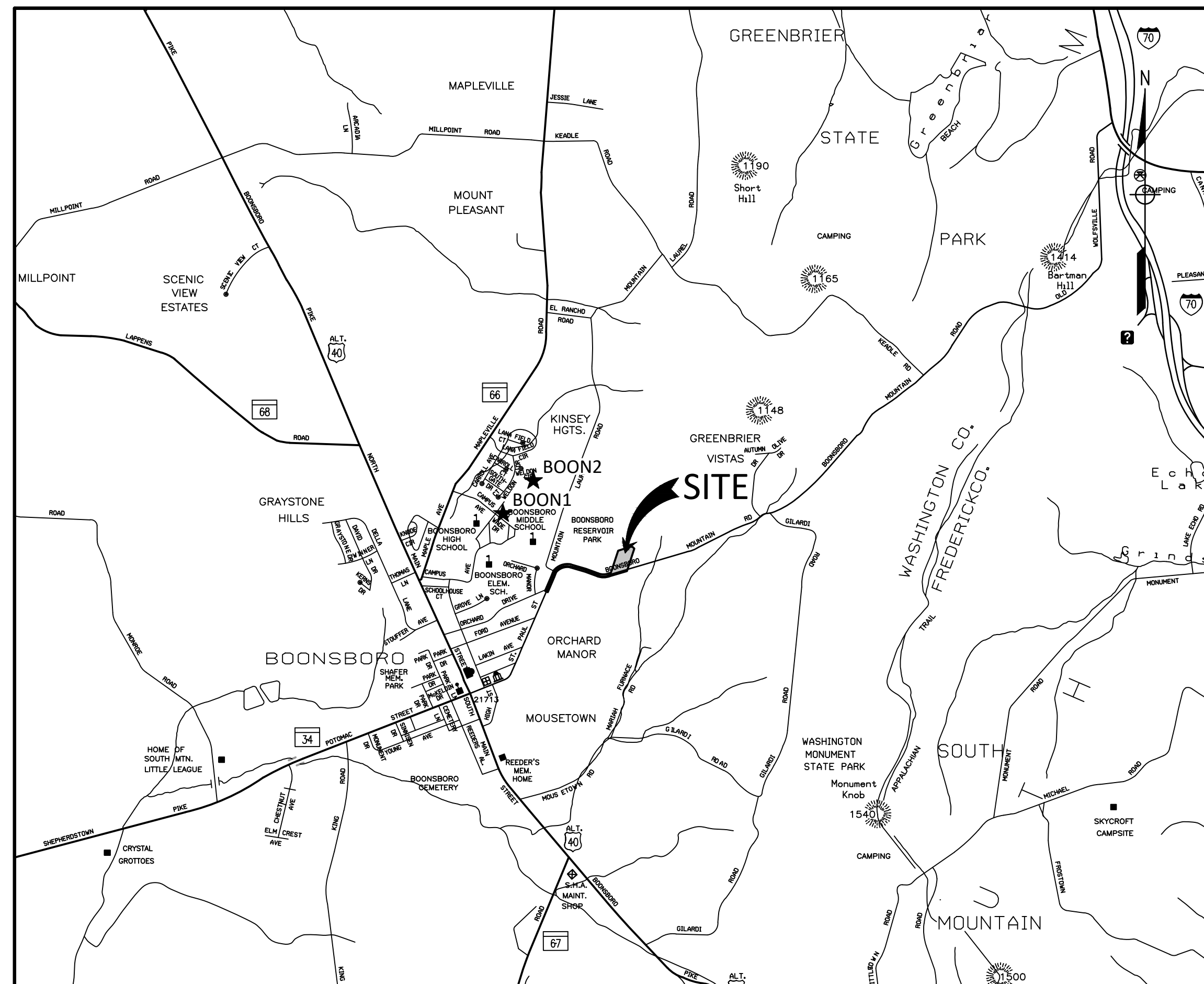
GENERAL NOTES

- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WASHINGTON COUNTY/TOWN OF BOONSBORO GENERAL CONDITIONS AND STANDARD SPECIFICATIONS AND DETAILS FOR WATER MAINS, SANITARY SEWER AND RELATED STRUCTURES.
- THE CONTRACTOR SHALL NOT OPERATE VALVES ON EXISTING TOWN OWNED WATER MAINS.
- THE CONTRACTOR SHALL NOT TAP OR PENETRATE EXISTING WATER AND/OR SEWER MAINS WITHOUT APPROVAL FROM THE TOWN OF BOONSBORO.
- EXISTING UTILITIES ARE SHOWN FROM BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL TEST PIT IN THE AREA OF KNOWN UTILITIES TO VERIFY SIZE, ELEVATION, LOCATION AND TYPE PRIOR TO PERFORMING ANY WORK. ANY UTILITY, WHETHER SHOWN OR NOT, THAT IS DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS, THE OWNER IS TO BE NOTIFIED IMMEDIATELY. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT THE AUTHORIZATION OF THE OWNER, THEN THE CONTRACTOR ASSUMES THE RESPONSIBILITY FOR SAID CORRECTIONS OR ADJUSTMENTS.
- ANY NECESSARY ADJUSTMENTS TO EXISTING MANHOLES, VALVE BOXES, ETC., ARE TO BE DONE SO BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING FENCE, DRIVEWAYS, SIGNS, DRAINAGE PIPES, MAILBOXES, SHRUBS, TREES, ETC. DAMAGED OR REMOVED DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE RETURNED TO THEIR ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-257-7777) 72 HOURS PRIOR TO START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING SILT AND DEBRIS OUT OF THE STORM DRAINAGE SYSTEM FOR THE DURATION OF THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTY OWNERS AT ALL TIMES. THE CONTRACTOR, WITH OWNER APPROVAL, WILL COORDINATE WITH PROPERTY OWNERS IF ACCESS MUST BE INTERRUPTED FOR SHORT TIME PERIODS.
- THE FACILITY MUST BE DISINFECTED IN ACCORDANCE WITH THE LATEST VERSION OF AWWA C653.

COMAR NOTES

IN ACCORDANCE WITH CODE OF MARYLAND REGULATIONS (COMAR) 26.04.01.33, DIRECT AND INDIRECT ADDITIVES, SUPPLIERS OF WATER SHALL ONLY USE PRODUCTS (ANY MATERIALS THAT COME IN CONTACT WITH WATER INTENDED FOR USE IN PUBLIC WATER SUPPLY) THAT MEET THE APPLICABLE AMERICAN NATIONAL STANDARDS INSTITUTE/NSF INTERNATIONAL (ANSI / NSF) STANDARDS FOR DIRECT OR INDIRECT DRINKING WATER ADDITIVES. THE PRODUCTS CAN ALSO BE CERTIFIED BY AN ORGANIZATION HAVING A THIRD-PARTY CERTIFICATION PROGRAM ACCREDITED BY THE ANSI (E.G., UNDERWRITERS LABORATORY, NORTHBROOK IL; WATER QUALITY ASSOCIATION, LISLE IL; AND INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS RESEARCH AND TESTING, ONTARIO, CA; AND CSA INTERNATIONAL, TORONTO, ONT.).

IN ACCORDANCE WITH CODE OF MARYLAND REGULATIONS (COMAR) 09.20.01.03 AND THE SAFE DRINKING WATER ACT (SECTION 1417(A)(4)(B)), MATERIALS THAT COME IN CONTACT WITH WATER INTENDED FOR USE IN PUBLIC WATER SUPPLY SHALL COMPLY WITH THE REDUCTION OF LEAD IN DRINKING WATER ACT, WHICH WENT INTO EFFECT IN MARYLAND IN JANUARY 2012.



LOCATION MAP
SCALE: 1" = 2000'

SCALE: 1" = 2000'

Construction Type: New

ESD Practices (Chapter 5 - Non-Structural & Structural)

Type	No.	DA to Structure (AC)	Impervious DA to Structure (AC)	WQv (AC-FT)	ESDv (AC-FT)	PE Addressed (IN)
Disconnection of Non-Rooftop Runoff	1	2.15	0.19	1,017	1,017	1.0
Infiltration Berms	2	0.82	0.25	951	1,438	1.5

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19941, EXPIRATION DATE: 02/07/2025.

ENGINEER AS-BUILT STORM WATER MANAGEMENT CERTIFICATION

I VERIFY AND AFFIRM THAT THE CONSTRUCTION FOR THE STORM WATER MANAGEMENT FACILITIES AS PERFORMED EITHER MEETS OR EXCEEDS THE REQUIREMENTS AND DESIGN INTENT OF THIS PLAN, INCLUDING ALL SPECIFICATIONS AND REFERENCED STANDARDS, AND HAS BEEN COMPLETED IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICES. I ALSO VERIFY AND AFFIRM THAT I HAVE REVIEWED THE CONSTRUCTION INSPECTION DOCUMENTATION AND THE AS-BUILT INFORMATION; THAT IT HAS BEEN DONE IN ACCORDANCE WITH WASHINGTON COUNTY REQUIREMENTS AND AT A LEVEL DEEMED NECESSARY TO ASSURE THE VERIFICATION MADE HEREIN; AND ALL DISCREPANCIES BETWEEN THE AS-BUILT INFORMATION AND APPROVED PLANS HAVE BEEN NOTED AND ARE CONSIDERED ACCEPTABLE TO CONSULTANT.

SIGNATURE DATE SEAL

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

08/19/2024 19941
 DATE REG NO. SIGNATURE

OWNER / DEVELOPER CERTIFICATION

I/WE HEREBY CERTIFY THAT ALL/ANY PARTIES RESPONSIBLE FOR CLEARING, GRADING, CONSTRUCTION, AND/OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS PLAN AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SOIL EROSION AND SEDIMENT.

08/16/2024 Howard W. Long Howard W. Long
 DATE PRINTED NAME SIGNATURE

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 3.56 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 5,446 CUBIC YARDS OF EXCAVATION AND 5,446 CUBIC YARDS OF FILL.

WASHINGTON COUNTY DIVISION OF ENGINEERING

APPROVED BY: _____
 DATE: _____

REVISION DATE DESCRIPTION

DRAWING NO. 1 OF 36 SHEET G-1



Whitman, Reardon & Associates, LLP
 801 South Caroline Street, Baltimore, Maryland 21231
 410-235-3450

TOWN OF BOONSBORO, MARYLAND
 Howard Hong 03/08/2024
 MAYOR DATE

TOWN OF BOONSBORO, MARYLAND
 [Signature] 3/11/24
 BMUC CHAIR DATE

TOWN OF BOONSBORO, MARYLAND
 [Signature] 03/08/24
 PLANNING CHAIR DATE

TOWN OF BOONSBORO
 21 NORTH MAIN STREET
 BOONSBORO, MD 21713
 301-432-5141

TAX ID: 06-023320
 ZONING: RT, DEED REF: 281/607
 MAP: 0068, GRID: 0024,
 PARCEL: 0111
 ELECTION DISTRICT: 6

12-INCH WATER MAIN AND REPLACEMENT
 POTABLE WATER RESERVOIR
 CONTRACT NO. R-1
 PROJECT NO. SP-24-011

TITLE SHEET, MAP KEY,
 LEGEND AND GENERAL NOTES

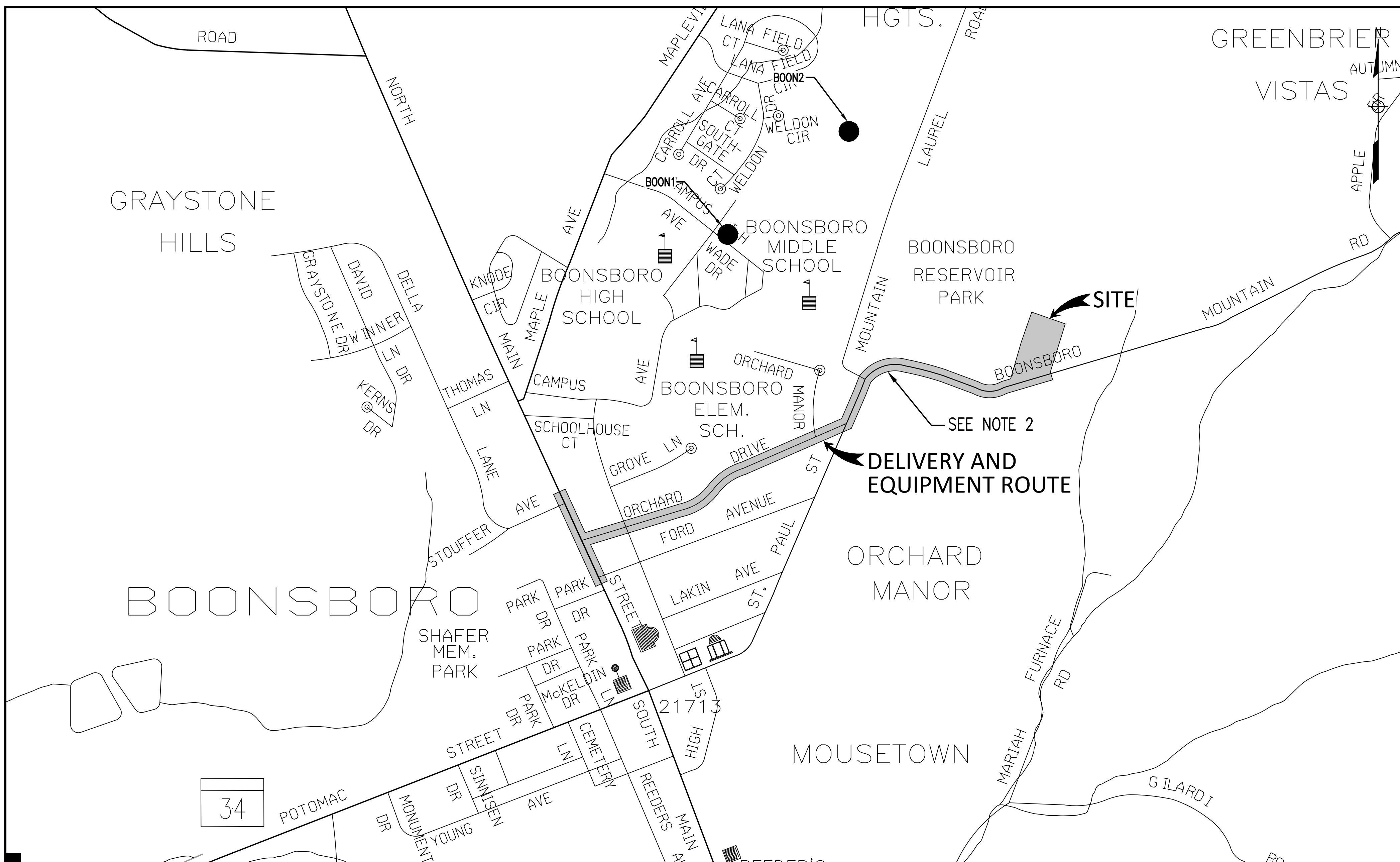
LEGEND

EXISTING	NEW
ELECTRIC LINE	E
WATER LINE	8"W
SEWER LINE	S
DRAIN LINE	8"SD
DRAIN INLET	1
GAS LINE	G
UG TELEPHONE	T
FIRE HYDRANT	FH 1
WATER VALVE	EX. V 1
WATER METER	W
SEWER MANHOLE CLEANOUT	SM
GAS VALVE	G
UTILITY POLE	U
GUY WIRE ANCHOR	Y
AIR RELEASE VALVE	ARV 1
PROPERTY LINE	---
ROAD CENTERLINE	---
FENCE LINE	X
SIGN	S
MAILBOX	M
SURVEY POINT	△
SHRUB	SR
TREE	T
ABANDON	∥
TO BE REMOVED	X
DEMO STRUCTURE	DS
LIMIT OF DISTURBANCE	LOD
BUILDING	B
STAIRS	ST
OVERHEAD ELECTRIC	OHE
SUPER SILT FENCE	SSF
CONCRETE	C
PONDING AREA	P
DECIDUOUS SHRUB	DS
EVERGREEN HEDGE	EH
LEVEL SPREADER	LS

ABBREVIATIONS

BIT.	BITUMINOUS PAVEMENT
⊕	CENTERLINE
CMP	CORRUGATED METAL PIPE
CT	COURT
DIP	DUCTILE IRON PIPE
EL.	ELEVATION
EX.	EXISTING
F	FOLIO
HB	HORIZONTAL BEND
HORIZ.	HORIZONTAL
INV.	INVERT
L	LIBER
MAX.	MAXIMUM
MG	MILLION GALLON
MIN.	MINIMUM
N	NORTH
N/F	NOW OR FORMERLY
OD	OUTSIDE DIAMETER
P	PROPERTY LINE
RCP	REINFORCED CONCRETE PIPE
RD	ROAD
R/W	RIGHT OF WAY
S	SEWER, SOUTH
SCE	STABILIZED CONSTRUCTION ENTRANCE
ST	STREET, SAINT
TP	TRAVERSE POINT
TYP.	TYPICAL
UG	UNDERGROUND
VERT.	VERTICAL
W	WATER, WEST

SURVEY CONTROL DATA				
TRAVERSE POINT	NORTHING	EASTING	ELEVATION	SYMBOL
1	674306.366	1128869.981	596.315	BOON1
2	674697.4528	1129462.394	618.3	BOON2
3	668584.1491	1123322.937	467.359	CREST
4	669486.6104	1123281.756	449.702	MONROE
5	667224.8971	1130128.544	579.658	PARK
TR100	673191.6063	1131447.595	713.0039	TRAV R/C
TR101	673104.6196	1131248.729	713.1116	TRAV R/C
TR102	673440.9197	1131498.137	729.6192	TRAV R/C
TR103	673403.3504	1131240.061	736.7576	TRAV R/C
TR104	673050.2829	1131036.572	714.5089	TRAV R/C
TR105	673118.1259	1130777.505	712.2655	TRAV R/C
TR106	673205.6637	1130512.817	690.8541	TRAV R/C
TR107	673304.357	1130240.181	652.5223	TRAV R/C
TR108	673033.81	1129948.559	617.3813	TRAV R/C
TR109	672778.6769	1129842.19	614.3645	TRAV R/C
TR110	673356.8947	1131475.7	724.1843	TRAV R/C



SEQUENCE OF CONSTRUCTION

- THE CONTRACTOR SHALL NOTIFY WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821 AND THE WASHINGTON COUNTY DIVISION OF PERMITS & INSPECTIONS AT 240-313-2460 AT LEAST (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. NOTIFY THE COUNTY AT LEAST (5) DAYS PRIOR TO THE START OF CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, MOUNTABLE BERMS, PERIMETER SEDIMENT CONTROLS, SUPER SILT FENCE, AND TEMPORARY LEVEL SPREADERS FOR EROSION AND SEDIMENT CONTROL.
- INSTALL CLEAR WATER DIVERSION SYSTEM WITH FENCING AND PIPING AS SHOWN ON THE DRAWINGS AND PER MDE STANDARD DETAILS.
- BEGIN SITE UTILITY AND TANK CONSTRUCTION, AND CONSTRUCTION OF THE 12-INCH WATER MAIN IN BOONSBORO MOUNTAIN ROAD. ANY DEBRIS FROM THE RESERVOIR SITE MUST BE HAULED TO AN APPROVED AREA. THERE SHALL BE NO STOCKPILING OF MATERIAL ON PAVEMENT - REFER TO SAME DAY STABILIZATION NOTES ON C-8. COORDINATE WITH WASHINGTON COUNTY REGARDING LANE CLOSURES AND MAINTENANCE OF TRAFFIC DURING WATER MAIN CONSTRUCTION. WATER MAIN SHALL BE INSTALLED IN ACCORDANCE WITH WASHINGTON COUNTY STANDARD UTILITY NOTES ON SHEET C-9.
- FINISH 12-INCH WATER MAIN CONSTRUCTION. TEST AND CHLORINATE THE NEW MAIN PRIOR TO CONNECTION TO THE EXISTING SYSTEM. ABANDON THE OLD WATER MAIN AND REPAIR/REPAVE BOONSBORO MOUNTAIN ROAD PER THE CONTRACT DOCUMENTS.
- FINISH ON-SITE UTILITIES AND FACILITIES INCLUDING CONDITIONAL ACCEPTANCE OF THE NEW WATER TANK FOR DRINKING WATER SUPPLY.

SEQUENCE OF CONSTRUCTION CONT.:

- DRAIN EXISTING RESERVOIR USING THE RESERVOIR'S EXISTING DRAINAGE SYSTEM. COORDINATE WITH TOWN DPW/UTILITIES DEPARTMENTS. DEMOLISH THE EXISTING RESERVOIR PER DRAWING C-1 AND PERMIT REQUIREMENTS.
- FINISH SITE GRADING INCLUDING PERMANENT LEVEL SPREADERS, INFILTRATION BERM, AND DIVERSION BERM. INSTALL FINAL GRAVEL, PAVING AND LANDSCAPING. CLEAR WATER DIVERSION PIPING IS TO REMAIN IN PLACE DURING FINAL SITE WORK.
- INSTALL NEW FENCING AS SHOWN IN THE PLANS. FENCE POST FOUNDATIONS ARE TO BE STABILIZED AT THE END OF EACH WORKING DAY.
- PERFORM PERMANENT SEEDING AND MULCHING IN ACCORDANCE WITH THE PERMANENT SEEDING NOTES. STABILIZE ANY REMAINING DISTURBED AREAS.
- THE CONTRACTOR SHALL NOTIFY THE WSCSD AT 301-797-6821 AND THE COUNTY AT LEAST (5) DAYS PRIOR TO THE REMOVAL OF ANY EROSION AND SEDIMENT CONTROL FEATURES TO SCHEDULE A FINAL SITE CLOSEOUT REVIEW MEETING. VEGETATION MUST MEET THE 95% OVERALL STABILIZATION REQUIREMENT PER THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PRIOR TO SCHEDULING SAID MEETING.
- ONCE GIVEN APPROVAL, REMOVE ALL REMAINING SEDIMENT CONTROLS

SITE ACCESS

SCALE: 1" = 500'

NOTES:

- DELIVERY OF MATERIALS AND EQUIPMENT TO THE SITE SHALL FOLLOW THE ROUTE SHOWN.
- STEEP SLOPES AND NARROW ROAD IN THIS AREA. FLAGGING MAY BE REQUIRED.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- ANY MODIFICATIONS OF THE APPROVED GRADING PLAN SHALL BE REVIEWED AND APPROVED BY WASHINGTON COUNTY PRIOR TO CONSTRUCTION.
- A UTILITY PERMIT WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK LOCATED WITHIN THE COUNTY RIGHT-OF-WAY.
- ANY NEW ENTRANCE (TEMPORARY OR PERMANENT) ON BOONSBORO MOUNTAIN RD WILL REQUIRE A WASHINGTON COUNTRY ENTRANCE PERMIT PRIOR TO CONSTRUCTION.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTION STAFF, OR OTHER REPRESENTATIVE OF WASHINGTON COUNTY DIVISION OF ENGINEERING AND CONSTRUCTION.
- NO PERMANENT STRUCTURES (FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS, ETC.) SHALL BE PERMITTED WITHIN ANY STORM DRAINAGE EASEMENT EITHER SHOWN OR DESCRIBED ON THE FINAL PLAT OF SUBDIVISION.
- THIS PROJECT WILL REQUIRE A THIRD PARTY QUALIFIED PROFESSIONAL TO BE PRESENT AT THE PRECONSTRUCTION MEETING SCHEDULED WITH WASHINGTON COUNTY AND THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT. CONSTRUCTION INSPECTION WILL BE REQUIRED FOR THIS PROJECT PER THE "ROADWAY AND STORMWATER MANAGEMENT CONSTRUCTION VERIFICATION PROCEDURES" DATED OCTOBER 17, 2008.

NOTES CONT.:

- A PUBLIC WORKS AGREEMENT AND PERFORMANCE SECURITY WILL BE REQUIRED FOR ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY THAT ARE NOT OTHERWISE REGULATED UNDER A UTILITY PERMIT OR ENTRANCE PERMIT.
- PLEASE BE ADVISED THAT ANY PROJECT WHICH CREATES A DISTURBANCE OF ONE (1) ACRE OR MORE WILL REQUIRE A 'NOTICE OF INTENT TO COMPLY WITH THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY' (NOI). THE NOI IS REQUIRED UNDER THE CLEAN WATER ACT AS STATED IN 40 CFR 122.2 AND CODE OF MARYLAND REGULATIONS COMAR 26.08.04.09A AND IS REGULATED BY THE MARYLAND DEPARTMENT OF ENVIRONMENT (MDE). THE NOI IS TO BE SUBMITTED WITH THE APPROPRIATE FEES DIRECTLY TO THE MDE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. NO LAND DISTURBING ACTIVITY THAT REQUIRES A GRADING PERMIT FROM WASHINGTON COUNTY SHOULD PROCEED UNTIL THE GENERAL PERMIT FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (MDR10) HAS BEEN ISSUED BY MDE.
- THERE ARE NO FLOODPLAINS, STREAMS, STEEP SLOPES, AND OTHER RELATED BUFFERS, OR HABITAT OF THREATENED OR ENDANGERED SPECIES AS REQUIRED TO BE SHOWN BY SECTION 4.21 (C&D) OF THE WASHINGTON COUNTY ZONING ORDINANCE.
- EXISTING TOPOGRAPHY OF RESERVOIR SITE AND PIPE ALIGNMENT CORRIDOR IS BASED ON A SURVEY PERFORMED BY DAFT MCCUNE WALKER, INC (DMW) IN APRIL 2022.

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19941, EXPIRATION DATE: 02/07/2025.



Whitman, Reardon & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231
410-235-3450

TOWN OF BOONSBORO, MARYLAND
Howard Hong 03/08/2024
MAYOR DATE
[Signature] 03/08/24
PLANNING CHAIR DATE

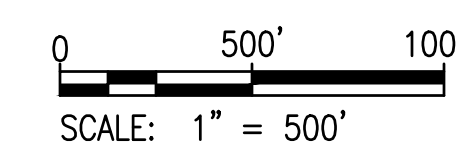
TOWN OF BOONSBORO, MARYLAND
[Signature] 3/11/24
BMUC CHAIR DATE
TOWN OF BOONSBORO
21 NORTH MAIN STREET
BOONSBORO, MD 21713
301-432-5141

TAX ID: 06-023320
ZONING: RT, DEED REF: 281/607
MAP: 0068, GRID: 0024,
PARCEL: 0111
ELECTION DISTRICT: 6

12-INCH WATER MAIN AND REPLACEMENT POTABLE WATER RESERVOIR
CONTRACT NO. R-1
PROJECT NO. SP-24-011

LEGEND, ABBREVIATIONS AND SITE ACCESS

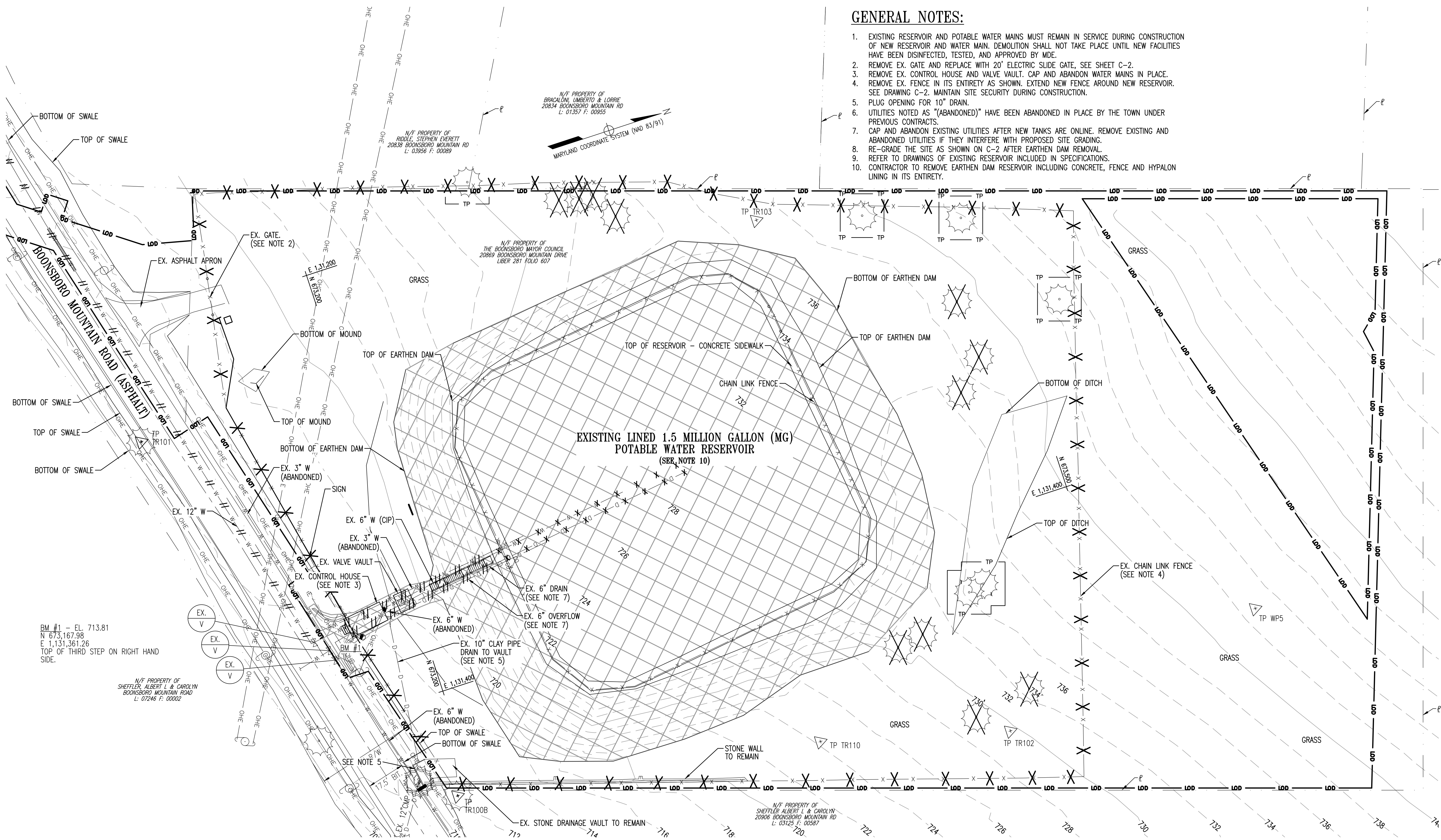
DRAWING NO. 2 OF 36
SHEET G-2



REVISION	DATE	DESCRIPTION

GENERAL NOTES:

- EXISTING RESERVOIR AND POTABLE WATER MAINS MUST REMAIN IN SERVICE DURING CONSTRUCTION OF NEW RESERVOIR AND WATER MAIN. DEMOLITION SHALL NOT TAKE PLACE UNTIL NEW FACILITIES HAVE BEEN DISINFECTED, TESTED, AND APPROVED BY MDE.
- REMOVE EX. GATE AND REPLACE WITH 20' ELECTRIC SLIDE GATE, SEE SHEET C-2.
- REMOVE EX. CONTROL HOUSE AND VALVE VAULT. CAP AND ABANDON WATER MAINS IN PLACE.
- REMOVE EX. FENCE IN ITS ENTIRETY AS SHOWN. EXTEND NEW FENCE AROUND NEW RESERVOIR. SEE DRAWING C-2. MAINTAIN SITE SECURITY DURING CONSTRUCTION.
- PLUG OPENING FOR 10" DRAIN.
- UTILITIES NOTED AS "(ABANDONED)" HAVE BEEN ABANDONED IN PLACE BY THE TOWN UNDER PREVIOUS CONTRACTS.
- CAP AND ABANDON EXISTING UTILITIES AFTER NEW TANKS ARE ONLINE. REMOVE EXISTING AND ABANDONED UTILITIES IF THEY INTERFERE WITH PROPOSED SITE GRADING.
- RE-GRADE THE SITE AS SHOWN ON C-2 AFTER EARTHEN DAM REMOVAL.
- REFER TO DRAWINGS OF EXISTING RESERVOIR INCLUDED IN SPECIFICATIONS.
- CONTRACTOR TO REMOVE EARTHEN DAM RESERVOIR INCLUDING CONCRETE, FENCE AND HYPALON LINING IN ITS ENTIRETY.



EXISTING LINED 1.5 MILLION GALLON (MG) POTABLE WATER RESERVOIR (SEE NOTE 10)

EXISTING SITE AND DEMOLITION PLAN

SCALE: 1"=20'

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19941, EXPIRATION DATE: 02/07/2025.



WRA
Whitman, Reardon & Associates, LLP
801 South Caroline Street, Baltimore, Maryland 21231
410-235-3450

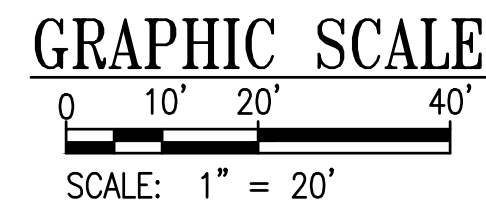
TOWN OF BOONSBORO, MARYLAND
Howard Hong 03/08/2024
MAYOR DATE
TOWN OF BOONSBORO, MARYLAND
[Signature] 03/08/24
PLANNING CHAIR DATE

TOWN OF BOONSBORO, MARYLAND
[Signature] 3/11/24
BMUC CHAIR DATE
TOWN OF BOONSBORO
21 NORTH MAIN STREET
BOONSBORO, MD 21713
301-432-5141

TAX ID: 06-023320
ZONING: RT, DEED REF: 281/607
MAP: 0068, GRID: 0024,
PARCEL: 0111
ELECTION DISTRICT: 6

12-INCH WATER MAIN AND REPLACEMENT POTABLE WATER RESERVOIR
CONTRACT NO. R-1
PROJECT NO. SP-24-011

EXISTING SITE AND DEMOLITION PLAN

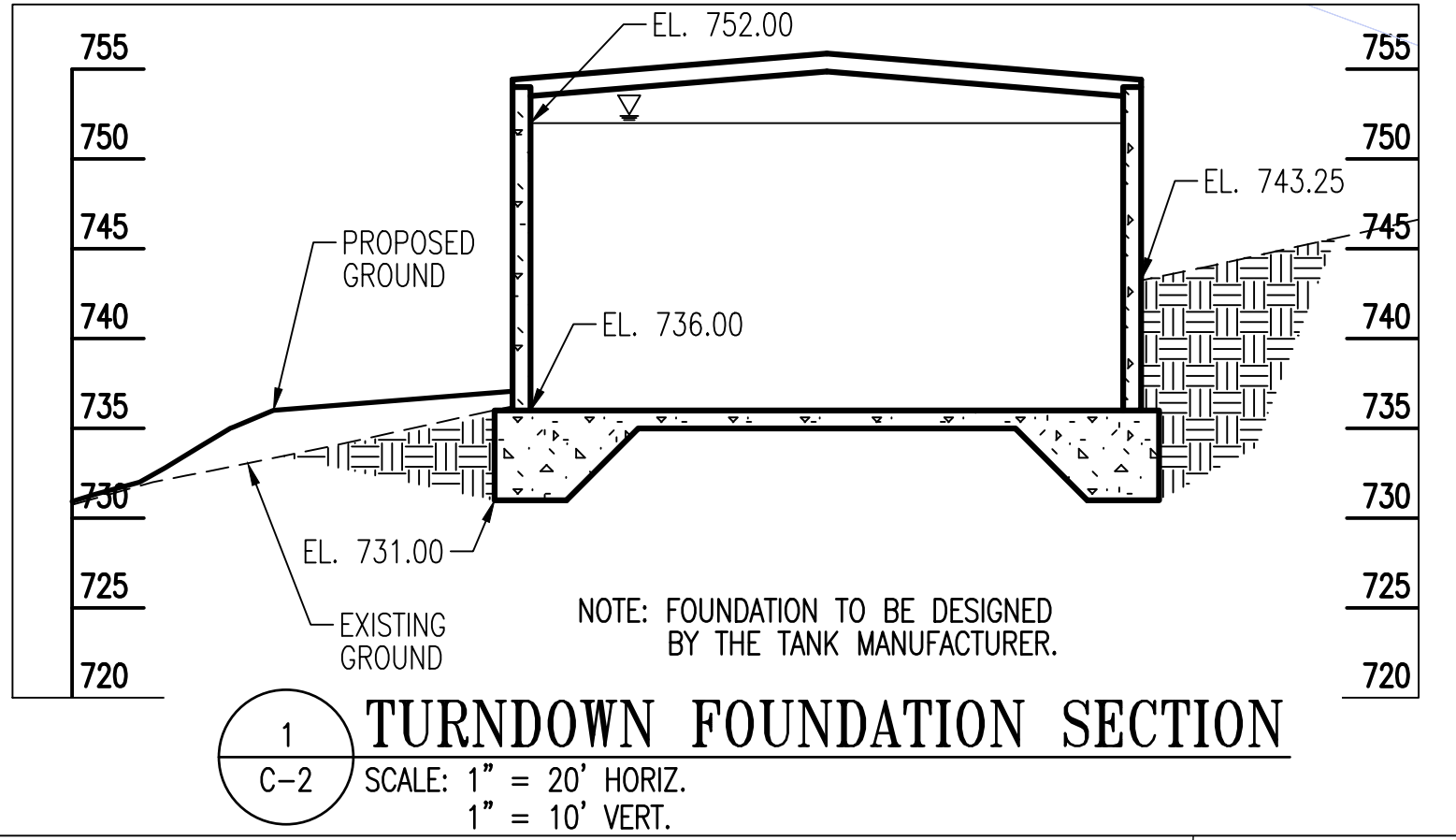


REVISION	DATE	DESCRIPTION

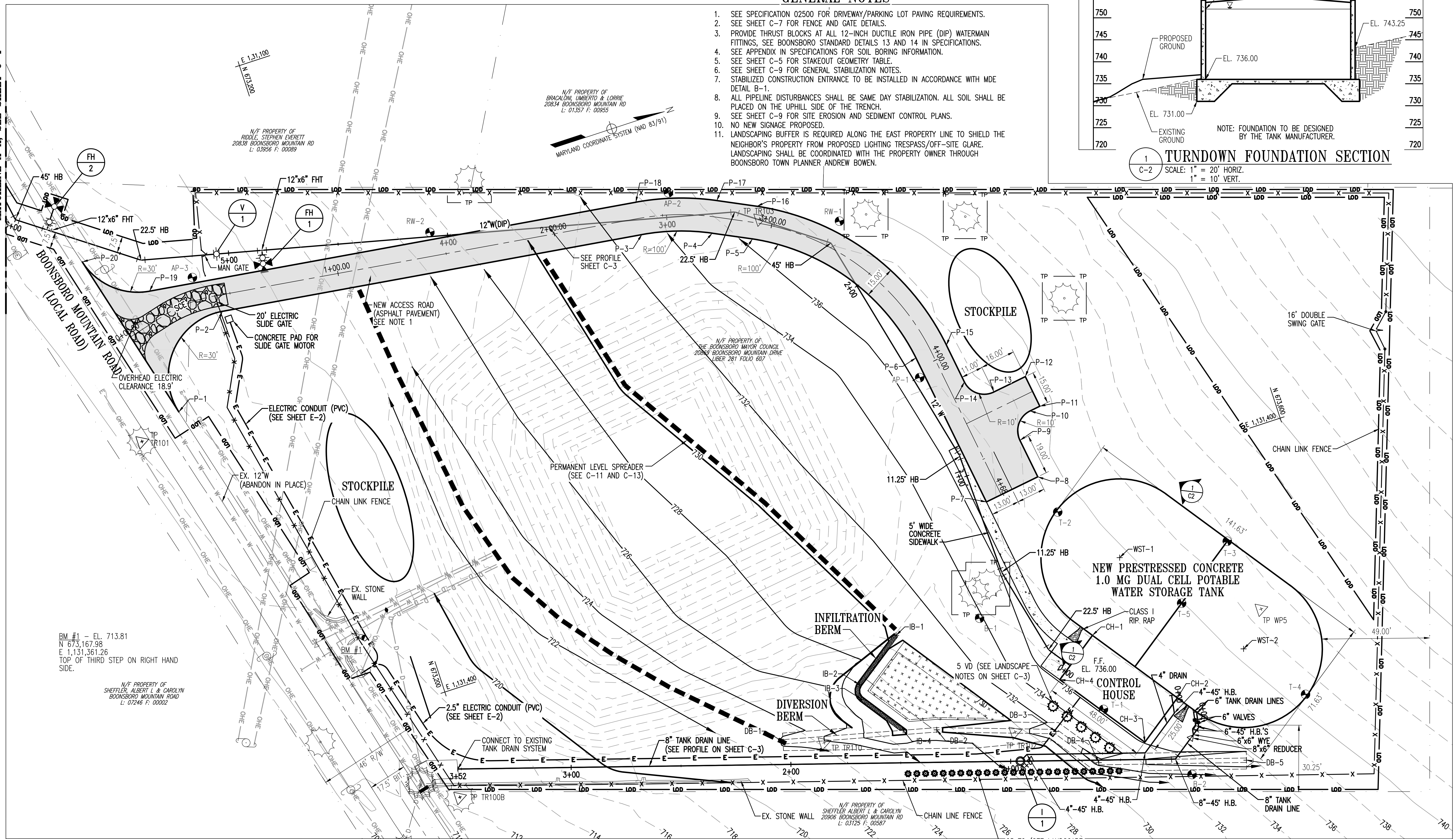
DRAWING NO. <u>3</u> OF <u>36</u>	SHEET <u>C-1</u>
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GENERAL NOTES

- SEE SPECIFICATION 02500 FOR DRIVEWAY/PARKING LOT PAVING REQUIREMENTS.
- SEE SHEET C-7 FOR FENCE AND GATE DETAILS.
- PROVIDE THRUST BLOCKS AT ALL 12-INCH DUCTILE IRON PIPE (DIP) WATERMAIN FITTINGS, SEE BOONSBORO STANDARD DETAILS 13 AND 14 IN SPECIFICATIONS.
- SEE APPENDIX IN SPECIFICATIONS FOR SOIL BORING INFORMATION.
- SEE SHEET C-5 FOR STAKEOUT GEOMETRY TABLE.
- SEE SHEET C-9 FOR GENERAL STABILIZATION NOTES.
- STABILIZED CONSTRUCTION ENTRANCE TO BE INSTALLED IN ACCORDANCE WITH MDE DETAIL B-1.
- ALL PIPELINE DISTURBANCES SHALL BE SAME DAY STABILIZATION. ALL SOIL SHALL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- SEE SHEET C-9 FOR SITE EROSION AND SEDIMENT CONTROL PLANS.
- NO NEW SIGNAGE PROPOSED.
- LANDSCAPING BUFFER IS REQUIRED ALONG THE EAST PROPERTY LINE TO SHIELD THE NEIGHBOR'S PROPERTY FROM PROPOSED LIGHTING TRESPASS/OFF-SITE CLARE. LANDSCAPING SHALL BE COORDINATED WITH THE PROPERTY OWNER THROUGH BOONSBORO TOWN PLANNER ANDREW BOWEN.



MATCHLINE A-A, SEE SHEET C-4



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19941, EXPIRATION DATE: 02/07/2025.



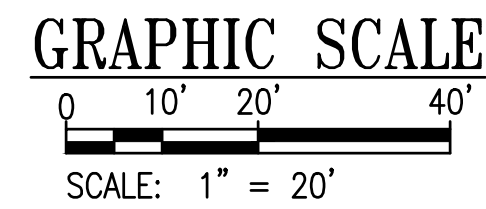
WRA
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410-235-3450

TOWN OF BOONSBORO, MARYLAND
Mayor: *Howard Hong* 03/08/2024
TOWN OF BOONSBORO, MARYLAND
Planning Chair: *[Signature]* 03/08/24

TOWN OF BOONSBORO, MARYLAND
BMOC Chair: *[Signature]* 3/11/24
TOWN OF BOONSBORO
21 NORTH MAIN STREET
BOONSBORO, MD 21713
301-432-5141

TAX ID: 06-023320
ZONING: RT, DEED REF: 281/607
MAP: 0068, GRID: 0024,
PARCEL: 0111
ELECTION DISTRICT: 6

12-INCH WATER MAIN AND REPLACEMENT POTABLE WATER RESERVOIR
CONTRACT NO. R-1
PROJECT NO. SP-24-011



REVISION	DATE	DESCRIPTION

DRAWING NO. 4 OF 36
SHEET C-2



SITE PLAN STAFF REPORT

BASE INFORMATION

SITE NAME.....: Revised Rosewood PUD Lot 17B Site Plan
NUMBER.....: SP-24-031

OWNER.....:
LOCATION.....: 20115 PROFESSIONAL Boulev 101
Hagerstown, MD 21742

DESCRIPTION.....: Revised Rosewood PUD Lot 17B Site Plan to add restaurant use (removal of RV parking)

ZONING.....: Residential, Suburban PUD
COMP PLAN LU.....: Mixed Use Developments
PARCEL.....: 18046784
PLANNING SECTOR.....: 1
ELECTION DISTRICT.....: 18

TYPE.....: Mixed Types
GROSS ACRES.....: 3.56
DWELLING UNITS.....:
TOTAL LOTS.....:
DENSITY.....: 0 Units Per Acre

PLANNER.....: Misty Wagner-Grillo
ENGINEER.....: FOX & ASSOCIATES INC
RECEIVED.....: November 14, 2024

SITE ENGINEERING

HYDROGRAPHY, SENSITIVE & ENVIRONMENTAL INFORMATION

FLOOD ZONE.....: No
WETLANDS.....: None
WATERSHED.....: Antietam Creek
ENDANGERED SPECIES.....: None
STEEP SLOPES.....: No
STREAM BUFFER.....: No
HISTORIC INVENTORY.....: No Resources Present
EASEMENTS PRESENT.....: None

Staff Comments:

Not Applicable



WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING

747 Northern Avenue | Hagerstown, MD 21742-2723 | P:240.313.2430 | F:240.313.2431 | Hearing Impaired: 7-1-1

<i>SITE DESIGN</i>		
Impervious Area Plan 0	Impervious Maximum Allowed	Open Space Area Planned
Open Space Minimum Required	Residential Amenity Plans	Solid Waste Disposal Plans
Materials Stored on Site	Buffer Design Meets Requirements Yes	Landscaping Meets Requirements Yes
Lighting Plan Meets Requirements Yes	Pedestrian Access is Adequate	Bus Stop is Within Walking Distance
Loading Area Meets Requirements		Not Fast Track
Parking Spaces - Total Planned 254	Parking Spaces - Per Dwelling Unit	
Parking Spaces - Minimum Required 254	Recreational Parking Provided	

ACCESS SPACING VARIANCE NEEDED: No

	<i>SCHOOL INFORMATION</i>		
	ELEMENTARY	MIDDLE	HIGH
SCHOOL DISTRICT	Eastern	E Russell Hicks	South Hagerstown
PUPIL YIELD			
CURRENT ENROLLMENT			
MAXIMUM CAPACITY			

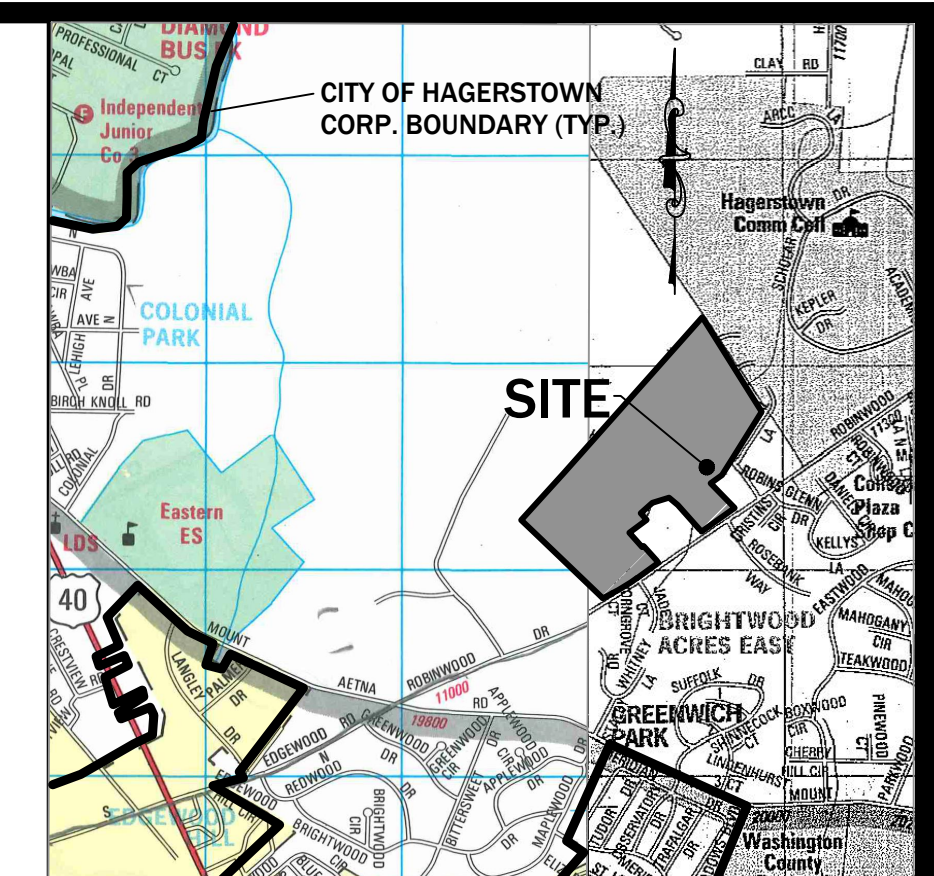
<i>PUBLIC FACILITIES INFORMATION</i>	
FIRE DISTRICT.....:	Funkstown
AMBULANCE DISTRICT.....:	Hagerstown

	<i>WATER & SEWER INFORMATION</i>	
	WATER	SEWER
METHOD.....:	City	City
SERVICE AREA.....:	City	City
PRIORITY.....:	1-Existing Service	1-Existing Service
NEW HYDRANTS.....:		
GALLONS PER DAY SEWAGE...:		
PLANT INFO.....:		Hagerstown (City)

REVISED SITE PLAN FOR

ROSEWOOD P. U. D. PHASE II-B LOTS 17B & 18

SITUATE ALONG ROBINWOOD DRIVE
WASHINGTON COUNTY, MARYLAND



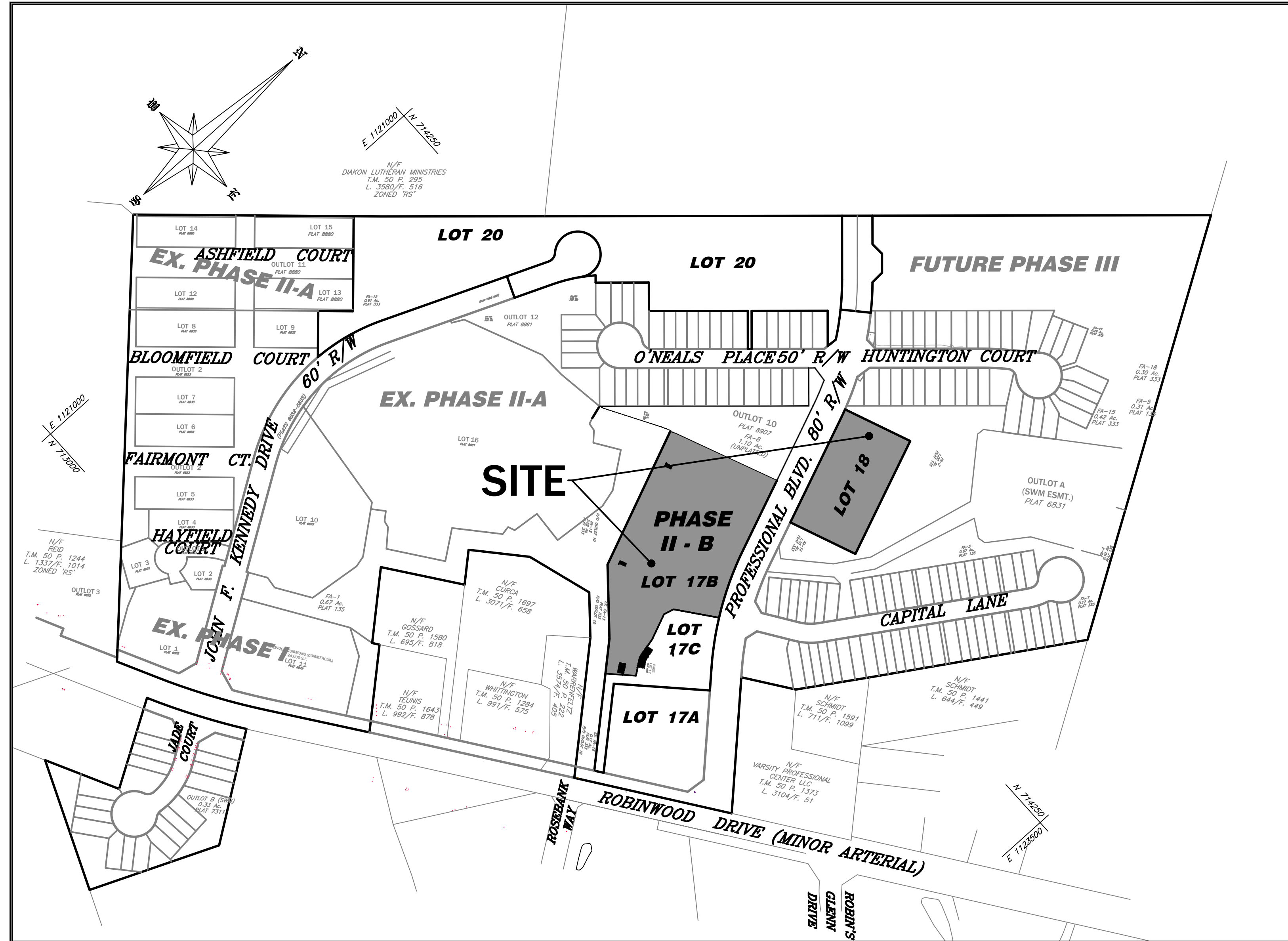
GRID A8

VICINITY MAP
SCALE: 1"=2000'
TAX MAP 50 GRID - 15 PARCEL 1650

COPYRIGHT: ADC THE MAP PEOPLE PERMIT USE NUMBER 21004221

GENERAL NOTES

- LOTS 71 - 105 ARE PART OF PHASE II-B, WHICH IS PART OF A 77.86 ACRE PROJECT THAT IS ZONED 'RS' WITH A PUD (PLANNED UNIT DEVELOPMENT) OVERLAY AS PER CASE #RZ-95-04, RZ-10-004, & RZ-11-004. THIS SITE PLAN SHALL REPLACE ANY PREVIOUSLY APPROVED SITE PLAN FOR LOTS 71-105 IN ROSEWOOD PUD PHASE IIB. THIS SITE PLAN IS IN CONFORMANCE WITH THE APPROVED ROSEWOOD PUD FINAL DEVELOPMENT PLAN (CO. FILE # DP-16-001) APPROVED.
- TRASH WILL BE COLLECTED BY CURBSIDE PICKUP BY A PRIVATE CONTRACTOR AT THE LOT OWNER'S EXPENSE.
- THIS PROJECT SERVED BY PUBLIC WATER AND SEWER BY THE CITY OF HAGERSTOWN.
- ALL INTERIOR WALKWAYS TO BE 4 FT. WIDE ASPHALT MIN. 2" THICK OVER 4" OF COMPACTED CRUSHER RUN AGGREGATE.
- NO EXISTING VEGETATION ON SITE IS PLANNED TO BE SAVED.
- NO STREET LIGHTING IS PROPOSED. ALL RESIDENTIAL UNITS WILL HAVE PRIVATE DRIVEWAY LIGHTS.
- THIS SITE SHALL COMPLY WITH THE MARYLAND BUILDING CODE FOR THE HANDICAP & THE AMERICANS WITH DISABILITIES ACT.
- APPROVED SPRINKLER SYSTEMS TO BE INSTALLED IN BUILDINGS PER THE ANNOTATED CODE OF MARYLAND PUBLIC SAFETY TITLE 9, SUBTITLE 20A.
- NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY FOX & ASSOCIATES, INC. TO DETERMINE THE EXISTENCE OR LOCATION OF GROUND WATER, ROCK OR OTHER NATURAL OR MAN-MADE FEATURES, EXCEPT AS SPECIFICALLY INDICATED. NO ENVIRONMENTAL STUDIES HAVE BEEN CONDUCTED BY OUR FIRM.
- EXISTING UTILITY INFORMATION SHOWN HEREON IS FROM DRAWINGS AND/OR OTHER SOURCES PROVIDED BY OWNERS OF THE VARIOUS UTILITIES. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT (1-800-257-7777) A MINIMUM OF 48 HOURS BEFORE BEGINNING ANY WORK SHOWN ON THESE DRAWINGS. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE UTILITY OWNER. HAND PIT EXCAVATION SHALL BE PROVIDED AS NEEDED BY CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL NOTIFY THE APPLICABLE MUNICIPAL, COUNTY AND/OR STATE AUTHORITIES AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK WITHIN PUBLIC RIGHT (S) OF WAY.
- THE CONTRACTOR SHALL VERIFY ALL SURFACE AND SUBSURFACE CONDITIONS (LOCATIONS AND ELEVATIONS) PRIOR TO BIDDING AND START OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND/OR ENGINEER BEFORE PROCEEDING IF THEY AFFECT THE DESIGN FEASIBILITY OF THIS PROJECT. ANY DAMAGE TO FACILITIES, STRUCTURES, PAVEMENT OR OTHER MAN-MADE ITEMS ON OR ADJACENT TO THE SITE OR NOT SPECIFICALLY INDICATED FOR THE DEMOLITION SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COMPLYING WITH ALL APPLICABLE LEGAL AND REGULATORY REQUIREMENTS. CONTRACTOR SHALL OBTAIN ANY BONDS REQUIRED BY COUNTY/STATE FOR WORK WITHIN COUNTY/STATE RIGHT-OF-WAYS.
- TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT ARE UNFORESEEN DURING THE DESIGN STAGE OR THAT ARE NEEDED TO TEMPORARILY CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PRACTICES.
- JOB SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING UTILITIES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD BEFORE BEGINNING CONSTRUCTION.
- NO TITLE REPORT HAS BEEN CONDUCTED BY THIS COMPANY OR FURNISHED TO US BY OTHERS. PROPERTY LINE INFORMATION HAS BEEN TAKEN FROM DEED (S) OF RECORD AND NOT FIELD VERIFIED.
- THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION REQUIRES A PRE-CONSTRUCTION MEETING SHALL BE HELD FOR ALL PROJECTS REGARDLESS OF THE AMOUNT OF DISTURBANCE. CONTACT THE WASHINGTON COUNTY DIVISION OF PUBLIC WORKS - ENGINEERING & CONSTRUCTION AT 240-313-2400 FIVE (5) DAYS PRIOR TO THE START OF CONSTRUCTION.
- A PRE-CONSTRUCTION MEETING, INTERIM (WATER QUALITY) INSPECTION, AND A FINAL SITE CLOSE OUT REVIEW ARE REQUIRED FOR ALL PROJECTS WITH SOIL DISTURBANCES GREATER THAN 15,000 SQUARE FEET OR 500 CUBIC YARDS OF CUT OR FILL. CONTACT THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT AT 301-797-6821, EXT. 3 TO SCHEDULE THE REQUIRED MEETING OR INSPECTION.
- ANY WORK WITHIN THE COUNTY RIGHT-OF-WAY WILL REQUIRE THE POSTING OF A PERFORMANCE BOND AND EXECUTED PUBLIC WORKS AGREEMENT PRIOR TO THE ISSUANCE OF THE GRADING PERMIT, IN ACCORDANCE WITH THE WASHINGTON COUNTY 5-3 POLICY.
- A COMPLETE SET OF APPROVED PLANS AND A COPY OF THE GRADING PERMIT MUST BE ON SITE AND AVAILABLE FOR USE BY THE INSPECTOR, OR OTHER REPRESENTATIVES OF WASHINGTON COUNTY PUBLIC WORKS.
- TOPOGRAPHY SHOWN ON THESE PLANS IS FROM WINGS AERIAL MAPPING IN 1995 BASED ON NAD83 HORIZONTAL DATUM. THE ACTUAL MAPPING HAS BEEN SUPPLEMENTED BY A RECENT FIELD RUN TOPO SURVEY BY FOX & ASSOCIATES, INC. VERTICAL CONTROL FOR THIS FIELD RUN TOPO WAS THE COUNTY BENCHMARK SHOWN ON THIS SHEET.
- THERE ARE NO KNOWN HABITATS OF THREATENED OR ENDANGERED SPECIES IDENTIFIED BY THE U.S. FISH & WILDLIFE SERVICE PER 50 CFR AS REQUIRED TO BE SHOWN BY SECTION 314 OF SUBDIVISION ORDINANCE AND SECTION 4.21 OF ZONING ORDINANCE.
- THERE ARE NO AREAS OF STEEP SLOPES AS DEFINED BY THE WASHINGTON COUNTY SOIL CONSERVATION DISTRICT PER ARTICLE 28.631 ON THE LOTS SHOWN HEREON. THERE ARE NO WETLANDS ON THE SITE PER MAPPING BY THE U.S. DEPARTMENT OF INTERIOR, FISH & WILDLIFE SERVICE, FUNKSTOWN, MD. - PA. QUADRANGLE.
- IN CONFORMANCE WITH THE STORMWATER MANAGEMENT ORDINANCE OF WASHINGTON COUNTY, A PERFORMANCE SECURITY AND EXECUTED MAINTENANCE AGREEMENT SHALL BE REQUIRED FROM THE DEVELOPER PRIOR TO ISSUANCE OF ANY BUILDING OR GRADING PERMIT FOR CONSTRUCTION PER THESE PLANS.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE CITY OF HAGERSTOWN STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL PROVIDE CITY UTILITIES DEPT. WATER & WASTEWATER INSPECTOR WITH M.O.S.H. ASSISTANCE.
- LANDSCAPING LAYOUT AND SCHEDULES ARE SHOWN ON SITE PLAN SHEETS 18-21. PLANTING NOTES AND DETAILS ARE SHOWN ON SHEET 13.
- ANY CONSTRUCTION WITHIN THE F.E.M.A. FLOODPLAIN WILL REQUIRE APPROVALS FROM THE APPROPRIATE FEDERAL, STATE AND COUNTY AGENCIES.
- ALL GRADING FOR THIS PROJECT SHALL BE THE FULL RESPONSIBILITY OF THE PROPERTY OWNER.
- NO PERMANENT STRUCTURES (E.G. FENCES, SHEDS, PLAY EQUIPMENT, RETAINING WALLS) SHALL BE PERMITTED WITHIN ANY STORMWATER OR STORM DRAINAGE EASEMENT ON THIS PROPERTY.
- ALL PROPOSED STORM DRAIN PIPES MUST BE PLACED ON 95% COMPACTED FILL ACCORDING TO AASHTO T180A STANDARDS.
- FOREST CONSERVATION REQUIREMENTS FOR LOTS 17B, 17C, 18 AND 20 HAVE BEEN PROVIDED ON MISC. PLAT #333 RECORDED ON 3/14/06. FOREST PLANTING AREA B WILL BE PLATTED WITH THIS PLAN AND FOREST PLANTING AREAS 11 AND 12 WILL BE REPLATTED WITH THIS PLAN.
- SIDEWALK MAINTENANCE AND SNOW REMOVAL SHALL BE THE FULL RESPONSIBILITY OF THE OWNER.
- NO COVERED DECKS OR PORCHES SHALL PENETRATE THE BUILDING RESTRICTION LINES. ONE STORY DECKS WITHOUT ROOFS MAY PROJECT INTO THE BUILDING RESTRICTION LINES BASED ON THE CRITERIA ESTABLISHED IN SECTION 23.3 OF THE ZONING ORDINANCE.
- ADDRESSES SHOWN ON THESE DRAWINGS ARE BASED ON ENTRANCE LOCATIONS AS SHOWN. IF DRIVEWAYS ARE CONSTRUCTED AT A DIFFERENT LOCATION, THE ADDRESS FOR THAT LOT IS VOID, AND THE OWNER/DEVELOPER MUST REAPPLY TO THE WASHINGTON COUNTY DEPARTMENT OF PLANNING & ZONING FOR A NEW ADDRESS ASSIGNMENT.



AGENCY & UTILITY CONTACTS

COUNTY D.P.W. - ENGINEERING AND CONSTRUCTION	SCOTT HOBBS	(240) 313-2407
WASHINGTON COUNTY DEPT. OF WATER QUALITY	ANTHONY MACE	(240) 313-2600
TOWN OF SMITHSBURG	JOHN RENARD	(301) 624-7253
WASH. CO. SOD	DENSEN PRICE	(301) 797-6821
ANTIETAM CABLE	-----	(240) 420-2066
VERIZON	JULIE LUDWIG	(301) 790-7135
POTOMAC EDISON	BRANDON WARREN FELTZ	(301) 694-4420

UTILITY NOTIFICATION

"THE SOIL CONSERVATION DISTRICT MAKES NO REPRESENTATION AS TO THE EXISTENCE OR NON-EXISTENCE OF ANY UTILITIES AT THE CONSTRUCTION SITE. SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THOSE UTILITIES WHICH HAVE BEEN IDENTIFIED. IT IS THE RESPONSIBILITY OF THE LANDOWNERS OR OPERATORS AND CONTRACTORS TO ASSURE THEMSELVES THAT NO HAZARD EXISTS OR DAMAGE WILL OCCUR TO UTILITIES. IT IS SUGGESTED THAT MISS UTILITY BE CONTACTED AT: PHONE No. 1-800-257-7777.

DISTURBED AREA QUANTITIES

THE TOTAL AREA TO BE DISTURBED SHOWN ON THESE PLANS HAS BEEN DETERMINED TO BE APPROXIMATELY 0 ACRES AND THE TOTAL AMOUNT OF EXCAVATION AND FILL AS SHOWN ON THESE PLANS HAS BEEN COMPUTED TO BE APPROXIMATELY 0 C.Y. OF EXCAVATION AND 0 C.Y. OF FILL.

* THESE QUANTITIES ARE APPROXIMATE AND SHALL NOT BE USED BY THE CONTRACTOR FOR BIDDING PURPOSES.
** EARTHWORK QUANTITIES HAVE BEEN COMPUTED FROM PROPOSED SURFACE TO EXISTING SURFACE AND DOES NOT TAKE INTO ACCOUNT TOPSOIL STRIP OR PAVING DEPTHS.

ENGINEER PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.



NAME: J.P. Renard LICENSE No. 27053 EXPIRATION DATE 1/25/26

ENGINEER/ARCHITECT DESIGN CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAS BEEN DESIGNED IN ACCORDANCE WITH LOCAL ORDINANCES, COMAR 26.17.01.07, AND MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

Nov 07, 2024 DATE REG. NO. 27053 SIGNATURE: J.P. Renard

THIS IS A REVISED SITE PLAN OF THE ROSEWOOD PHASE IIB PLANS (PSP-17-002 AND TYU-23-003) PURPOSE OF REVISED SITE PLAN IS TO CHANGE THE PROPOSED USAGE OF THE COMMUNITY CENTER ON LOT 17B AND REVISE PARKING ON LOTS 17B & 18. NO ADDITIONAL IMPERVIOUS AREA OR ANY DISTURBED AREA WILL BE CREATED BY THESE PLANS. ADDITIONALLY, THE PROPOSED CHANGES WILL NOT IMPACT APPROVED STORM DRAIN, WATER, OR SEWER DESIGN.

WASHINGTON COUNTY DIVISION OF ENGINEERING

TOTAL DISTURBED AREA IS LESS THAN 5,000 sq. ft., THEREFORE REVIEW BY WASHINGTON COUNTY SOIL CONSERVATION DISTRICT IS NOT REQUIRED

SHEET INDEX

COVER SHEET.....	1
REVISED SITE PLAN LOT 17B.....	2
REVISED SITE PLAN LOT 18.....	3

PARKING SUMMARY OF RESIDENTIAL LOTS

LOT NUMBER	PARKING REQUIRED	PARKING PROVIDED	A.D.A. PKG. PROVIDED
17B	192	192	7
18	74	79	4
20	272	273	10
TOTAL	538	544	21

HANDICAP PARKING REQUIRED 11 SPACES
HANDICAP PARKING PROVIDED 21 SPACES

1/25/19 REVISED PER IBIS REVIEW

FOX & ASSOCIATES, INC.
ENGINEERS • SURVEYORS • PLANNERS



981 MT. AETNA ROAD
HAGERSTOWN, MD. 21740
PHONE: (301)733-8503
or (301)416-7250
FAX: (301)733-1853

82 WORMANS MILL COURT
SUITE "G"
FREDERICK, MD. 21701
PHONE: (301)695-0880
FAX: (301)293-6009

OWNER/DEVELOPER
ROSEWOOD VILLAGE PHASE IIB LLC
72 WEST WASHINGTON STREET
HAGERSTOWN, MARYLAND 21740
PHONE: 301-797-7434
C/O SASSAN SHAOOL

SITE DATA PROPOSED LOT 17B AS LISTED IN PSP-17-002

PARCEL ACREAGE 3.56 Ac.
 FUNCTIONAL DESCRIPTION 72 UNIT APARTMENT BUILDING WITH COMMUNITY CENTER
 PROPOSED IMPERVIOUS AREA 124,037 Sq. Ft. = 2.85 Acres = 80.0 %
 TOTAL APARTMENT BUILDING SQUARE FOOTAGE 109,908 S.F.
 PROPOSED BUILDING HEIGHT 4-STORY = 57'
 SITE USERS TRANSPORTATION AUTOMOBILE
 ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE BY OWNER
 WATER CITY OF HAGERSTOWN
 SEWER CITY OF HAGERSTOWN
 SOLID WASTE STORAGE & DISPOSAL DUMPSTER PAD AS SHOWN ON PLAN
 PROJECTED EMISSIONS NONE
 PROPOSED WATER ALLOCATION & WASTEWATER DISCHARGE 7,200 GPD OR 36 EDU

PARKING REQUIRED FOR LOT 17B BUILDINGS

72 APARTMENTS x 2.3 SPACES/UNIT = 166 SPACES
 OFFICE (1,070 sq. ft. x 1 SPACE/300 sq. ft. G.F.A.) = 4 SPACES
 FOOD TRUCK PREP KITCHEN (MAX 2 EMPLOYEES) = 2 SPACES
 RESTAURANT (3,780 sq. ft. x 1 SPACE/75 sq. ft. G.F.A.) = 50 SPACES
 RESTAURANT PATIO (451 sq. ft. x 1 SPACE/75 SQ. FT. G.F.A.) = 6 SPACES
TOTAL PARKING SPACES REQUIRED = 228 SPACES

PARKING PROVIDED

209 LOT 17B PARKING SPACES
 10 SHARED OFF-SITE SPACES ON LOT 18
 23 SHARED OFF-SITE SPACES ON PH 1 & 2
 (EXCESS FROM PREVIOUS ANALYSIS (SEE THIS SHEET))
242 TOTAL PARKING SPACES PROVIDED
 14 EXTRA SPACES

ROSEWOOD COMMONS PARKING				
SUITE	TENANT	USE	TOTAL SF	PARKING REQUIRED
101	BLACK ROCK BBQ	RESTAURANT	1,605	21
102	ANTIOX	JUICE BAR/P.T. CENTER	3,050	41
103	ROYAL PAWN	RETAIL	3,050	15
104	ROSEWOOD LIQUORS	RETAIL	3,090	15
105	HUMMUS GRILL	RESTAURANT	1,640	22
106	MANGO GRILL	RESTAURANT	1,602	21
107	VACANT	RETAIL	3,090	15
108	FUJI/TERIAKI HOUSE	RESTAURANT	3,090	41
201	SCHULA'S	RESTAURANT	4,710	63
202				
203				
204				
205				
206				
207				
208				
TOTAL PARKING REQUIRED				254

PARKING ROSEWOOD PHASE I & II

ROSEWOOD PARKING *		PARKING SPACES
EXISTING PARKING (Phase I & IIA)		614
EXISTING PARKING ROSEWOOD COMMONS		125
	TOTAL	736
REQUIRED PARKING (Phase I & IIA)		459
REQUIRED PARKING ROSEWOOD COMMONS		254
	TOTAL	713
	EXCESS PARKING	23

* EXISTING PARKING COUNTS PROVIDED BY OWNER

NOTE: PER PLANNING COMMISSION APPROVAL OF SHARED PARKING ON MAY 6, 2019, THE SHARED PARKING AREAS AWAY FROM THE BUSINESSES ARE TO BE USED BY EMPLOYEES AND NOT PATRONS.

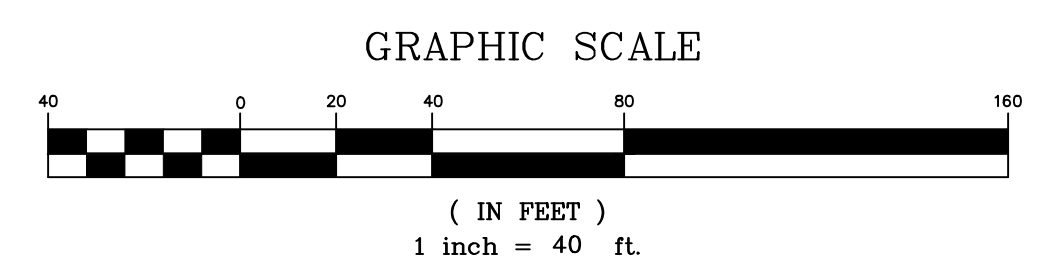
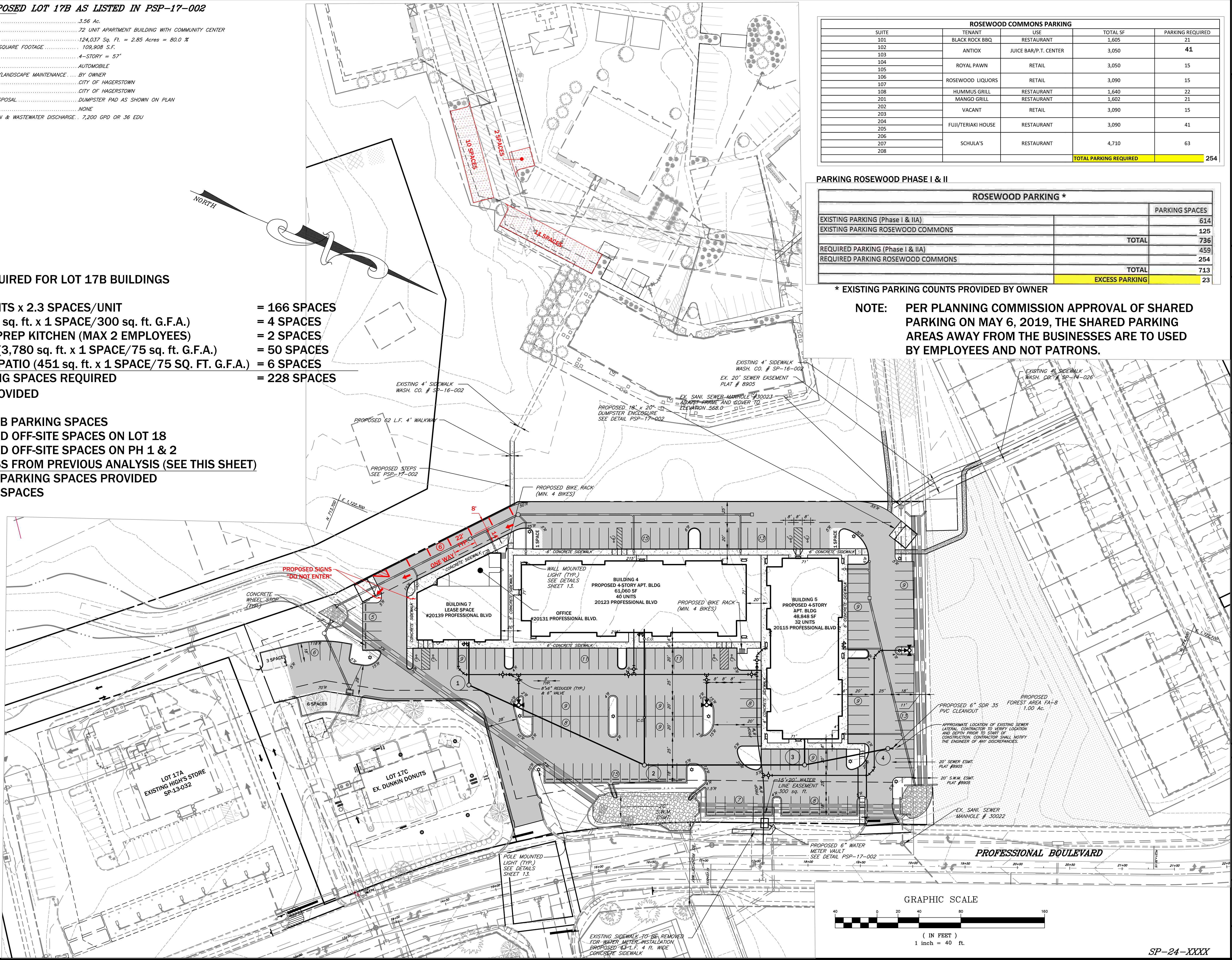
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 SUITE 200
 HAGERSTOWN, MD 21750
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 or FAX: (301) 865-6009
 Email: foxassoc@foxassocinc.com
 www.foxassocinc.com

DATE	
REVISION	
DRAWN BY	

REVISED SITE PLAN
ROSEWOOD P.U.D.
PHASE IIB REVISED LOT 17B & 18
 SITUATE ALONG THE NORTHEAST SIDE OF ROBINWOOD DRIVE
 ELECTION DISTRICT 18
 WASHINGTON COUNTY, MARYLAND

SCALE: 1"=40'

 LICENSE No. 27053 EXP. DATE: 1/25/26
 PROJECT NO. 17-50839
 DRAWING NO. D-9472
 DATE: NOVEMBER 2024
 DRAWN BY: RLB
 CHECKED BY: GSP
SHEET 2 OF 3



SP-24-XXXX

REVISED SITE PLAN

ROSEWOOD P.U.D.
PHASE IIB REVISED LOT 17B & 18
SITUATE ALONG THE NORTHEAST SIDE OF ROBINWOOD DRIVE
ELECTION DISTRICT 18
WASHINGTON COUNTY, MARYLAND

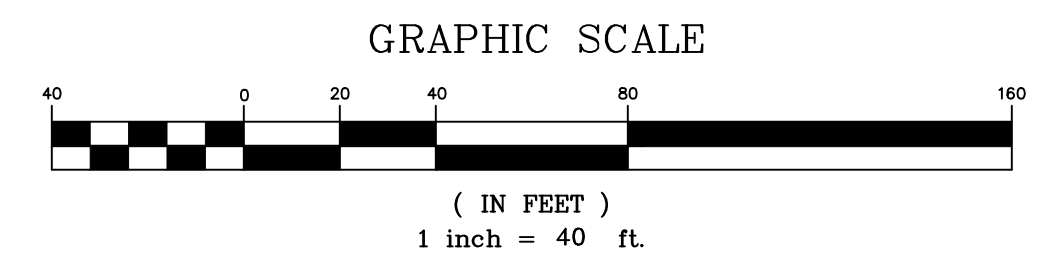
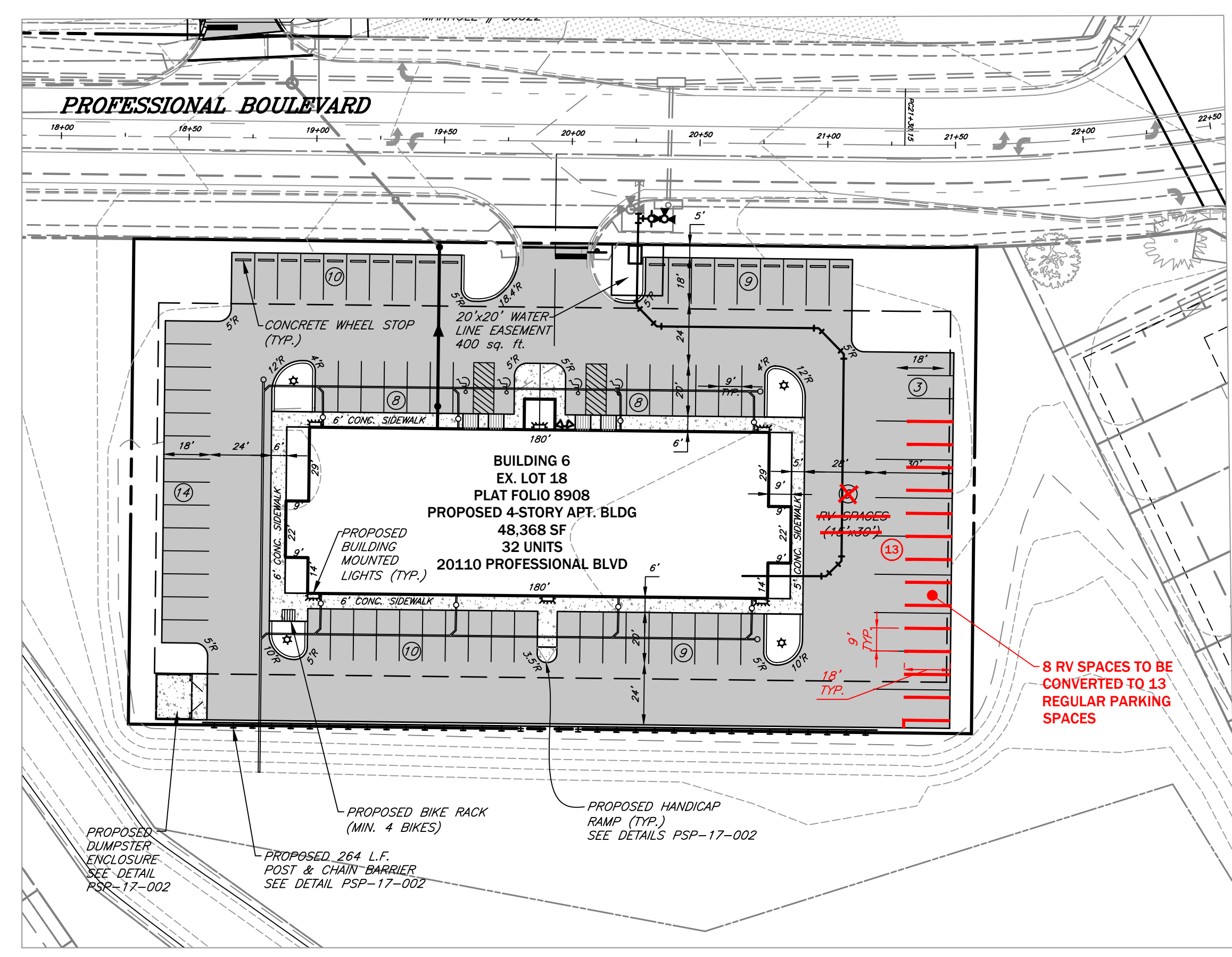
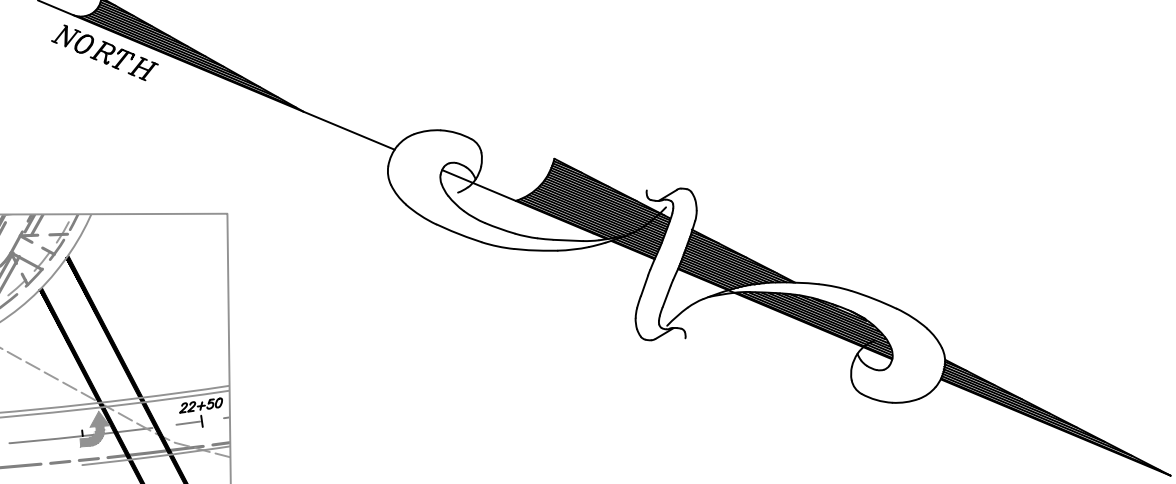
SCALE: 1" = 40'



LICENSE No.: 27053 EXP. DATE: 1/25/26

PROJECT NO. 17-50839
DRAWING NO. D-9472
DATE: NOVEMBER 2024
DRAWN BY: RLB
CHECKED BY: GSP

SHEET 3 OF 3



SITE DATA EXISTING LOT 18

PARCEL ACREAGE	1.44 Ac.
FUNCTIONAL DESCRIPTION	32 UNIT APARTMENT BUILDING
PROPOSED IMPERVIOUS AREA	
BUILDING AREA	12,092 Sq. Ft.
ASPHALT PARKING/DRIVE AREA	34,255 Sq. Ft.
CONC. SIDEWALK/DUMPSTER AREA	3,679 Sq. Ft.
	50,026 Ft. = 1.15 Acres = 79.8%
TOTAL BUILDING SQUARE FOOTAGE	48,368 S.F.
PROPOSED BUILDING HEIGHT	4-STORY = 56'
SITE USERS TRANSPORTATION	AUTOMOBILE
ON SITE PARKING/PAVEMENT/LANDSCAPE MAINTENANCE	BY OWNER
PARKING REQUIRED	32 APARTMENTS x 2.3 SF/UNIT = 74
PARKING PROVIDED	79 SPACES (INCLUDING 0 RV SPACES) 84 SPACES PROVIDED = 10 EXTRA SPACES
PARKING LANDSCAPE REQUIREMENT	34,255 x 5% = 1,713 S.F. REQUIRED
PARKING LANDSCAPE AREAS PROVIDED	2,768 S.F. = 8.1%
HANDICAP PARKING REQUIRED & PROVIDED	4 SPACES
FREIGHT & DELIVERIES	N/A
.....	CITY OF HAGERSTOWN
.....	CITY OF HAGERSTOWN
SOLID WASTE STORAGE & DISPOSAL	DUMPSTER PAD AS SHOWN ON PLAN
PROJECTED EMISSIONS	NONE
PROPOSED WATER ALLOCATION & WASTEWATER DISCHARGE	32 UNITS x 100 GPD/UNIT = 3200 GPD = 16 EDU

P:\070671\ROSEWOOD SITE PLAN\17-50839-0000 Revised Plan 17B\17B-02-03.dwg Nov 07, 2024 - 2:03pm User: rmlhannon

Plan Review Projects Initialized - October 01, 2024 - October 31, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
S-24-034	Final Plat	In Review	03-Oct-24	FINAL PLAT FOR ROSEHILL MANOR PHASE 3		FOX & ASSOCIATES INC	DAN RYAN BUILDERS MID ATLANTIC INC
FP-24-005	Forest Conservation Plan	Received	09-Oct-24	FOREST CONSERVATION PLAN PSM,LLC WAREHOUSE		FOX & ASSOCIATES INC	P S M LLC
FP-24-006	Forest Conservation Plan	Revisions Required	14-Oct-24	PRELIMINARY-FINAL FOREST CONSERVATION PLAN FOR BATTLEFIELD ESTATES	125 ORCHARD DRIVE BOONSBORO, MD 21713	FOX & ASSOCIATES INC	BATTLEFIELD EST LLC
FS-24-022	Forest Stand Delineation	Approved	17-Oct-24	BLACK ROCK REMAINING LANDS CLUSTER DEVELOPMENT PLAN	11009 SASHA BOULEV HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	BLACK ROCK HOLDING II LLC
SIM24-074	IMA	Active	04-Oct-24	OBIDI HOLDINGS LLC	13316 MARSH PIKE, UNIT# 100 HAGERSTOWN, MD 21742	TRIAD ENGINEERING	OBIDI HOLDINGS LLC
SIM24-075	IMA	Active	04-Oct-24	16244 BROADFORDING ROAD HN	16244 BROADFORDING ROAD HAGERSTOWN, MD 21740	FOX & ASSOCIATES INC	BUCHANAN DONALD LEE
SIM24-076	IMA	Active	04-Oct-24	16905 TAYLORS LANDING ROAD SH	16905 TAYLORS LANDING ROAD SHARPSBURG, MD 21782	FREDERICK SEIBERT & ASSOCIATES	RAUPP MICHAEL J SHREWSBURY PAULA M
SIM24-077	IMA	Active	04-Oct-24	6545 KING ROAD BO	6545 KING ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	CONWAY CURTIS LEROY JR
SIM24-078	IMA	Requested	04-Oct-24	20417 TROUT DRIVE HN	20417 TROUT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	GHATTAS HOLDINGS LLC
SIM24-079	IMA	Active	09-Oct-24	BOONSBORO SHAFER PARK PATH - PHASE IV		FREDERICK SEIBERT & ASSOCIATES	BOONSBORO MAYOR & COUNCIL
SIM24-080	IMA	Active	10-Oct-24	ST JAMES SCHOOL DORMITORY	17626 COLLEGE ROAD HAGERSTOWN, MD 21740	TRIAD ENGINEERING	ST JAMES SCHOOL TRUSTEES OF
SIM24-081	IMA	Active	14-Oct-24	HALFWAY BOULEVARD EXTENDED		WASHINGTON CO ENGINEERING	BOWMAN 2000 LLC
PC-24-006	Preliminary Consultation	In Review	10-Oct-24	TRIPLE Y LLC, FEDERAL LOOKOUT	22930 FEDERAL LOOKOUT ROAD SMITHSBURG, MD 21783	FREDERICK SEIBERT & ASSOCIATES	TRIPLE Y LLC
S-24-033	Preliminary-Final Plat	In Review	02-Oct-24	M&J MARTZ PROPERTIES, LLC LOT 1	22429 GOOSE STREET CAVETOWN, MD 21720	FREDERICK SEIBERT & ASSOCIATES	GROVE G RICHARD ET AL
S-24-036	Preliminary-Final Plat	In Review	22-Oct-24	CASEY LOT 1 AND REMAINING LANDS	14822 HEAVENLY ACRES RIDGE HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	CASEY MAURICE F III CASEY DIANE M
SI-24-022	Simplified Plat	Approval Letter Issued	07-Oct-24	SIMPLIFIED PLAT, LANDS OF STEPHEN V. CHAMOS & KATHRYN V. CHAMOS	13608 ROYAL ROAD HAGERSTOWN, MD 21742	FOX & ASSOCIATES INC	CHAMOS STEPHEN V L/E CHAMOS KATHRYN V
SP-24-029	Site Plan	Revisions Required	09-Oct-24	HITACHI - DIGITAL LAB	16650 HALFWAY BOULEV HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	HITACHI RAIL STS USA LLC
SP-24-030	Site Plan	In Review	09-Oct-24	SITE PLAN FOR PSM, LLC	16450 ELLIOTT PARKWA WILLIAMSPORT, MD 21795	FOX & ASSOCIATES INC	P S M LLC
GP-24-014	Site Specific Grading Plan	In Review	11-Oct-24	SWEETWATER CROSSING LOT 9	20509 GATHLAND TRAIL ROHRERSVILLE, MD 21779		HANSEN TODD H LANAHAN JULIEANNE

Plan Review Projects Initialized - October 01, 2024 - October 31, 2024

Land Development Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
SGP-24-066	Standard Grading Plan	In Review	02-Oct-24	CHRISTOPHER R DECKERT JR.	5903 APPLETON ROAD BOONSBORO, MD 21713	FREDERICK SEIBERT & ASSOCIATES	DECKERT CHRISTOPHER R JR DECKERT CHRISTOPHER R SR
SGP-24-067	Standard Grading Plan	Revisions Required	09-Oct-24	TERRY DOYLE	9721 MEADOW ROCK DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DOYLE TERRY W MCNAMEE SAVANNAH J
SGP-24-069	Standard Grading Plan	In Review	22-Oct-24	PEMBERTON LOT D-12	20410 TROUT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	GHATTAS HOLDINGS LLC
SGP-24-070	Standard Grading Plan	Approved	28-Oct-24	MCKEE PROPERTY	14110 HOLLOW ROAD HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	MCKEE AUSTIN DOUGLAS III MCKEE DEBRA F
SGP-24-071	Standard Grading Plan	Final Approvals	29-Oct-24	HARRY GOUFF	21611 LEITERSBURG SMITHSBURG ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	GOUFF HARRY E III & GOUFF CARRIE S
SSWP24-048	Stormwater Standard Plan	In Review	02-Oct-24	CHRISTOPHER R. DECKERT JR.		FREDERICK SEIBERT & ASSOCIATES	DECKERT CHRISTOPHER R JR DECKERT CHRISTOPHER R SR
SSWP24-049	Stormwater Standard Plan	In Review	09-Oct-24	TERRY DOYLE	9753 MEADOW ROCK DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	DOYLE TERRY W MCNAMEE SAVANNAH J
SSWP24-051	Stormwater Standard Plan	In Review	18-Oct-24	PEMBERTON LOT D-12	20410 TROUT DRIVE HAGERSTOWN, MD 21740	FREDERICK SEIBERT & ASSOCIATES	GHATTAS HOLDINGS LLC
SSWP24-052	Stormwater Standard Plan	Approved	24-Oct-24	MILLER AG STRUCTURE	17163 BROADFORDING ROAD HAGERSTOWN, MD 21740		MILLER LAMAR DANIEL MILLER DENISE FAITH
SSWP24-053	Stormwater Standard Plan	Approved	28-Oct-24	MCKEE PROPERTY	14110 HOLLOW ROAD HANCOCK, MD 21750	FREDERICK SEIBERT & ASSOCIATES	MCKEE AUSTIN DOUGLAS III MCKEE DEBRA F
SSWP24-054	Stormwater Standard Plan	Approved	29-Oct-24	HARRY GOUFF	21611 LEITERSBURG SMITHSBURG ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	GOUFF HARRY E III & GOUFF CARRIE S
S-24-035	Subdivision Replat	In Review	14-Oct-24	MICHAEL FAGER LOT 2 REPLAT	21611 LEITERSBURG SMITHSBURG ROAD HAGERSTOWN, MD 21742	FREDERICK SEIBERT & ASSOCIATES	GOUFF HARRY E III & GOUFF CARRIE S
TIS-24-005	Traffic Impact Study	Pending	21-Oct-24	PATTON WAREHOUSE & LOGISTICS	18525 BREEZE HILL DRIVE HAGERSTOWN, MD 21742	STREET TRAFFIC STUDIES, LTD	PATTON HAGERSTOWN LLC
TYU-24-015	Two Year Update	Pending Documents	31-Oct-24	ROWLAND ON HOLDINGS LLC	SOUTH END OF FRENCH LN	FREDERICK SEIBERT & ASSOCIATES	ROWLAND ON HOLDINGS LLC
GPT-24-032	Type 2 Grading Plan	Approved	11-Oct-24	ELMWOOD 149 10103 WILKES DR	10103 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	
GPT-24-033	Type 2 Grading Plan	Approved	11-Oct-24	ELMWOOD 170 10106 WILKES DR	10106 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	
GPT-24-034	Type 2 Grading Plan	Approved	31-Oct-24	ELMWOOD 171 10102 WILKES DR	10102 WILKES DRIVE WILLIAMSPORT, MD 21795	RICHMOND AMERICAN HOMES OF MARYLAND, INC	

Plan Review Projects Initialized - October 01, 2024 - October 31, 2024

Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-04645	Entrance Permit	Approved	01-Oct-24	FOREST HARVEST	LOR 8403 MOUNTAIN LAUREL ROAD		YOUNKER DAVID YOUNKER LISA
2024-04731	Entrance Permit	In Progress	07-Oct-24	SEMI-DETACHED HOME	S-22-006 13348 DIAMOND POINTE DRIVE, LOT 228	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2024-04733	Entrance Permit	In Progress	07-Oct-24	SEMI-DETACHED HOME	S-22-006 13350 DIAMOND POINTE DRIVE, LOT 227	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2024-04822	Entrance Permit	In Progress	11-Oct-24	2 FAMILY DWELLING	LOR 13724 LEXINGTON AVE, RIGHT SIDE	FACELIFT REMODELING INC	RAB RENTALS LLC
2024-04832	Entrance Permit	In Progress	11-Oct-24	STICK BUILT HOME	S-23-024 10103 WILKES DRIVE, LOT 149		
2024-04835	Entrance Permit	In Progress	11-Oct-24	STICK BUILT HOME	S-23-024 10106 WILKES DRIVE, LOT 170		
2024-04873	Entrance Permit	In Progress	15-Oct-24	STICK BUILT HOME	S-02-166 20509 GATHLAND TRAIL, LOT 9	HURD BUILDERS	HANSEN TODD H LANAHAN JULIEANNE
2024-04979	Entrance Permit	Pending	18-Oct-24	STICK BUILT HOME	S-23-047 9753 MEADOW ROCK DRIVE, LOT 1		DOYLE TERRY W
2024-05018	Entrance Permit	In Progress	22-Oct-24	STICK BUILT HOME	S-18-004 13218 ONYX DRIVE, LOT 173	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2024-05053	Entrance Permit	In Progress	24-Oct-24	STICK BUILT HOME	S-18-035 9425 ALLOWAY DRIVE, LOT 218		DRB GROUP MID ATLANTIC LLC
2024-05091	Entrance Permit	In Progress	25-Oct-24	SEMI-DETACHED HOME	S-21-031 19607 LAVENDER LANE, LOT 101		DAN RYAN BUILDERS MID ATLANTIC INC
2024-05094	Entrance Permit	In Progress	25-Oct-24	SEMI-DETACHED HOME	S-21-031 19609 LAVENDER LANE, LOT 101		DAN RYAN BUILDERS MID ATLANTIC INC
2024-05121	Entrance Permit	In Progress	29-Oct-24	STICK BUILT HOME	S-03-049 20406 TROUT DRIVE, LOT D13	KENNY GARDNER	GHATTAS HOLDINGS LLC
2024-05130	Entrance Permit	In Progress	29-Oct-24	STICK BUILT HOME	S-03-049 20410 TROUT DRIVE, LOT D12	KENNY GARDNER	GHATTAS HOLDINGS LLC
2024-05176	Entrance Permit	In Progress	31-Oct-24	STICK BUILT HOME	S-23-024 10102 WILKES DRIVE, LOT 171		
2024-04768	Floodplain Permit	Approved	08-Oct-24	ACCESSORY STRUCTURE	POTOMAC FISH AND GAME CLUB, LOT 6		POTOMAC FISH & GAME CLUB
2024-04657	Grading Permit	In Progress	01-Oct-24	COMMERCIAL	SP-24-026 11825 NEWGATE BOULEVARD		2004 HALFWAY BOULEVARD LLC
2024-04673	Grading Permit	In Progress	02-Oct-24	CHRISTOPHER R. DECKERT JR.	S-92-109 5903 APPLETOWN ROAD		DECKERT CHRISTOPHER R JR DECKERT CHRISTOPHER R SR
2024-04732	Grading Permit	In Progress	07-Oct-24	SEMI-DETACHED HOME	S-22-006 13348 DIAMOND POINTE DRIVE, LOT 228	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2024-04817	Grading Permit	In Progress	11-Oct-24	COMMERCIAL	PSP-21-002.R04 10306 EZRA DRIVE, LOT 6	MATONAK & ASSOCIATES	
2024-04823	Grading Permit	In Progress	11-Oct-24		LOR 13724 LEXINGTON AVE, RIGHT SIDE	FACELIFT REMODELING INC	RAB RENTALS LLC
2024-04833	Grading Permit	In Progress	11-Oct-24	ELMWOOD 149 10103 WILKES DR	S-23-024 10103 WILKES DRIVE, LOT 149		
2024-04836	Grading Permit	In Progress	11-Oct-24	ELMWOOD 170 10106 WILKES DR	S-23-024 10106 WILKES DRIVE, LOT 170		
2024-04838	Grading Permit	Approved	11-Oct-24	MOBILE HOME	S-22-021 9727 DOWNSVILLE PIKE	AUSHERMAN DENTON	
2024-04851	Grading Permit	In Progress	14-Oct-24	COMMERCIAL	SP-24-003 15919 SPIELMAN ROAD		BOWMAN SPIELMAN LLC
2024-04874	Grading Permit	In Progress	15-Oct-24	STICK BUILT HOME	S-02-166 20509 GATHLAND TRAIL, LOT 9	HURD BUILDERS	HANSEN TODD H LANAHAN JULIEANNE
2024-04974	Grading Permit	In Progress	18-Oct-24	COMMERCIAL	SP-22-024 14516 PENNSYLVANIA AVENUE		WASH CO COMMISSIONERS
2024-04980	Grading Permit	Pending	18-Oct-24	STICK BUILT HOME	S-23-047 9753 MEADOW ROCK DRIVE, LOT 1		DOYLE TERRY W
2024-04999	Grading Permit	Review	22-Oct-24		LOR 12630 EARTH CARE ROAD		WASH CO COMMISSIONERS
2024-05019	Grading Permit	In Progress	22-Oct-24	STICK BUILT HOME	S-18-004 13218 ONYX DRIVE, LOT 173	PAUL CRAMPTON CONTRACTORS INC	EMERALD POINTE INC
2024-05054	Grading Permit	In Progress	24-Oct-24	WESTFIELDS LOT #218	S-18-035 9425 ALLOWAY DRIVE, LOT 218		DRB GROUP MID ATLANTIC LLC

Plan Review Projects Initialized - October 01, 2024 - October 31, 2024

Permits Reviews							
Record #	Type	Status	Accepted Date	Title	Location	Consultant	Owner
2024-05092	Grading Permit	In Progress	25-Oct-24	ROSEHILL MANOR LOT #	S-21-031 LAVENDER LANE, LOT 101 & 102		DAN RYAN BUILDERS MID ATLANTIC INC
2024-05122	Grading Permit	In Progress	29-Oct-24	STICK BUILT HOME	S-03-049 20406 TROUT DRIVE, LOT D13	KENNY GARDNER	GHATTAS HOLDINGS LLC
2024-05131	Grading Permit	In Progress	29-Oct-24	STICK BUILT HOME	S-03-049 20410 TROUT DRIVE, LOT D12	KENNY GARDNER	GHATTAS HOLDINGS LLC
2024-05144	Grading Permit	In Progress	30-Oct-24	STICK BUILT HOME	S-24-035 21611 LEITERSBURG SMITHSBURG ROAD, LOT 2	GOUFF CONSTRUCTION	GOUFF HARRY E III & GOUFF CARRIE S
2024-05178	Grading Permit	In Progress	31-Oct-24	ELMWOOD 171 10102 WILKES DR	S-23-024 10102 WILKES DRIVE, LOT 171		
2024-04715	Grading Permit	Approved	04-Oct-24		TWN23-003 47 PARK DRIVE		BOONSBORO MAYOR & COUNCIL
2024-04902	Non-Residential Addition-Alteration Permit	Revisions Required	16-Oct-24	COMMERCIAL	SP-16-012 10525 SHARPSBURG PIKE		MCDONALDS CORPORATION
2024-04713	Non-Residential Ag Certificate	Approved	04-Oct-24	FARM BUILDING	LOR 17163 BROADFORDING ROAD		MILLER LAMAR DANIEL MILLER DENISE FAITH
2024-04843	Non-Residential New Construction Permit	Revisions Required	12-Oct-24	COMMERCIAL	SP-24-003 15919 SPIELMAN ROAD		BOWMAN SPIELMAN LLC
2024-04667	Utility Permit	Approved	02-Oct-24	COMCAST	11017 BECKLEY ROAD	COMCAST	POFFENBERGER KURT J & YVONNE L
2024-04668	Utility Permit	Approved	02-Oct-24	COMCAST	OAKMONT DRIVE, OAK RIDGE DRIVE, SOUTH POINTE DRIVE	COMCAST	RIDGEMONT EXPRESS LIMITED LIAB CO C/O DANAC CORP
2024-04705	Utility Permit	Approved	04-Oct-24	COMCAST	217 EAST OAK RIDGE DRIVE	COMCAST	BT-NEWYO LLC EDISON CORP
2024-04724	Utility Permit	Approved	07-Oct-24	WASHINGTON COUNTY DEPT OF WATER QUALITY	13011 MAUGANSVILLE ROAD	WASHINGTON COUNTY DEPARTMENT OF WATER QUALITY	WASH CO HUMANE SOCIETY INC
2024-04728	Utility Permit	Approved	07-Oct-24	POTOMAC EDISON	13721 OLIVER DRIVE	POTOMAC EDISON	GHATTAS ENTERPRISES MAUGANS AVE LTD PARTNERSHIP
2024-04759	Utility Permit	Review	08-Oct-24	COLUMBIA GAS	13805 IDEAL CIRCLE	COLUMBIA GAS OF MARYLAND INC	OLIVER HOMES INC
2024-05004	Utility Permit	Approved	22-Oct-24	COMCAST	9412 CHILDACREST DRIVE	COMCAST	FOUNTAIN BRADLEY S
2024-05035	Utility Permit	Approved	23-Oct-24	COMCAST	20510 WOODBRIDGE DRIVE	COMCAST	MARX ROBERT W & MARY J
2024-05066	Utility Permit	Approved	24-Oct-24	POTOMAC EDISON	13513 FRITZ LANE	POTOMAC EDISON	CLEMSON JONATHAN A CLEMSON MEGAN E
2024-05108	Utility Permit	Review	28-Oct-24	COMCAST	18904 LONGMEADOW ROAD	COMCAST	MOONEY JAMES D MOONEY SANDRA L
2024-05111	Utility Permit	Review	28-Oct-24	COMCAST	13810 MARSH PIKE	COMCAST	FORD RONALD FORD LINDA

Plan Review Projects Initialized - October 01, 2024 - October 31, 2024

	Type	Total
LandDev Total by Group: 36	Final Plat	1
	Forest Conservation Plan	2
	Forest Stand Delineation	1
	IMA	8
	Preliminary Consultation	1
	Preliminary-Final Plat	2
	Simplified Plat	1
	Site Plan	2
	Site Specific Grading Plan	1
	Standard Grading Plan	5
	Stormwater Standard Plan	6
	Subdivision Replat	1
	Traffic Impact Study	1
	Two Year Update	1
	Type 2 Grading Plan	3
Permits Total by Group: 51	Entrance Permit	15
	Floodplain Permit	1
	Grading Permit	21
	Non-Residential Addition-Alteration Permit	1
	Non-Residential Ag Certificate	1
	Non-Residential New Construction Permit	1
	Utility Permit	11
Total		87